

CURB TYPE NOTE

ALL STREETS HAVE MOUNTABLE CURB EXCEPT WHERE NOTED AS FOLLOWS:

MEDIAN CURB--PARKING SPACES PERPENDICULAR TO STREET

STANDARD CURB--WHERE DENOTED ON THIS SHEET AS - - - - -

PARKING POCKETS PARALLEL TO STREETS HAVE EITHER MOUNTABLE OR STANDARD CURB (STANDARD CURB WHERE DESIGNATED AS - - - - -)

ALL STREET GRADES REFER TO FLOWLINE ELEVATIONS

INDEX

SHEET 1	OVERALL GRADING & DRAINAGE PLAN 1"=100'
SHEETS 2-6	GRADING & DRAINAGE PLAN AFFORDABLE HOUSING UNITS, TOWNHOME UNITS, SINGLE DETACHED UNITS 1"=40'
SHEET 7	GRADING & DRAINAGE PLAN GREENCOURT UNITS 1"=30'
SHEET 8	GRADING DETAILS & NOTES
SHEETS 9-10	RETAINING WALL PLANS 1"=50'

SITE DATA

LEGAL DESC.: BLOCKS 18 & 19 OF TRACT A, NORTH ALBUQUERQUE ACRES UNIT A, AND A PORTION OF DEL REY AVE., NE, VACATED BY V-71-33.

ZONE ATLAS: D-18

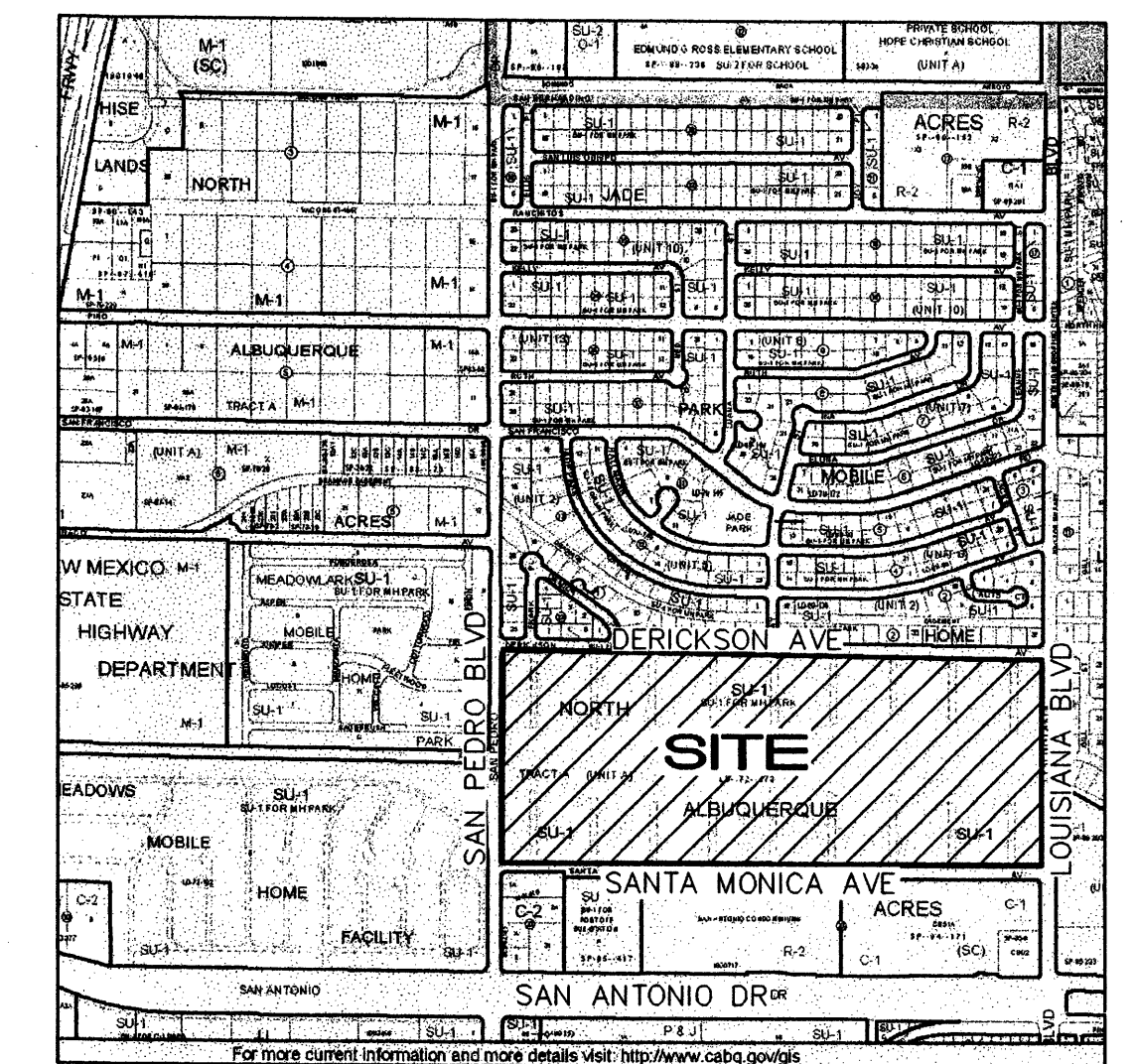
ZONING: SU-1

AREA: 58.19 ACRES

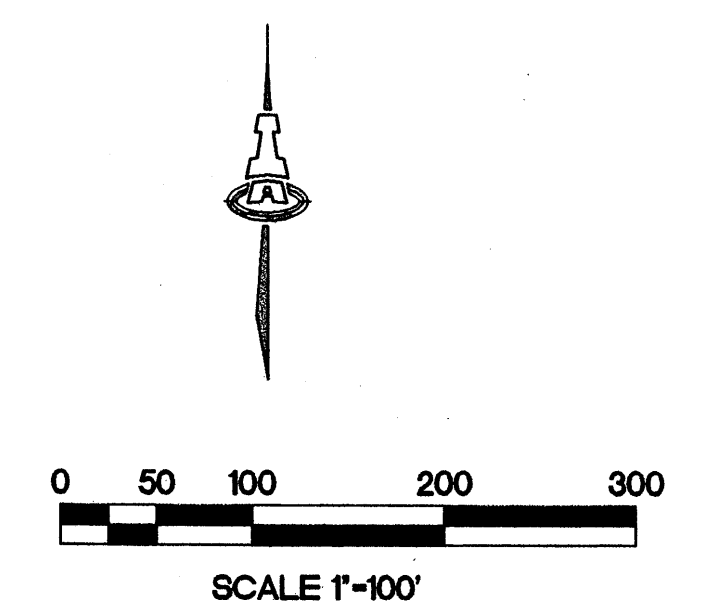
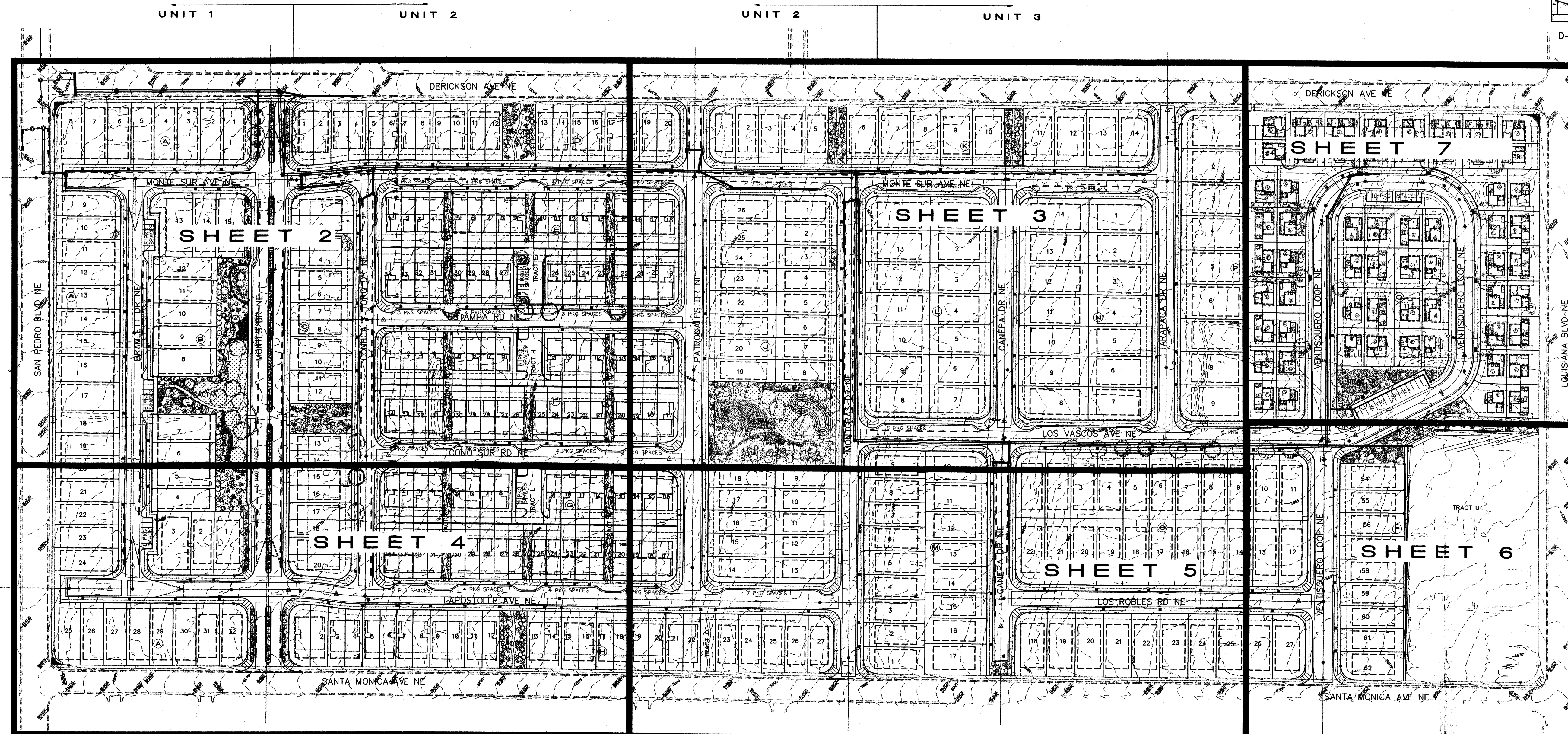
SURVEYOR: SURV-TEK, AUGUST, 2007

BENCHMARK: ACS BENCHMARK "10-D18" ELEVATION = 5319.15 (NGVD 29)

FLOODPLAIN: THE SITE IS IN FLOOD ZONE X (OUTSIDE THE AREA OF THE 0.2% ANNUAL CHANCE FLOOD PLAIN) AS SHOWN ON FEMA MAP 35001C0137F, 11-19-03



