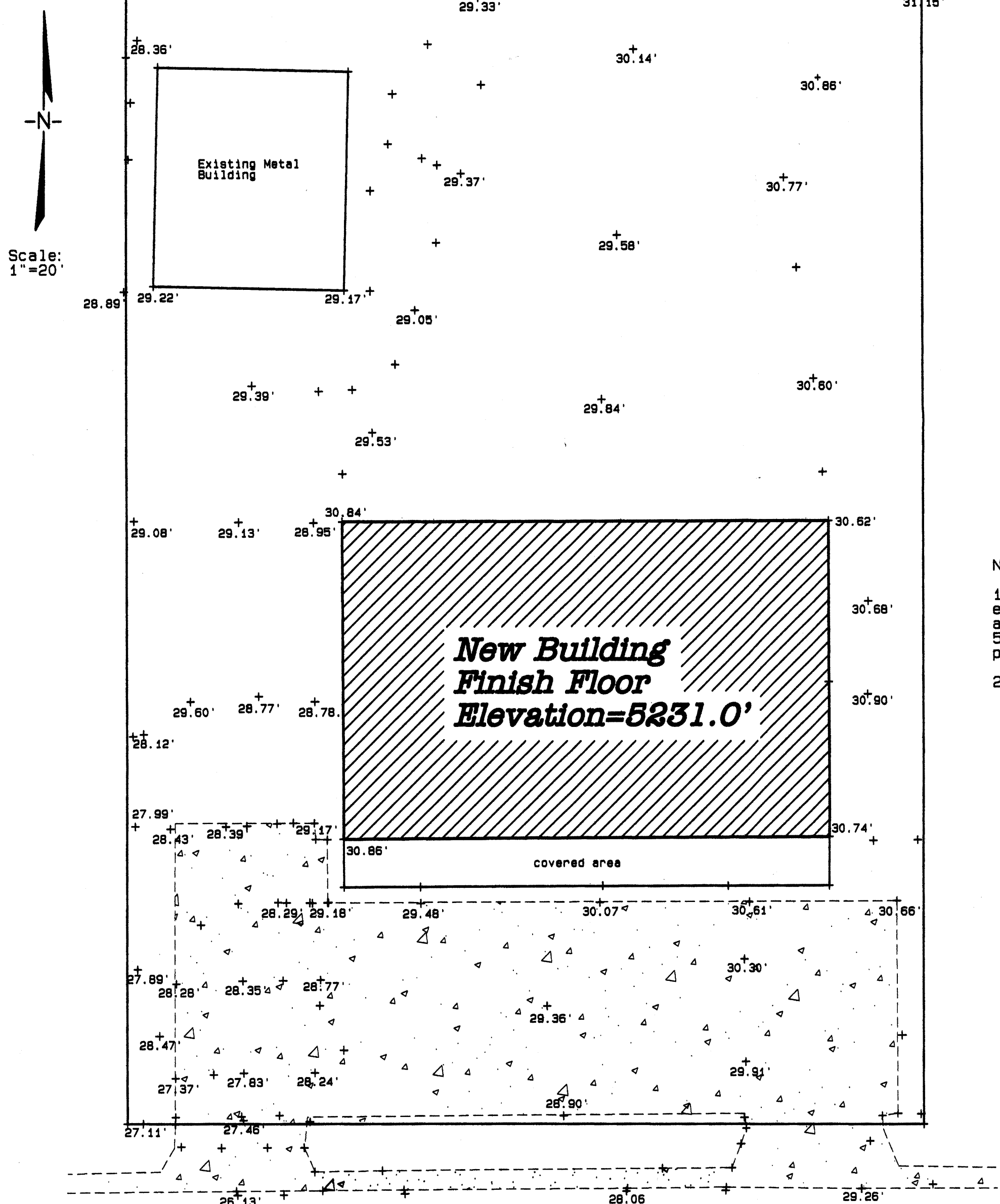


TRAFFIC CIRCULATION PLAN FOR OFFICE SUITES AT 6011 SAN FRANCISCO ROAD, N.E.	
TRAFFIC CIRCULATION LAYOUT SITE PLAN	
APPROVALS	ENGINEER
	DATE
DATE: 17 August 2005	
SHEET 1 of 1	

