

Existing Concrete Sidewalk,
Curb and Gutter

Limits of New Asphalt
Parking Lot

Property Line

Existing power pole

**AFFIC CIRCULATION LAYOUT
APPROVED**

Signed *[Signature]* Date *4/10/18*

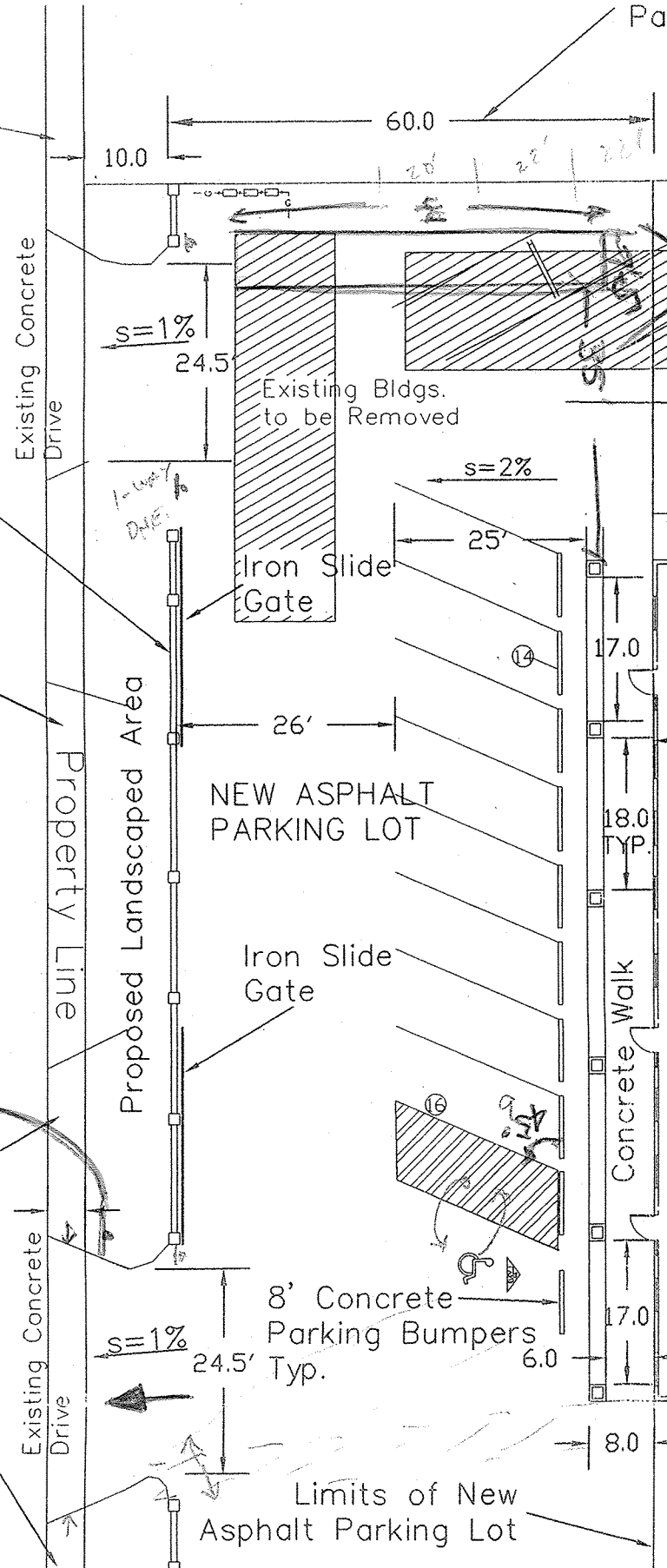
New block wall with
5' high iron fence.

Remove Existing Drive and
Replace with Standard
Sidewalk, Curb and Gutter
per City Standard Drawings
2415A (Curb and Gutter) and
2430 (Sidewalk)

San Francisco Dr.
60' R.O.W.