D-18-Z
VICINITY MAP
1"=750'±



ARFMAN & ARFMAN, P.A.
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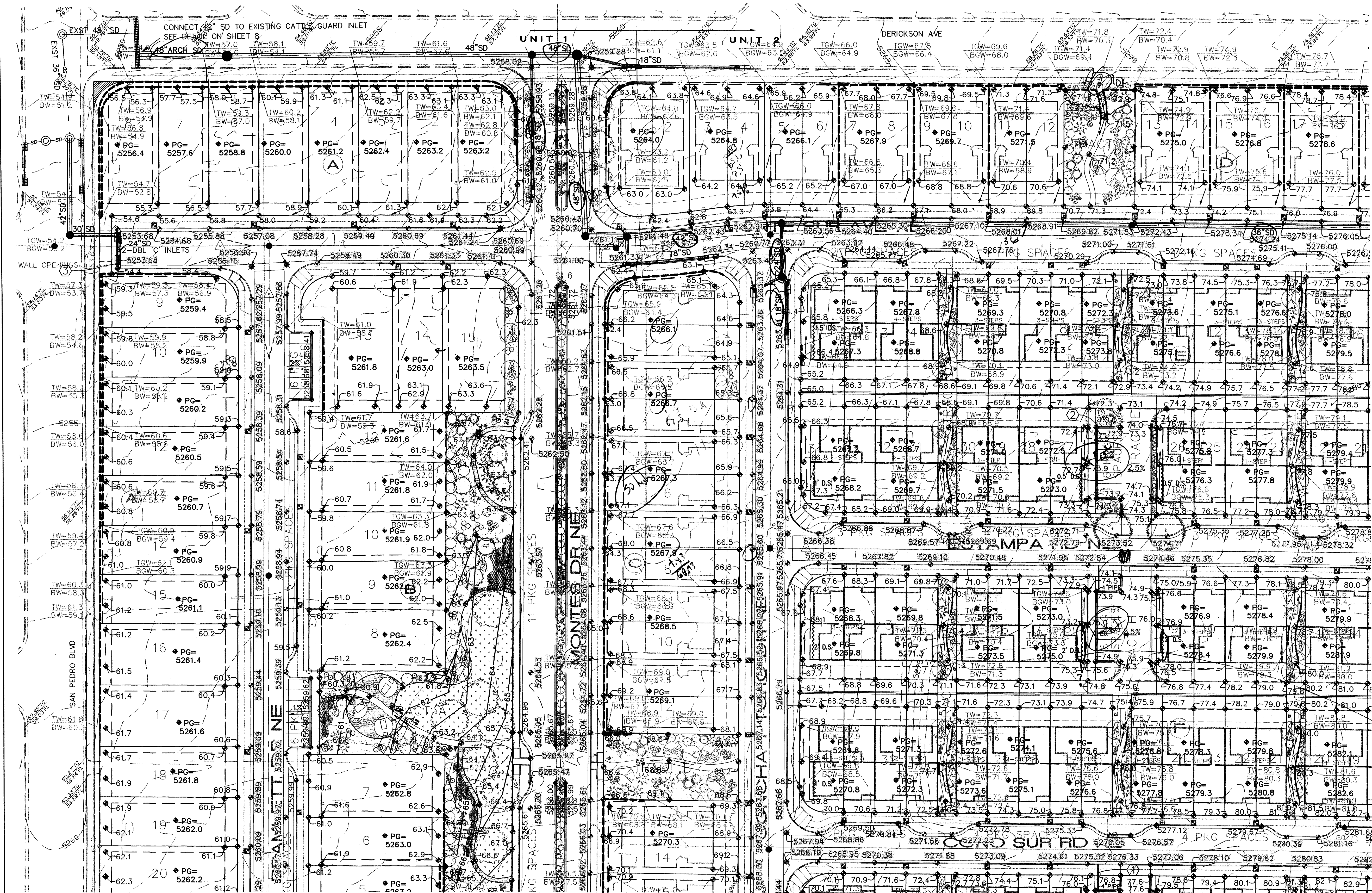
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MONTERREA DEL REY, UNITS 1-3

GRADING & DRAINAGE PLAN

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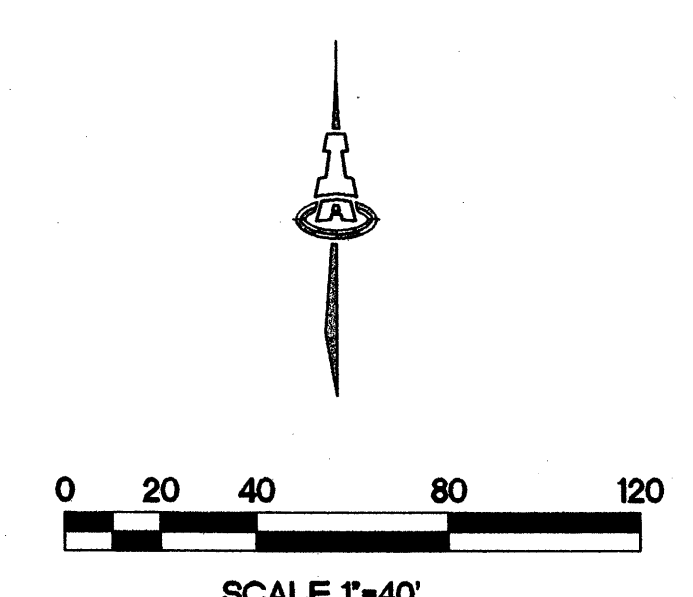
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Ckd By:					PAGE
					8-1 OF 10



KEYED NOTES

- 4" DRAIN PIPE THROUGH CURB PER COA STD DWG #2235.
- 2' CURB OPENING AND COBBLE ROUNDOFF PER DETAIL ON SHEET 8.
- WALL OPENINGS FOR EMERGENCY OVERFLOW, TURN EVERY OTHER BLOCK SIDEWAYS OVER 10'.

what is notes 1, 2 & 3 on plan



- LEGEND**
- EXISTING CONTOUR
 - PROPOSED FLOWLINE ELEVATION
 - PROPOSED SPOT ELEVATION
 - PAD GRADE ELEVATION
 - PROPOSED RETAINING WALL (SEE SHEETS 9-10)
 - PROPOSED GARDEN RETAINING WALL (SEE SHEETS 9-10)
 - PROPOSED LANDSCAPING RETAINING WALL (BY LANDSCAPE ARCHITECT)
 - STORM DRAIN W/ MANHOLE
 - DEEPENED BUILDING STEM

SEE SHEET 4 OF 10

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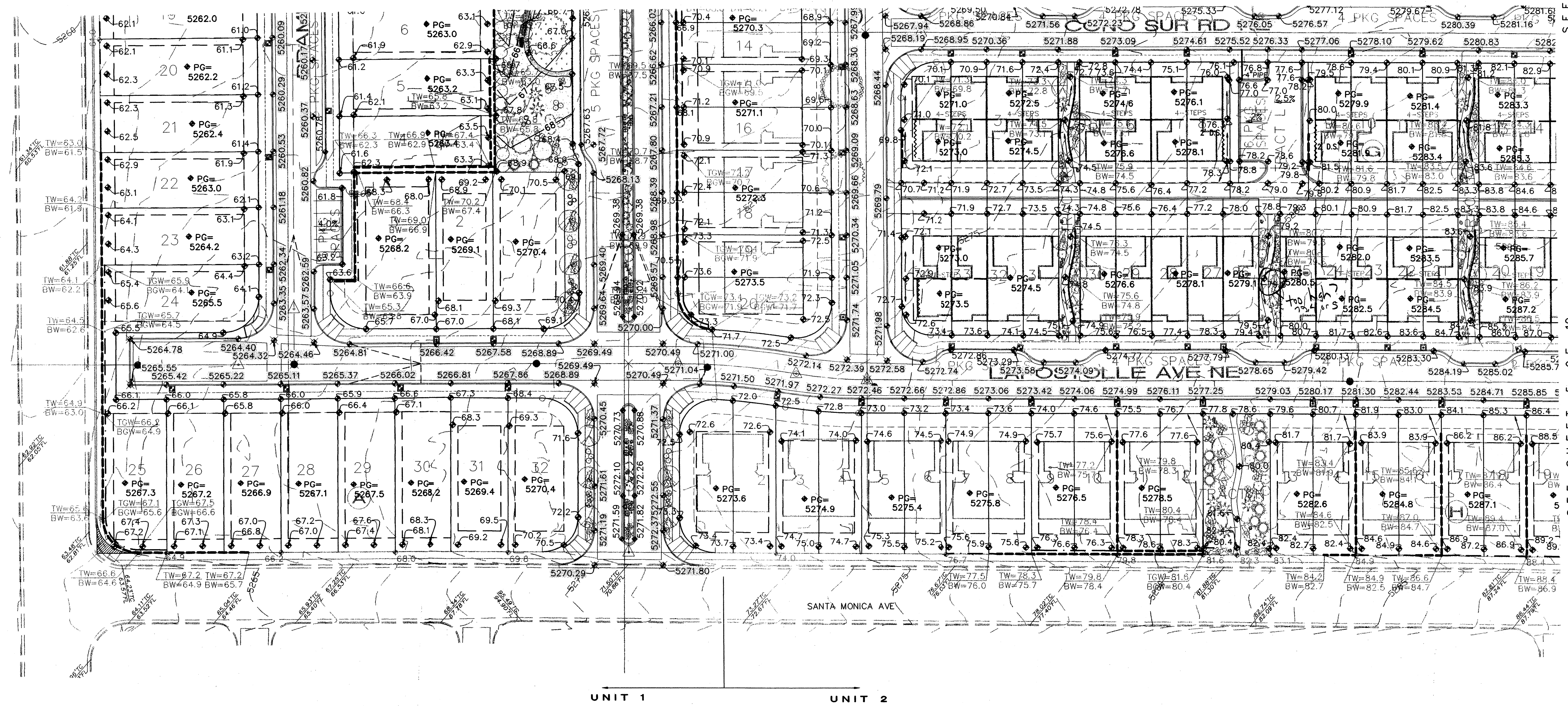
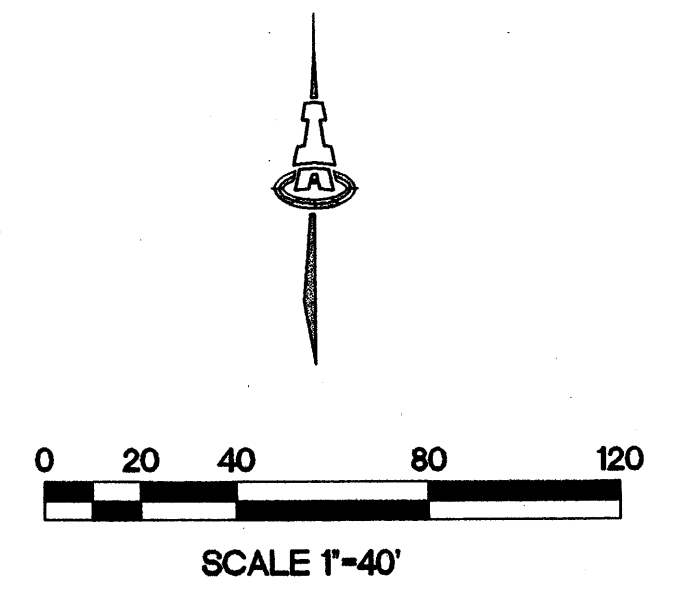
MONTERRA DEL REY, UNIT 1-3