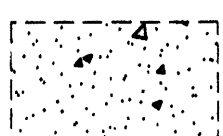
Plat of As-Built Conditions for

6011 San Francisco Drive NE Albuquerque, New Mexico

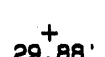


LEGAL DESCRIPTION:

Lot 21, Block 5, Tract D, Unit A,
North Albuquerque Acres



denotes concrete
surfacing



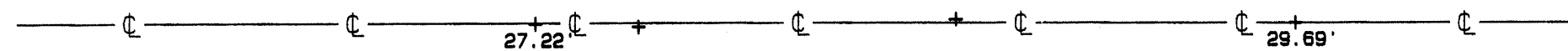
denotes existing
spot elevation

NOTES:

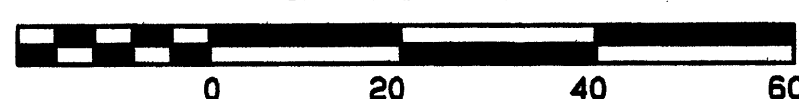
1. Benchmark used for this survey was the existing finish floor as shown hereon with a published finish floor elevation of 5,231.00 feet from the approved drainage plan.
2. Fieldwork performed on 23 May 2007.

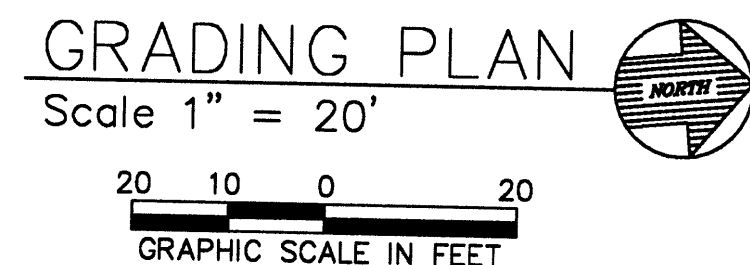
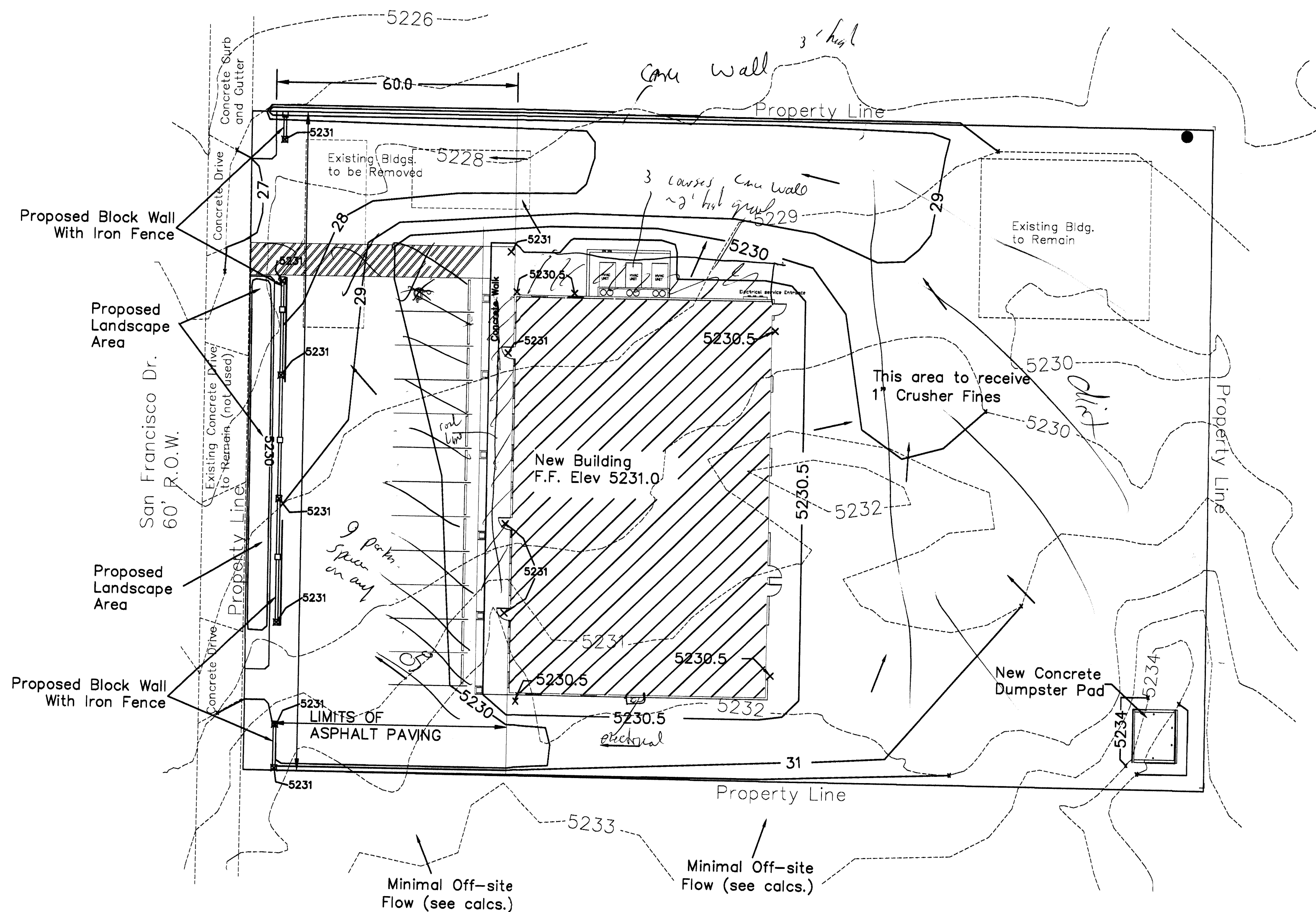
Michael E. [Signature]
REGISTERED PROFESSIONAL LAND SURVEYOR
31 MAY 2007