*(Do Not Enter
Sign)*

Existing Sidewalk

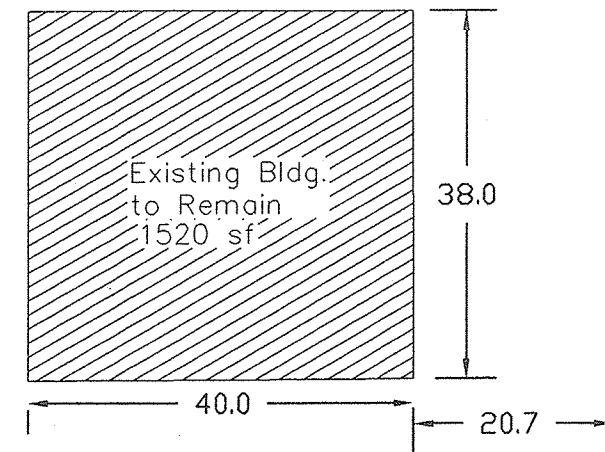


ALL TRUCK DELIVERY
ACCESS INGRESS

See Landscaping Plan

PROPOSED 6500 sf
OFFICE BUILDING

ALL TRUCK DELIVERY
ACCESS EGRESS

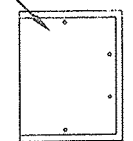


THIS AREA TO RECEIVE
1" CRUSHER FINES

**TRANSPORTATION
APPROVED**

MPF

New Concrete
Dumpster Pad

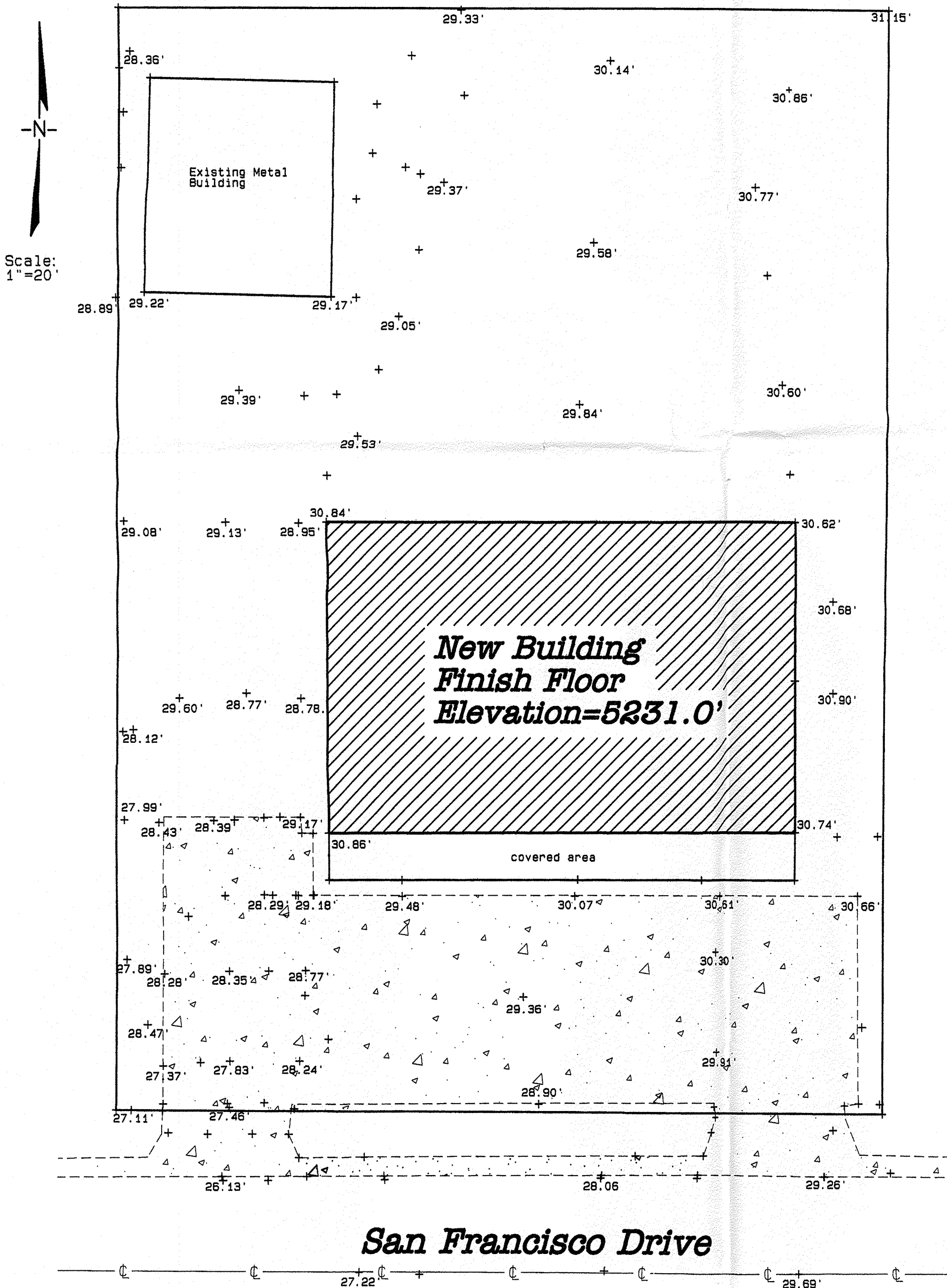


DATE: 17 August 2005

SHEET 1 OF 1

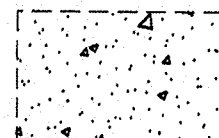
*Plat
of
As-Built Conditions
for*

*6011 San Francisco Drive NE
Albuquerque, New Mexico*



LEGAL DESCRIPTION:

Lot 21, Block 5, Tract D, Unit A,
North Albuquerque Acres



denotes concrete
surfacing

29.88'

denotes existing
spot elevation

NOTES:

1. Benchmark used for this survey was the existing finish floor as shown hereon with a published finish floor elevation of 5,231.00 feet from the approved drainage plan.
2. Fieldwork performed on 23 May 2007.

MICHAEL E. [Signature]
REGISTERED PROFESSIONAL LAND SURVEYOR
31 MAY 2007

GRAPHIC SCALE

1"=20'