GRADING & DRAINAGE PLAN

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SEE SHEET 3 OF 10



- LEGEND**
- EXISTING CONTOUR
 - ◆ 5278.3 PROPOSED FLOWLINE ELEVATION
 - ◆ 78.3 PROPOSED SPOT ELEVATION
 - PG= 5260.5 PAD GRADE ELEVATION
 - - - PROPOSED RETAINING WALL (SEE SHEETS 9-10)
 - - - PROPOSED GARDEN RETAINING WALL (SEE SHEETS 9-10)
 - - - PROPOSED LANDSCAPING RETAINING WALL (BY LANDSCAPE ARCHITECT)
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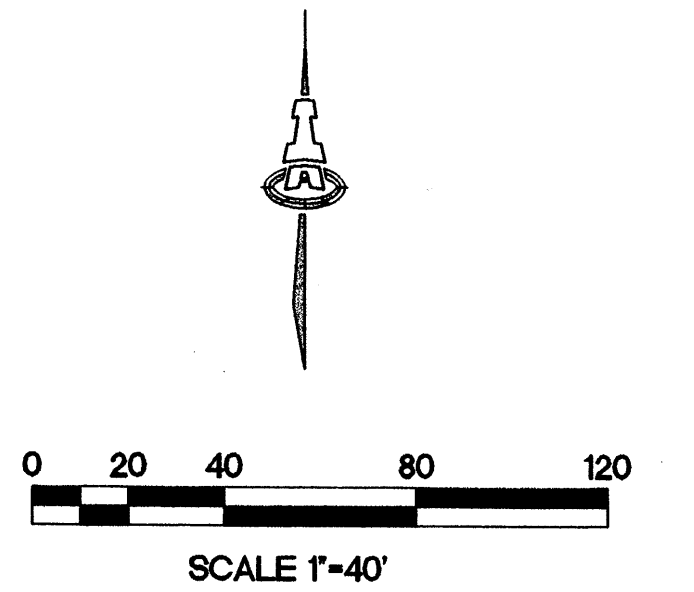
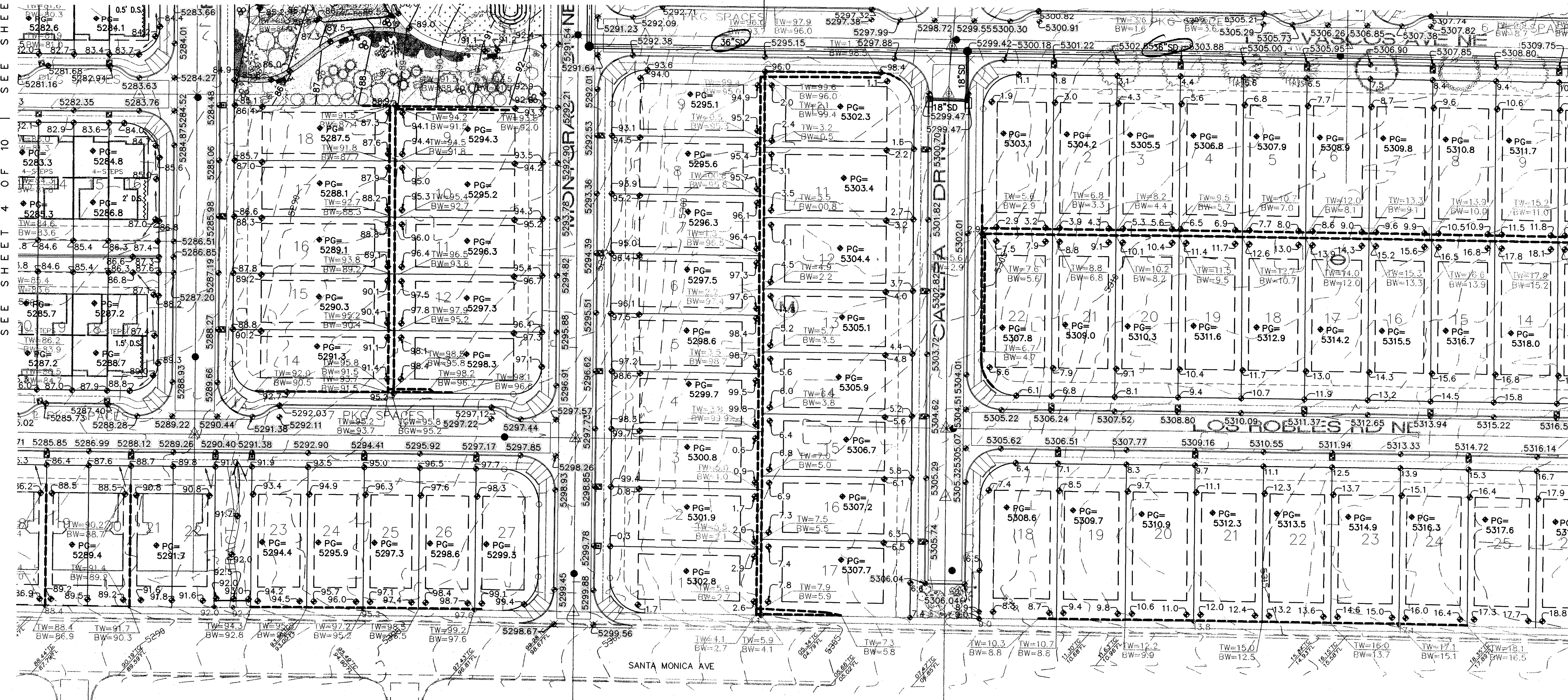
SEE SHEET 3 OF 10

UNIT 2

UNIT 3

SEE SHEET 4 OF 10

SEE SHEET 6 OF 10 SEE SHEET 7 OF 10



- LEGEND**
- EXISTING CONTOUR
 - 5278.3 PROPOSED FLOWLINE ELEVATION
 - 78.3 PROPOSED SPOT ELEVATION
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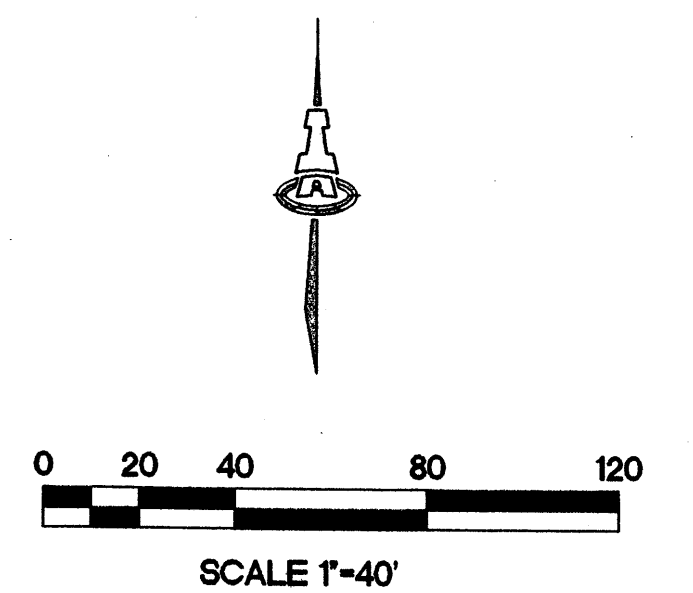
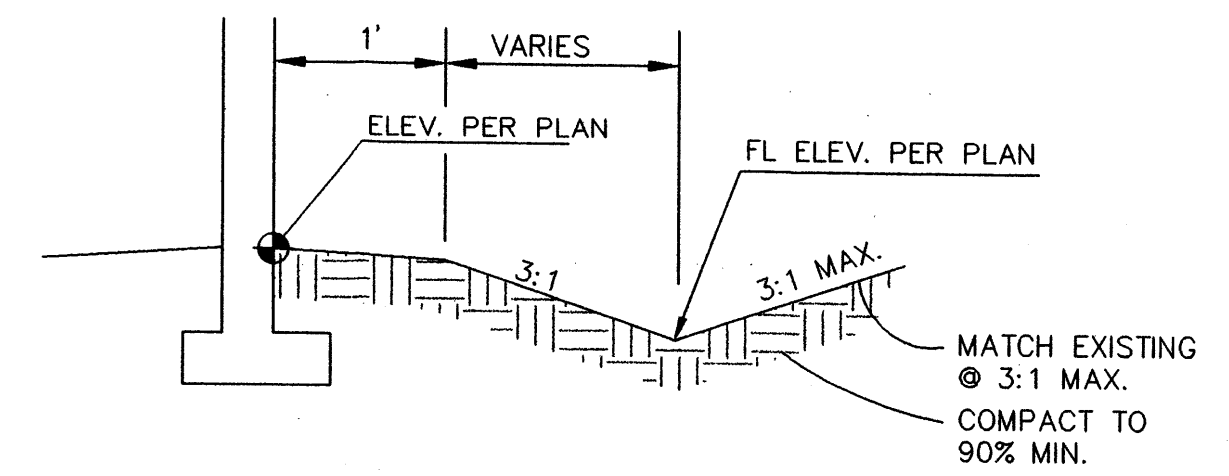
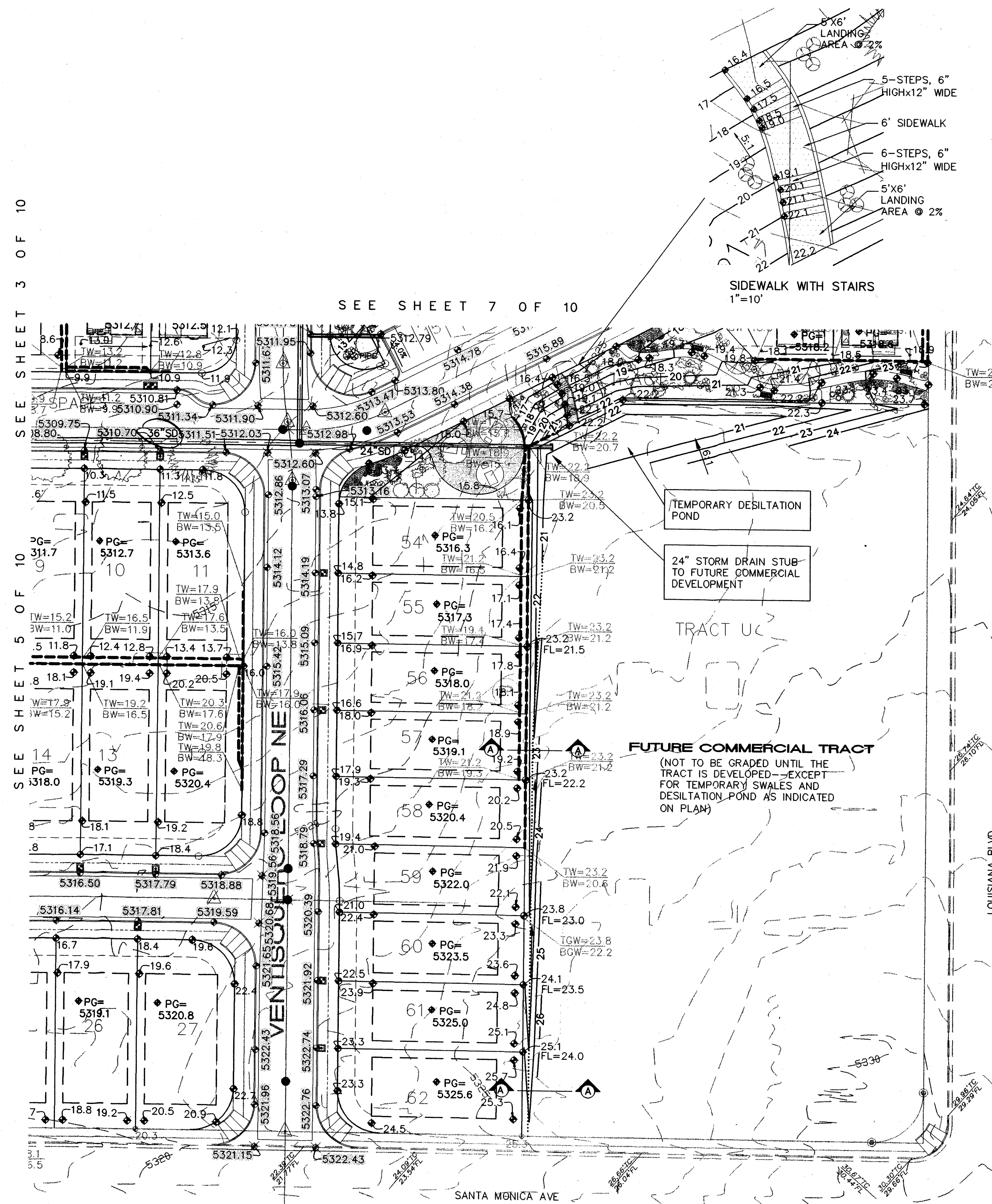
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 - STORM DRAIN W/ MANHOLE