San Francisco Drive



GRAPHIC SCALE 1"=20'

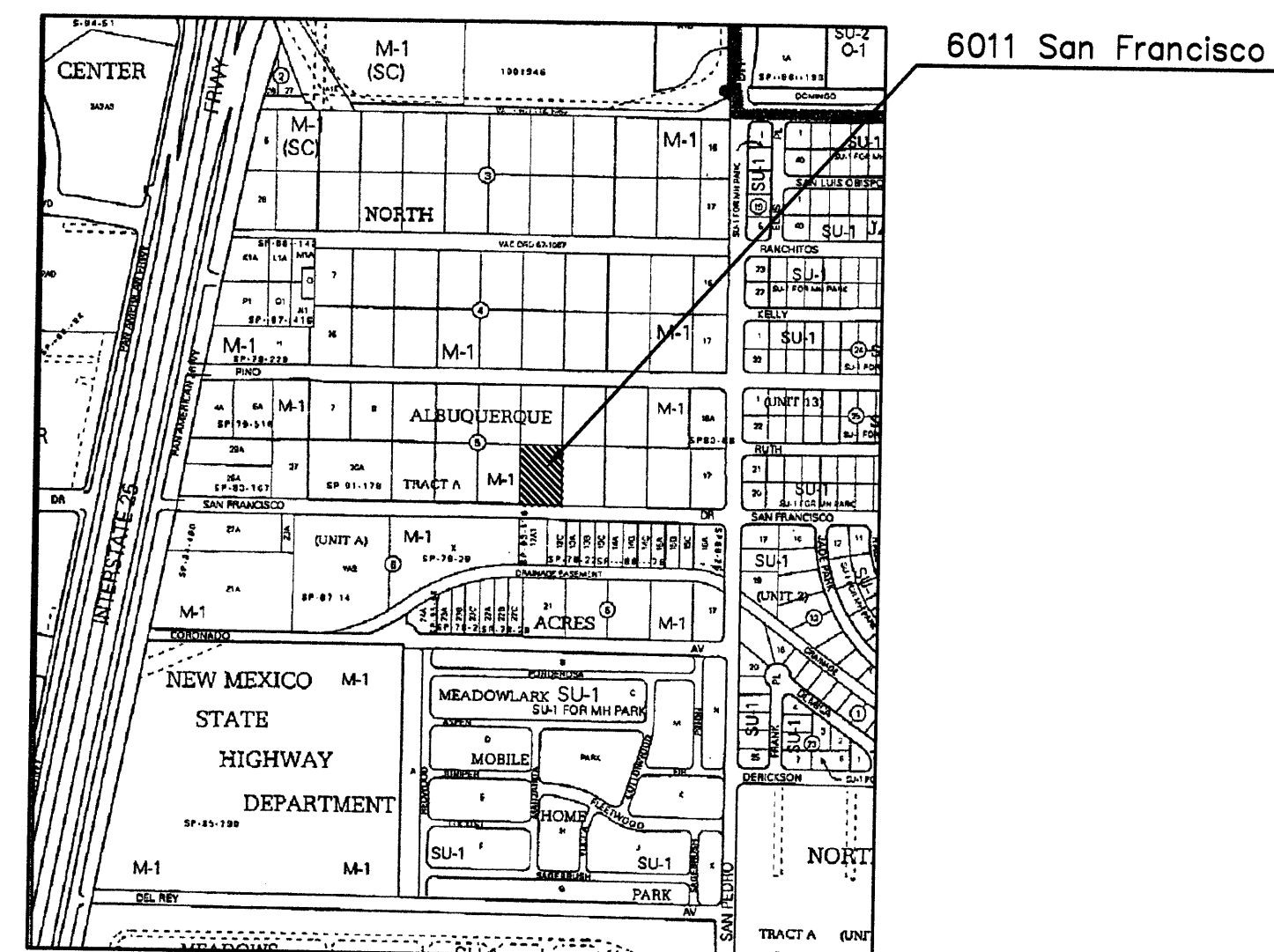




I, Chris A. Velasquez, NMPE 14527, hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated August 16, 2005. The as-built information has been obtained by Michael E. Beyer, P.S., P.E., and is attached as sheet 3 of 3. I further certify that I have personally visited the project site on April 20, 2007 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Final Certificate of Occupancy.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Chris A. Velasquez, P.E.
6/20/07
Date



VICINITY MAP (N.T.S.)

LEGEND

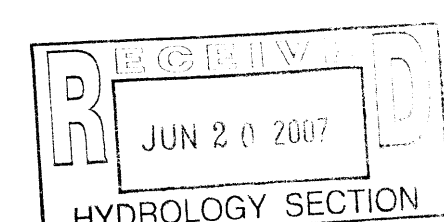
- Existing Contours
- Proposed Finish Contours
- Flow Direction

LEGAL DESCRIPTION

Lot numbered Twenty-one (21) of Block 5 of TRACT A, UNIT A, NORTH ALBUQUERQUE ACRES, as shown and designated on the plat thereof filed in the Office of the County Clerk of Bernalillo County, New Mexico on March 17th, 1937

GENERAL NOTES

- Property to be surfaced with an approximately 60' wide asphalt parking area facing San Francisco Road and 1" crusher fines in rear.
- Provide 4" to 6" timber retaining wall, approximately 140' long, along East property line from Southern boundary to manage offsite flows. *3 courses cmu ~2 ft high*
- Minimal offsite runoff is from 2 areas to the East. Flow from Southern portion of adjacent lot (1.14cfs) is managed by new proposed asphalt parking lot. Runoff from Northern portion is (1.37cfs) simply flows to backlot of new proposed 1" crusher fines.
- Provide 4" high (minimum) berm around West property line perimeter to insure the containment of onsite flows.
- Site storm water to be conveyed per proposed site grading to adjacent San Francisco Drive. Storm water then flows West along existing San Francisco curb and gutter system to storm grate that spans entire roadway at intersection with Pan American frontage road, approximately 1,500 feet West of site.
- All work shown or implied hereon to be in accordance with City of Albuquerque Specifications.



DRAINAGE PLAN FOR	
OFFICE SUITES AT 6011 SAN FRANCISCO ROAD, N.E.	
GRADING PLAN, LEGEND	
NOTES, AND LEGAL DESCRIPTION	
APPROVALS	ENGINEER
DATE	DATE