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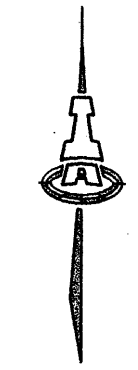
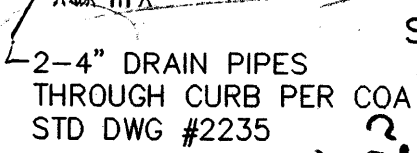
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- | | |
|--|---|
|  | EXISTING CONTOUR |
|  5278.3 | PROPOSED FLOWLINE ELEVATION |
|  78.3 | PROPOSED SPOT ELEVATION |
| PG= 5280.5 | PAD GRADE ELEVATION |
| 3 STEPS | # OF STEPS FROM GARAGE TO HOUSE |
|  | PROPOSED RETAINING WALL
(SEE SHEETS 9-10) |
|  | PROPOSED GARDEN RETAINING WALL
(SEE SHEETS 9-10) |
|  | PROPOSED PRIVATE LANDSCAPING
RETAINING WALL |
|  | STORM DRAIN W/ MANHOLE |

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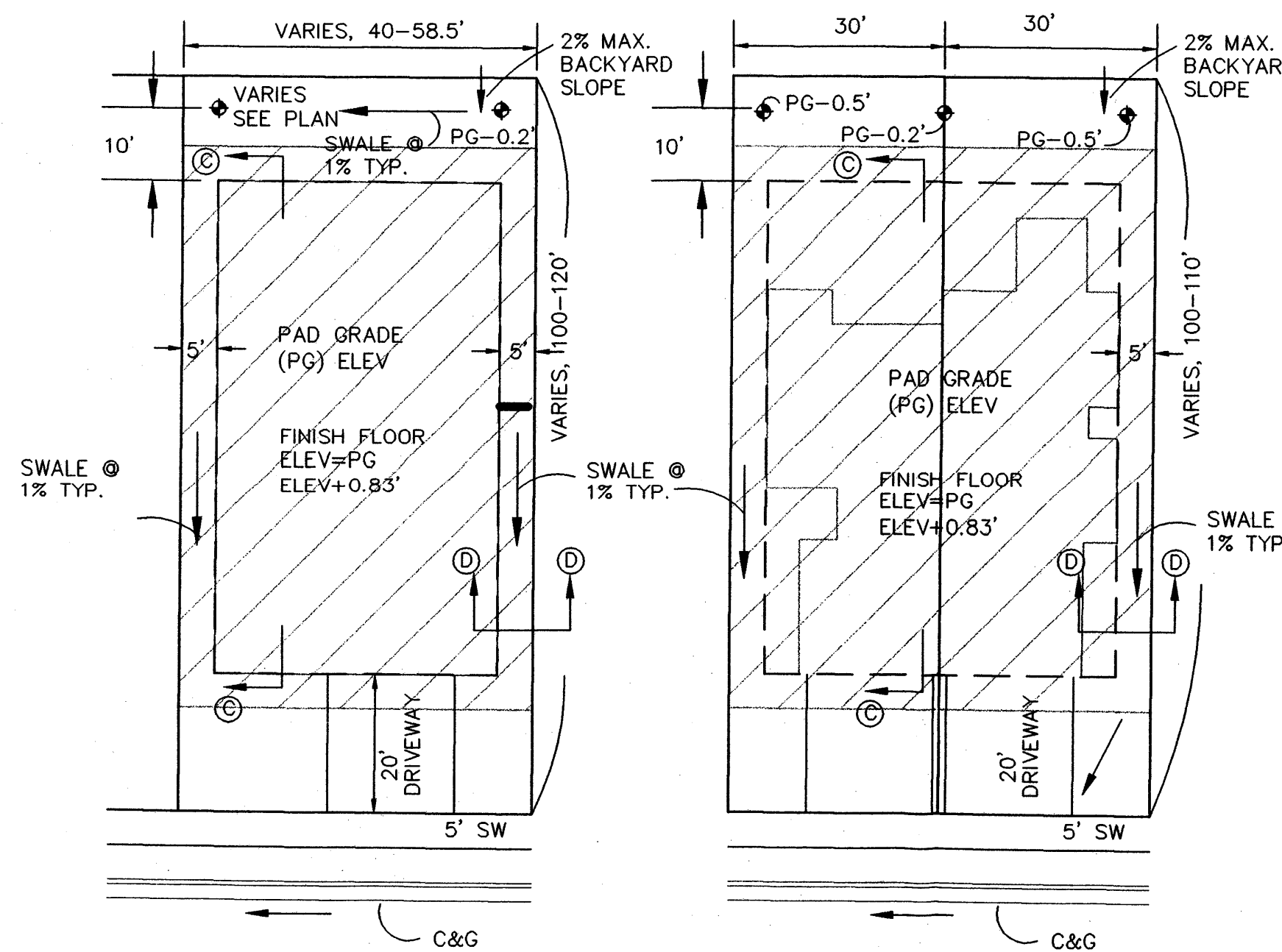
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SINGLE DETACHED UNIT

1'-20'
BLOCK A--LOTS 31 & 32
BLOCK B--LOTS 1 & 2
BLOCK H--LOTS 23-27
BLOCK J--LOTS 1-26
BLOCK K--LOTS 1-14
BLOCK L--LOTS 1-14
BLOCK M--LOTS 1-27
BLOCK NL--LOTS 1-14
BLOCK O--LOTS 1-22
BLOCK P--LOTS 1-9; 54-62
144 TOTAL LOTS

DUPLEX TOWNHOME UNITS

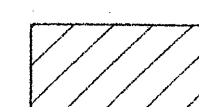
1'-20'
BLOCK C--LOTS 1-20
BLOCK D--LOTS 1-20
BLOCK E--LOTS 1-22
62 TOTAL LOTS

AFFORDABLE HOUSING UNITS

1'-20'
BLOCK A--LOTS 1-30
BLOCK B--LOTS 3-15
43 TOTAL LOTS

MULTIPLE TOWNHOME UNITS

1'-20'
BLOCK E--LOTS 1-34
BLOCK F--LOTS 1-34
BLOCK G--LOTS 1-34
102 TOTAL LOTS



COMPACTION ZONE - CONTRACTOR SHALL COMPACT SOILS IN THIS AREA TO A MINIMUM OF 95% COMPACTION PER ASTM D-1557, FOR A DEPTH OF 12 INCHES.

GRADING NOTES:

- ALL TRASH, DEBRIS, & SURFACE VEGETATION SHALL BE CLEARED AND LEGALLY DISPOSED OF OFFSITE.
- ALL SUBGRADE, OVEREXCAVATION, AND FILL SHALL BE PLACED AND / OR COMPACTED PER THE GEOTECHNICAL REPORT AND CITY OF ALBUQUERQUE SPECIFICATIONS.
- EXCAVATION IS UNCLASSIFIED AND INCLUDES EXCAVATION TO SUBGRADE ELEVATIONS INDICATED BY GEOTECHNICAL REPORT, REGARDLESS OF CHARACTER OF MATERIALS ENCOUNTERED.
- PAD AND ROUGH GRADING ELEVATIONS SHALL CONFORM TO ELEVATIONS SHOWN ON PLANS LESS MATERIAL THICKNESS WITHIN A TOLERANCE OF 0.2± FEET.
- GRADES SHOWN REPRESENT TOP OF FINISH MATERIAL (I.E. TOP OF CONCRETE, TOP OF PAVEMENT MATERIAL, TOP OF LANDSCAPING MATERIAL, ETC.). CONTRACTOR SHALL GRADE, COMPACT SUBGRADE AND DETERMINE EARTHWORK ESTIMATES BASED ON ELEVATIONS SHOWN MINUS MATERIAL THICKNESSES.
- UNIFORMLY GRADE AREAS WITHIN LIMITS OF GRADING AS SHOWN ON PLAN. SMOOTH FINISHED SURFACE WITHIN SPECIFIED TOLERANCE, COMPACT WITH UNIFORM SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE INDICATED.
- FIVE (5) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM, 260-1990, FOR LOCATION OF EXISTING UTILITIES.
- IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE OWNER OF SAID UTILITY, AND THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THE ENGINEER HAS CONDUCTED ONLY PRELIMINARY INVESTIGATION OF THE LOCATION, DEPTH, SIZE OR TYPE OF EXISTING UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES. THIS INVESTIGATION IS NOT CONCLUSIVE, AND MAY NOT BE COMPLETE, THEREFORE, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFORE. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
- OWNER WILL PROVIDE SOIL TESTING AND INSPECTION SERVICES DURING EARTHWORK OPERATIONS. CONTRACTOR SHALL ALLOW TESTING LABS TO INSPECT AND APPROVE COMPACTED SUBGRADES AND FILL LAYERS BEFORE FURTHER CONSTRUCTION WORK IS DONE. SHOULD COMPACTION TESTS INDICATE INADEQUATE DENSITY, CONTRACTOR SHALL PROVIDE ADDITIONAL COMPACTION AND TESTING AT THE CONTRACTOR'S SOLE EXPENSE.
- OWNER HAS ESTABLISHED SUBDIVISION BOUNDARY CORNERS. CONTRACTOR SHALL PROVIDE ALL OTHER CONSTRUCTION STAKING INCLUDING TRACT CORNERS. CONTRACTOR SHALL LOCATE AND PRESERVE ALL BOUNDARY CORNERS AND REPLACE ANY LOST OR DISTURBED CORNERS AT THE CONTRACTOR'S SOLE EXPENSE.
- OWNER WILL PROVIDE A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND INSPECTION. CONTRACTOR SHALL COMPLY WITH THE BEST MANAGEMENT PRACTICES (BMP'S) AS SPECIFIED IN THE SWPPP, AND WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION. REPORT ALL DISCREPANCIES TO THE ENGINEER AND VERIFY THE ENGINEER'S INTENT BEFORE PROCEEDING.
- TRANSITIONS TO EXISTING PAVEMENT GRADES SHALL BE SMOOTH AND LEVEL. ANY NEW PAVING SURFACE HOLDING WATER (BIRDBATH) SHALL BE REMOVED AND REPLACED AT THE CONTRACTOR'S SOLE EXPENSE.
- SEE SITE DEMOLITION PLAN FOR ALL SITE DEMOLITION INFORMATION.

OVEREXCAVATION NOTE:

PER GEOTECHNICAL REPORT BY WESTERN TECHNOLOGIES, DATED 8-30-07:

ALL BUILDING PADS SHALL BE OVEREXCAVATED 6" BELOW BOTTOM OF FOOTING OR 6" BELOW EXISTING GRADE, WHICHEVER IS GREATER. THE OVEREXCAVATION SHALL EXTEND 5' BEYOND THE BUILDING PADS.

PAD GRADE NOTE:

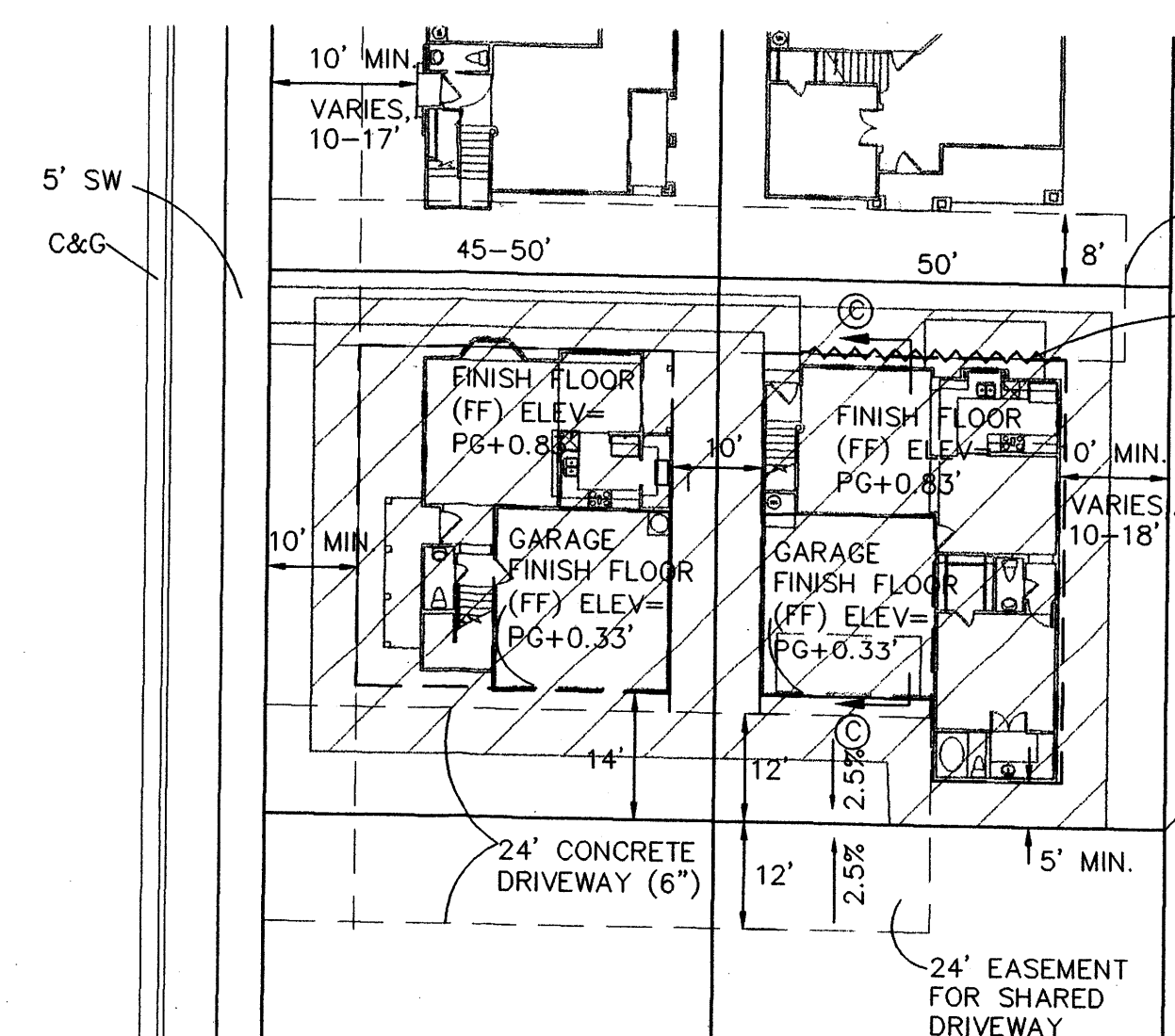
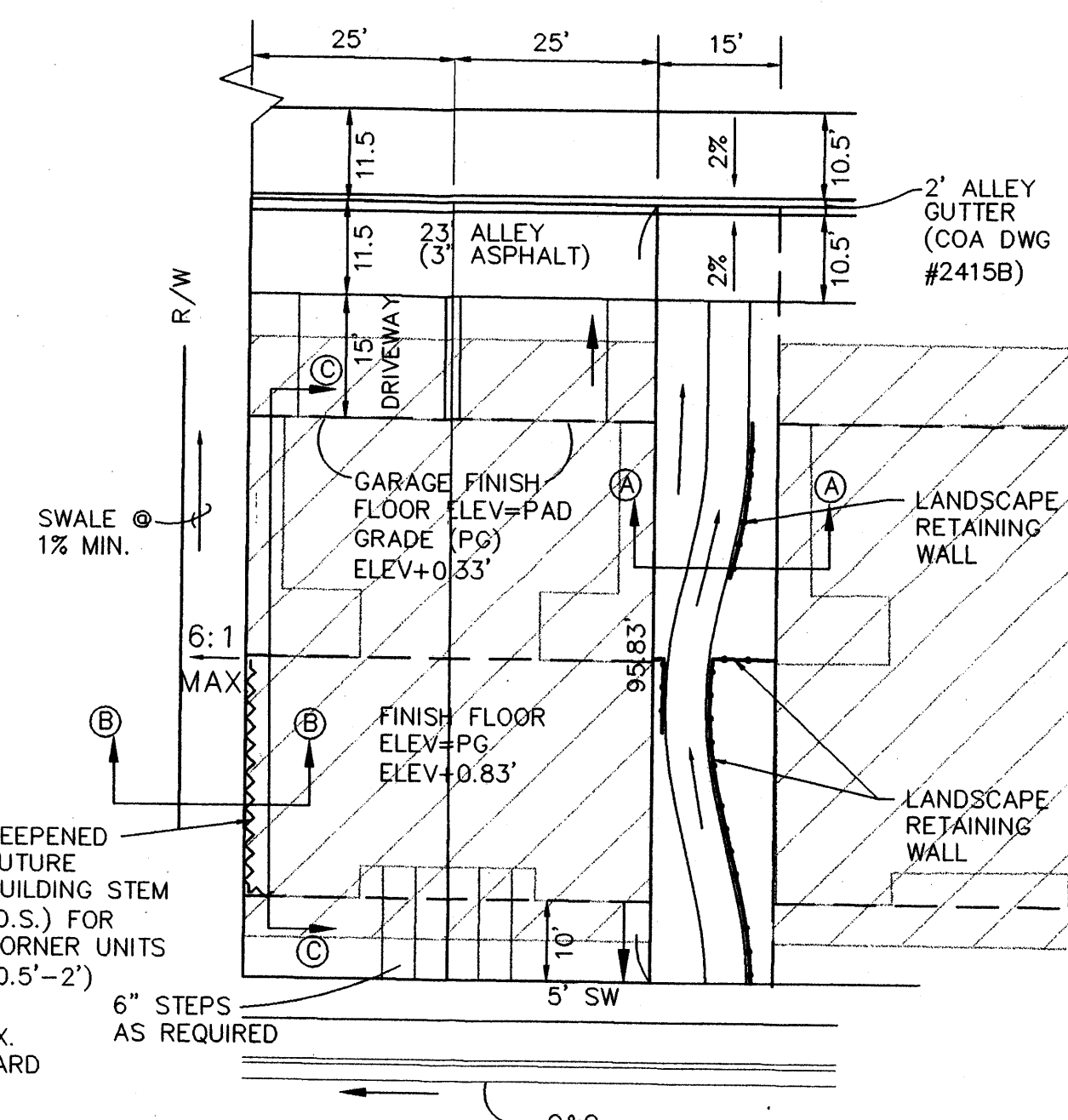
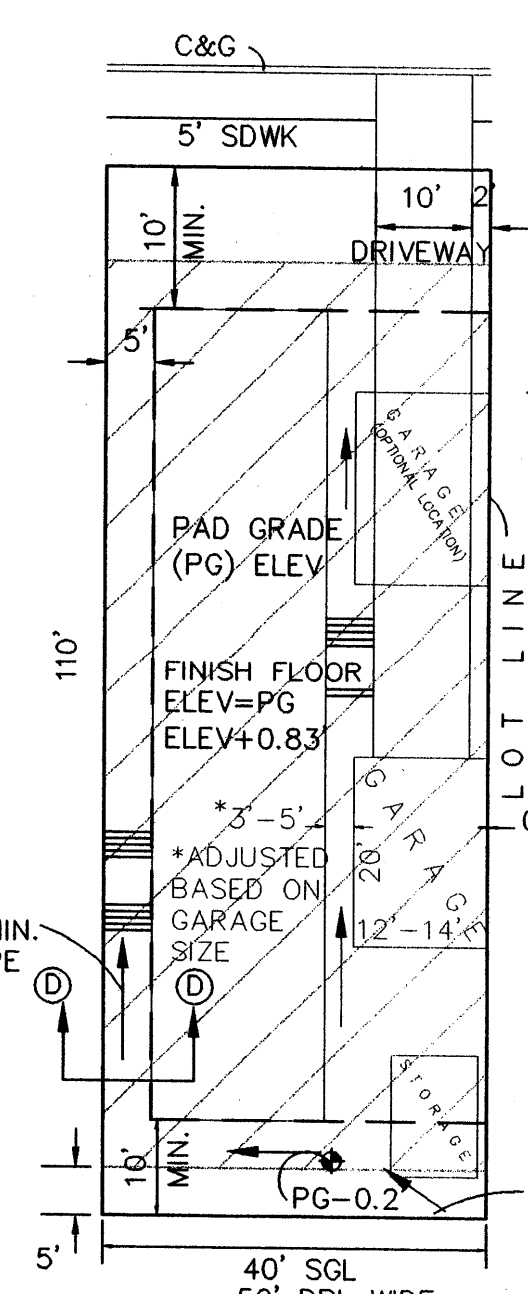
PER GEOTECHNICAL REPORT BY WESTERN TECHNOLOGIES, DATED 8-30-07:

THERE SHALL BE 4" AGGREGATE BASE COURSE (ABC) UNDERNEATH ALL BUILDING SLABS.

PAD GRADE ELEVATIONS SHOWN ON PLAN ARE BOTTOM OF ABC.

LANDSCAPING GRADES:

ALL GRADES SHOWN IN LANDSCAPED AREAS-- INCLUDING BACK-- AND SIDEYARD GRADES-- ARE TOP OF LANDSCAPING MATERIAL. DEDUCT 0.2' TO OBTAIN SUBGRADE ELEVATIONS



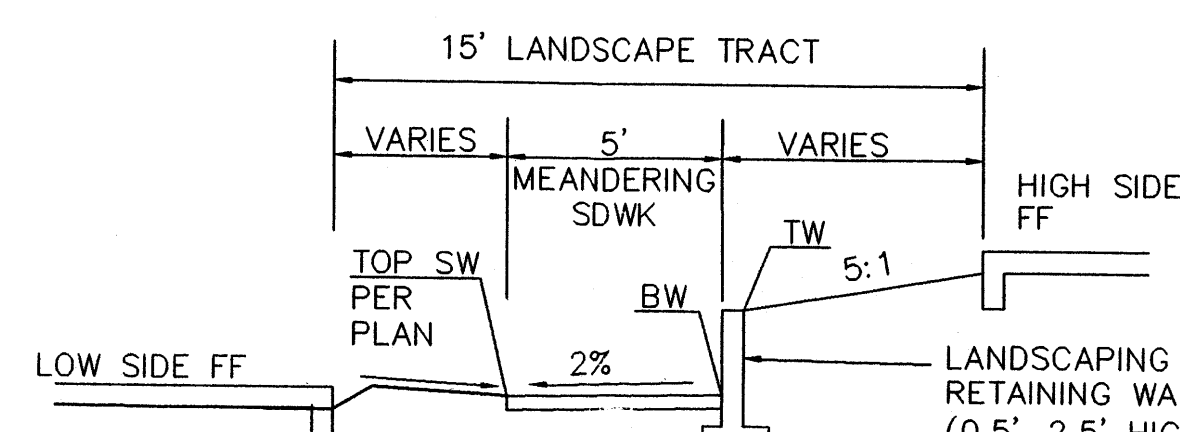
GREEN COURT UNITS

1'-20'
BLOCK P--LOTS 10-53
BLOCK Q--LOTS 1-16
60 TOTAL LOTS

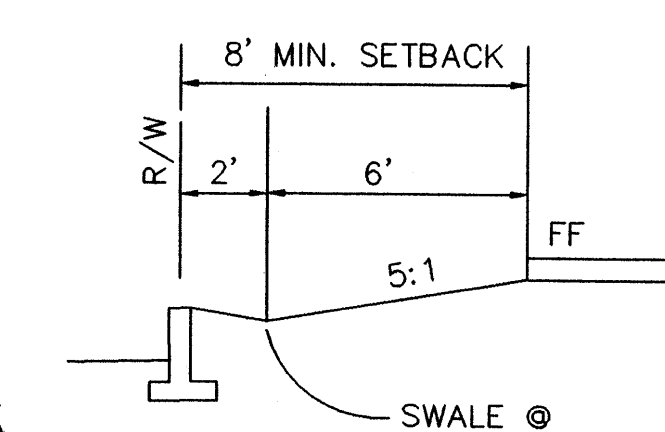
NOTE: A DETAILED GRADING & DRAINAGE PLAN SHALL BE PROVIDED AT BUILDING PERMIT.

ON CERTAIN UNITS THERE WILL BE STEPS IN THE GARAGE SO THE FINISH FLOOR GRADES WILL DIFFER BY UP TO 1.5'. ADD 10" (4" AGGREGATE BASE COURSE, 6" CONCRETE SLAB) TO OBTAIN FINISH FLOOR ELEVATIONS. SEE SECTION C-C THIS SHEET FOR TYPICAL PAD GRADING.

why submit to building? usually don't see

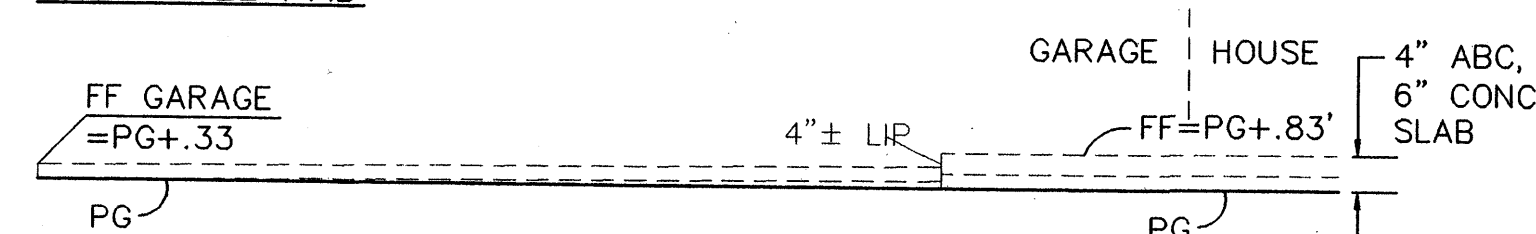


SECTION A-A
MULTIPLE TOWNHOME UNITS
TYPICAL LANDSCAPE TRACT
GRADING--TRACTS D-H, J-M
SCALE: 1"=5'

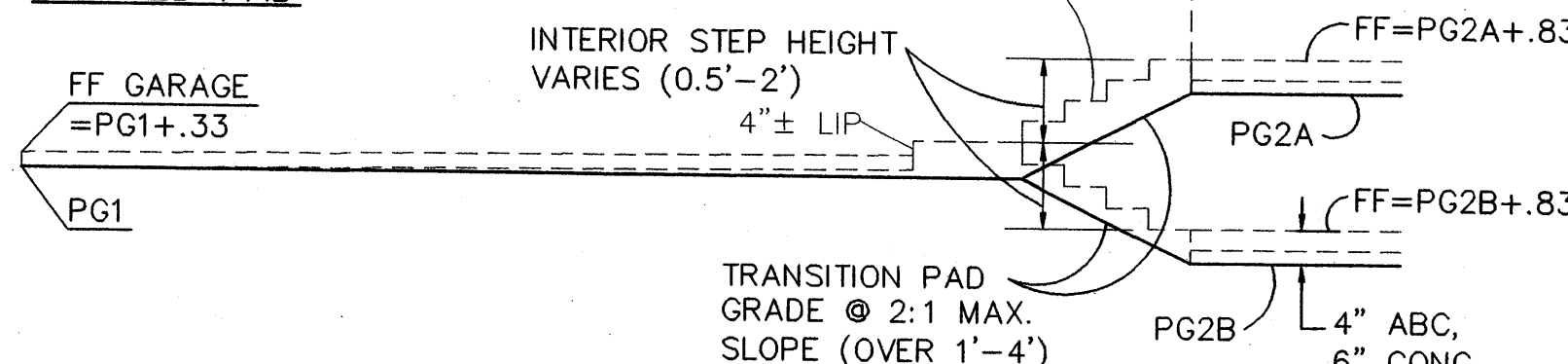


SECTION B-B
MULTIPLE TOWNHOME UNITS
TYPICAL CORNER LOT
SIDEYARD GRADING
SCALE: 1"=5'

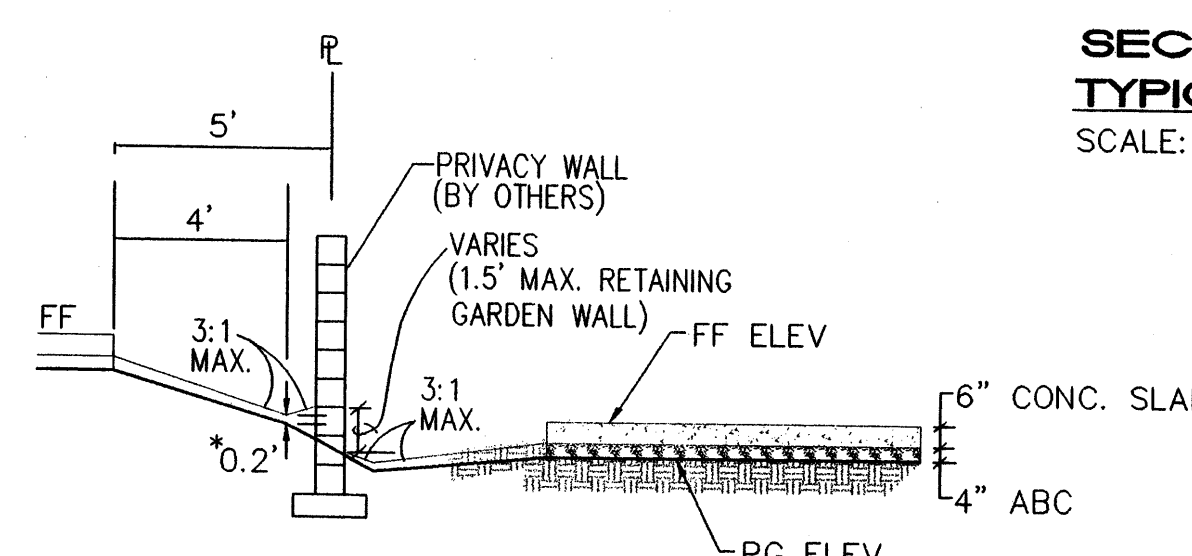
ONE-LEVEL PAD



STEPPED PAD

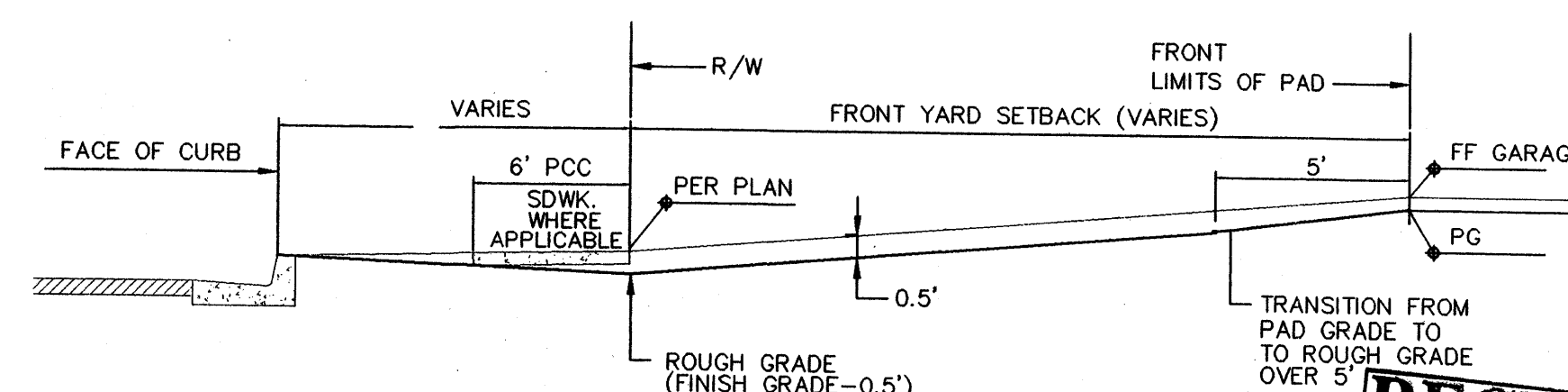


SECTION C-C
TYPICAL PAD GRADING
SCALE: 1"=5'

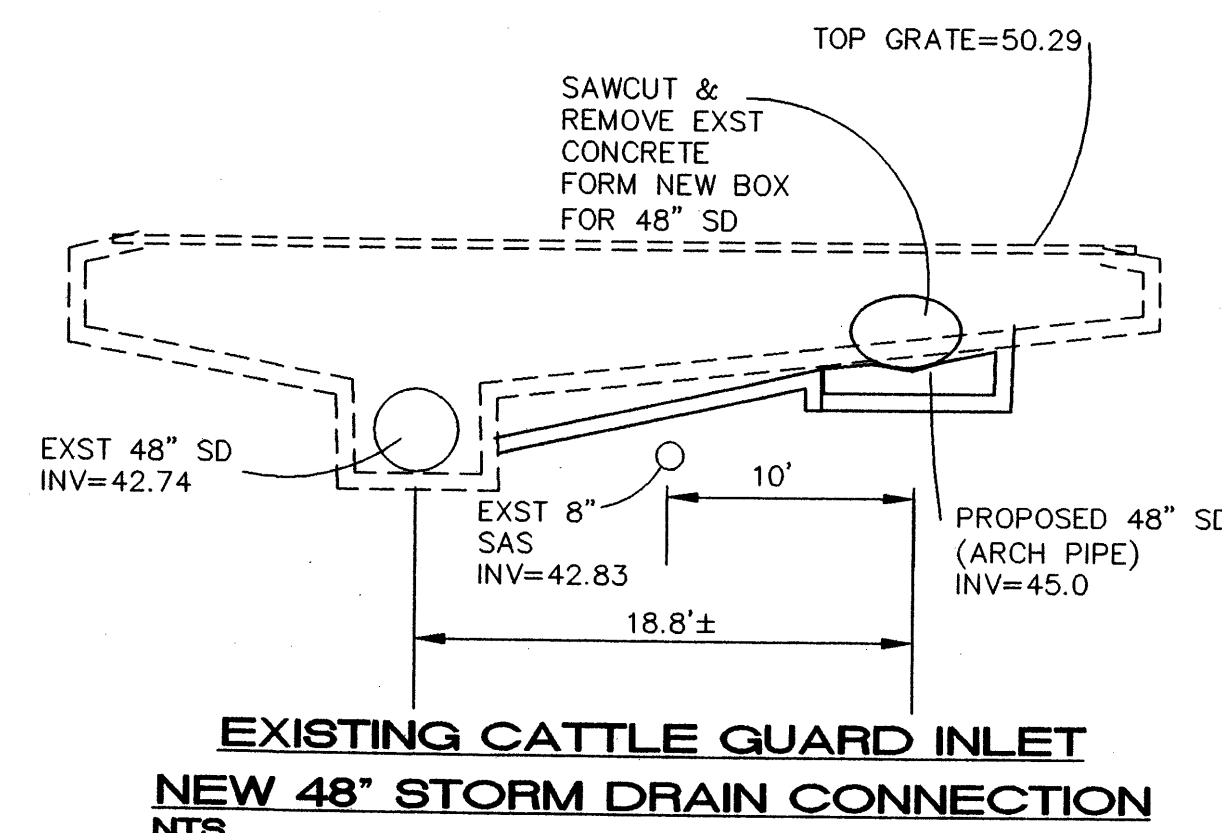


SECTION D-D
TYPICAL SIDEYARD GRADING
SCALE: 1"=5'

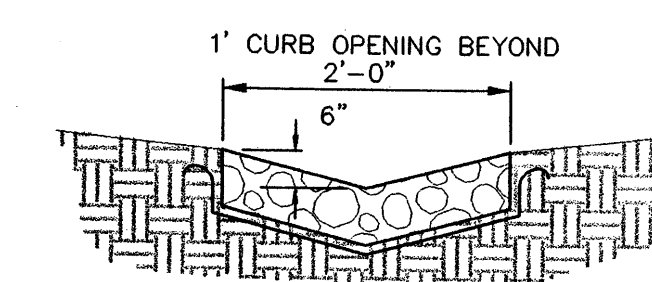
*GRADE SIDEYARD SWALES AT 0.2' BELOW PLAN GRADES TO ACCOUNT FOR LANDSCAPING MATERIAL



FRONT YARD GRADING
SCALE: 1"=5'-0"



EXISTING CATTLE GUARD INLET
NEW 48" STORM DRAIN CONNECTION
NTS



- VARY COBBLE SIZE BETWEEN 4" AND 8" DIA. (AVG.=6")
- PLACE GEOTEX 501 NON-WOVEN GEOTEXTILE (O.E.) BENEATH COBBLE SWALE.

CURB OPENING AND COBBLE SWALE

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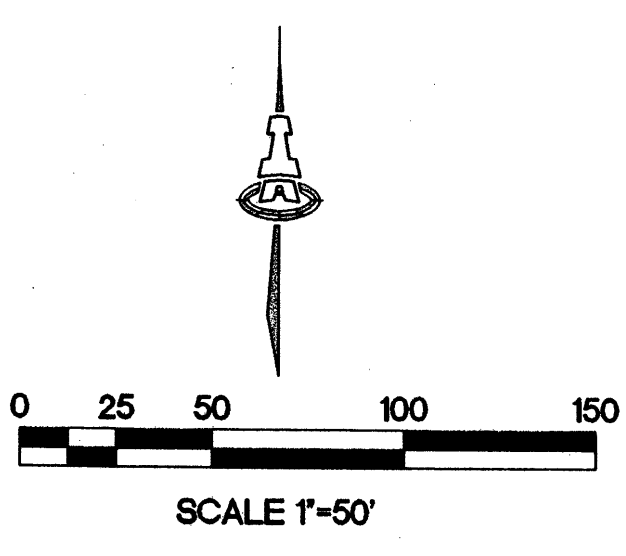
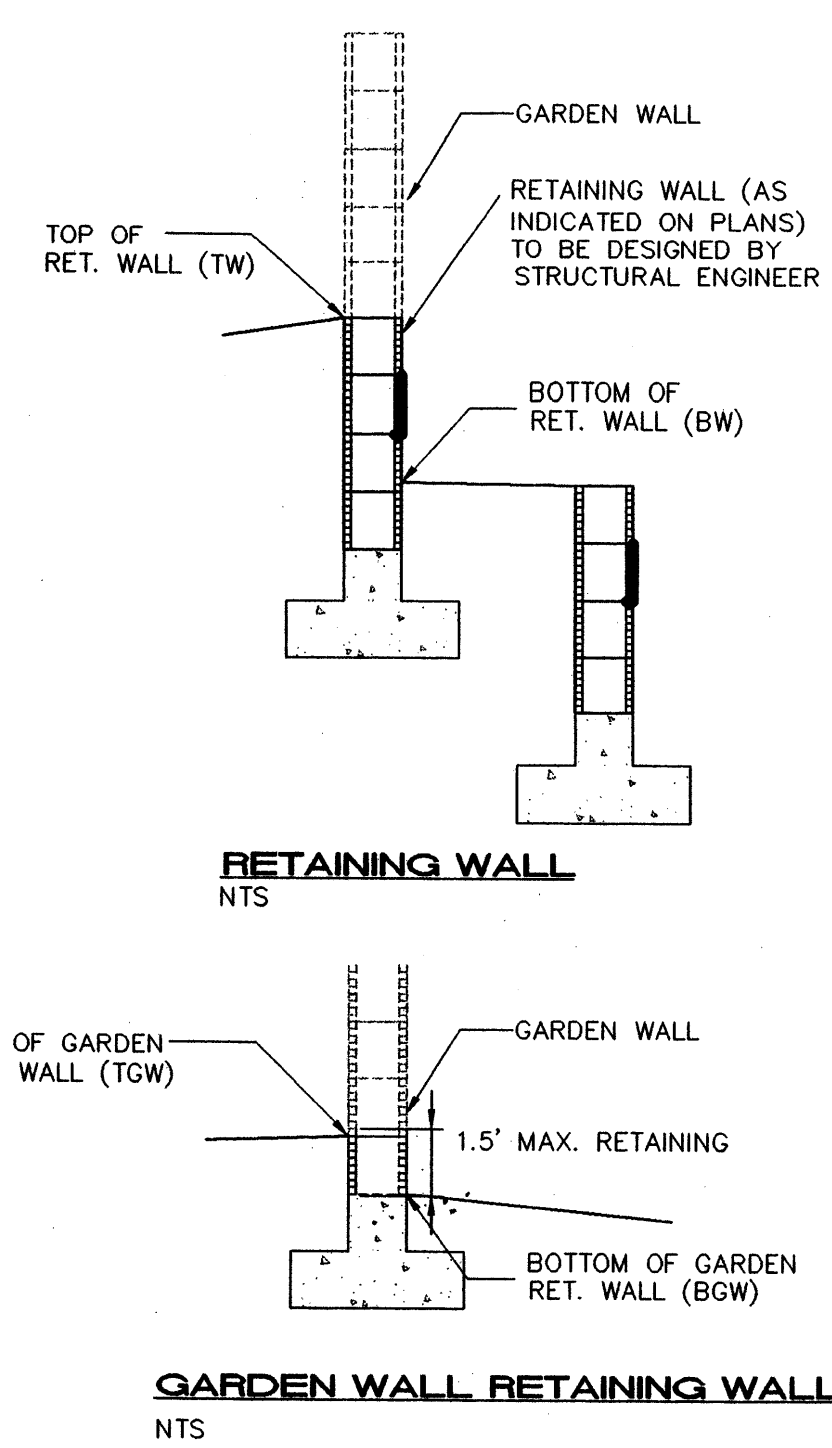
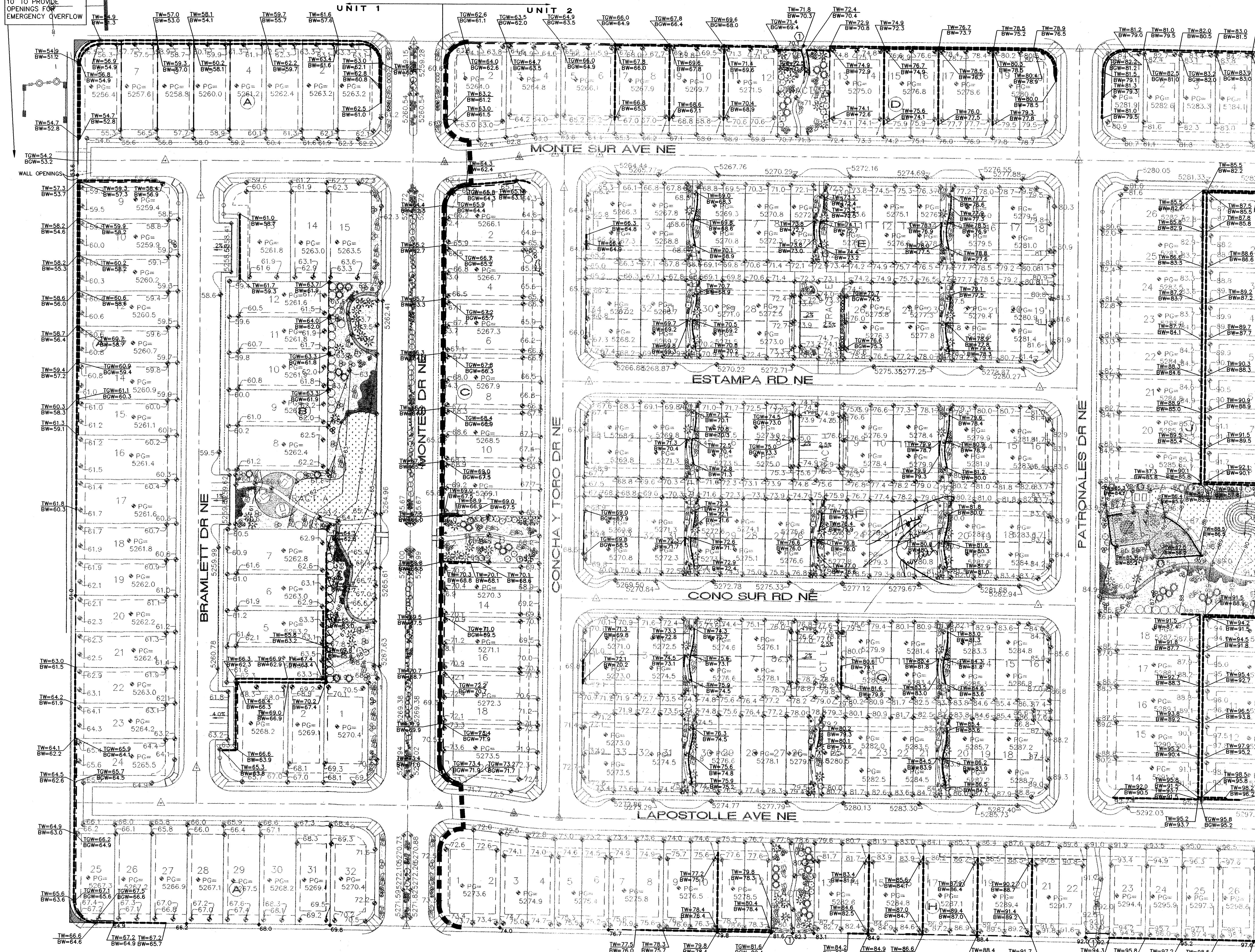
MONTEIRA DEL REY, UNIT 1-3

GRADING DETAILS & NOTES

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TURN EVERY OTHER
BLOCK SIDEWAYS OVER
10' TO PROVIDE
OPENINGS FOR
EMERGENCY OVERFLOW



- LEGEND**
- RETAINING WALL
 - TW=91.5
BW=67.4 TOP RETAINING WALL
BOTTOM RETAINING WALL
 - GARDEN WALL
 - TGW=93.0
BGW=91.5 TOP GARDEN WALL
BOTTOM GARDEN WALL
 - LANDSCAPE RETAINING WALL
- NOTE: WHERE SIDEWALK IS LOCATED ADJACENT TO HIGH SIDE OF WALL, WALL SHALL BE OFFSET 2 FEET FROM EDGE OF SIDEWALK
- ① SEE PERIMETER WALL DETAIL FOR OPEN SPACE WALL ADJACENT TO PERIMETER ON SHEET 10

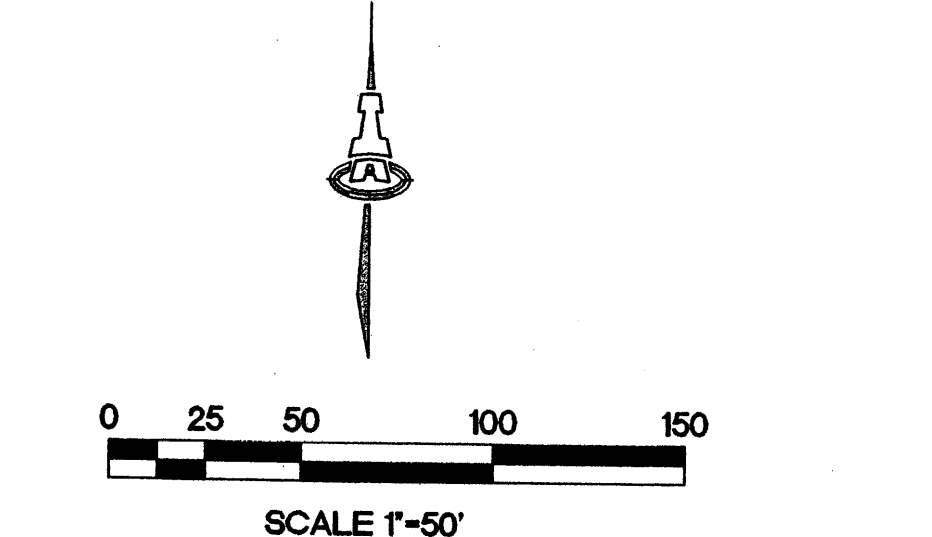
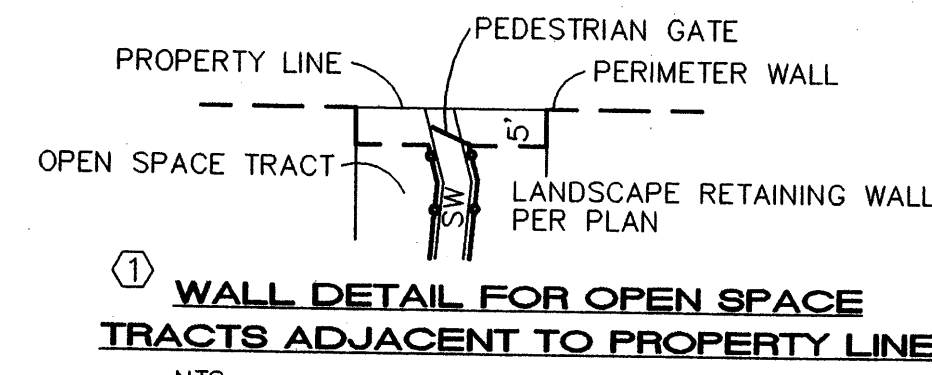
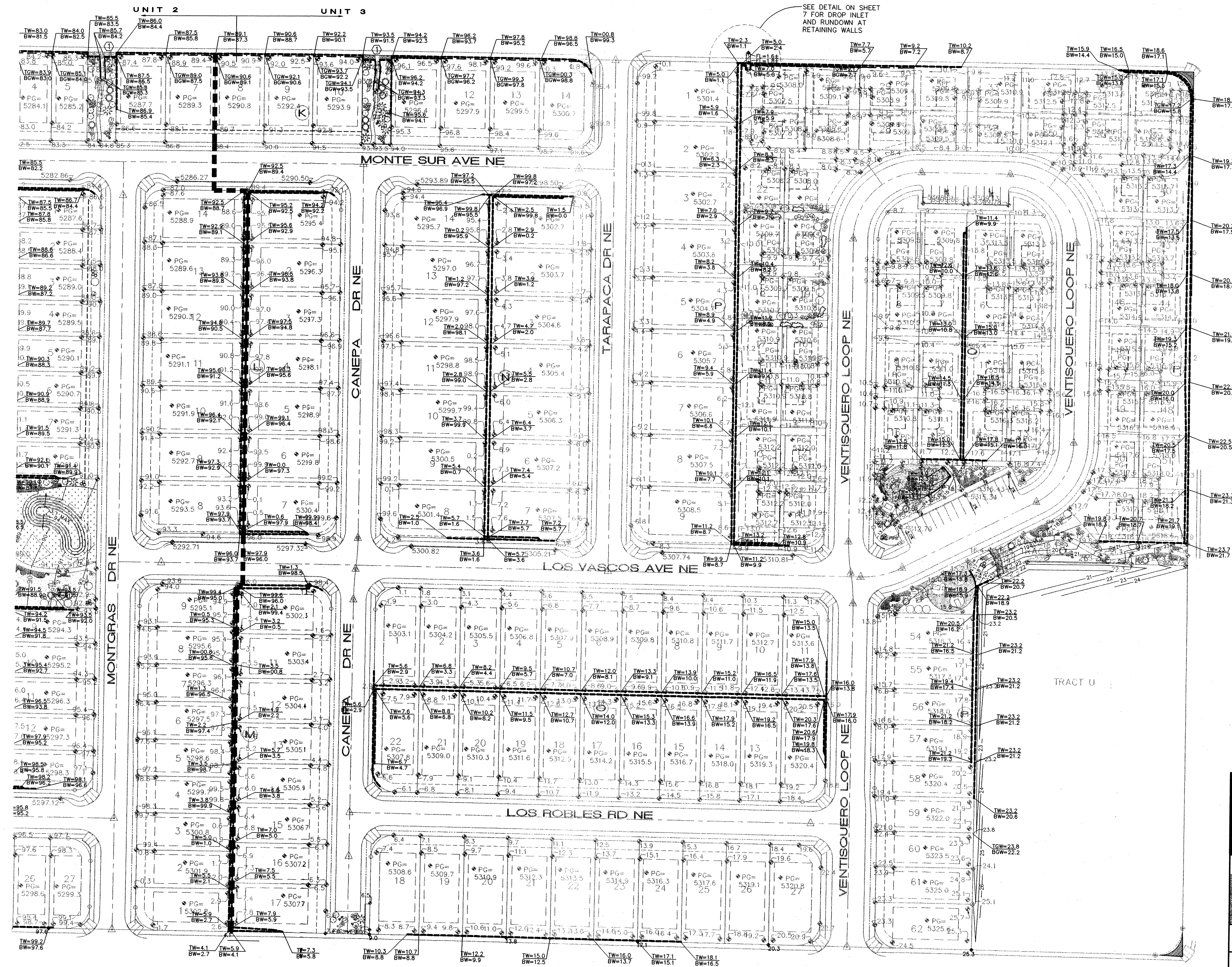
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MONTERA DEL REY UNITS 1-3

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SEE SHEET 9 OF 10



- LEGEND**
- RETAINING WALL
 - TOP RETAINING WALL
BOTTOM RETAINING WALL
 - GARDEN WALL
 - TOP GARDEN WALL
BOTTOM GARDEN WALL
 - LANDSCAPE RETAINING WALL
NOTE: WHERE SIDEWALK IS LOCATED ADJACENT TO HIGH SIDE OF WALL, WALL SHALL BE OFFSET 2 FEET FROM EDGE OF SIDEWALK
 - SEE PERIMETER WALL DETAIL FOR OPEN SPACE WALL ADJACENT TO PERIMETER ON THIS SHEET

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RETAINING WALL PLAN

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