

CITY OF ALBUQUERQUE



September 16, 2015

Asa Nilsson-Weber, P.E.
Isaacson & Arfin, PA
128 Monroe St NE
Albuquerque, NM 87108

**Re: Broadstone Promenade Phases 3 & 5
6400 San Pedro Dr. NE
Grading and Drainage Plan
Permanent CO – Accepted
Engineer's Stamp dated: 5-26-15 (D18D054A)
Certification dated: 9-10-15**

Dear Ms. Nilsson-Weber,

Based upon the information provided in your submittal received 9/11/2015, the above referenced Certification received is acceptable for the release of Certificate of Occupancy by Hydrology.

PO Box 1293

If you have any questions, you can contact me at 924-3695 or Totten Elliott at 924-3982.

Albuquerque

New Mexico 87103

Sincerely,

Rita Harmon, P.E.
Senior Engineer,
Planning Department

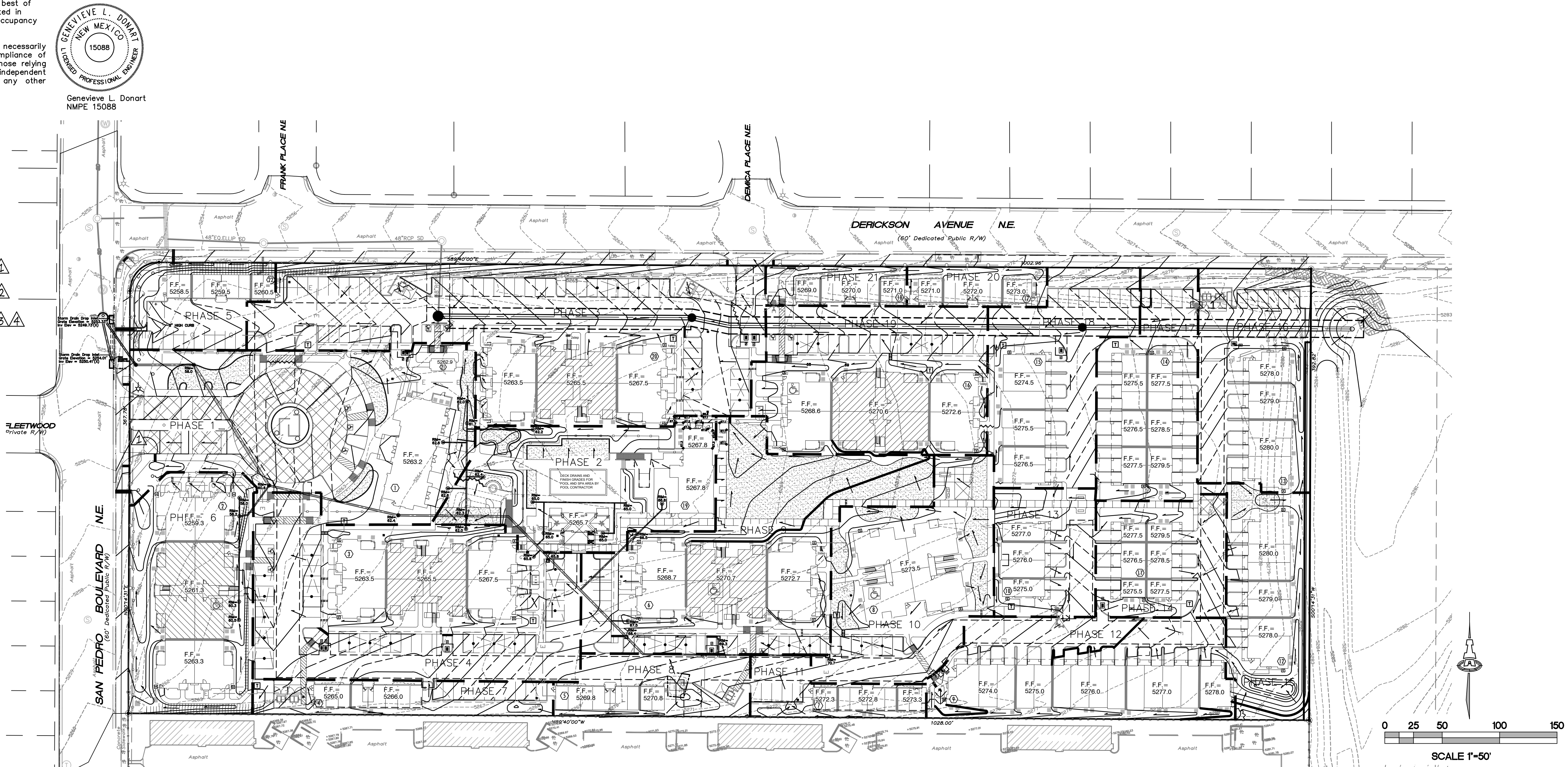
www.cabq.gov

C: TE/RH
email

I, Fred C. Arfman, NMPE 7322, Genevieve L. Donart NMPE 15086 or Aisa Nilsson-Weber, NMPE 17631 of the firm Isaacson & Arfman, P.A., hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated May 26, 2015, Grading and Drainage Plan, Project No. 15-001. The required information detailed on the original design document has been obtained by Russ P. Hugg, NMPS 9750, of the firm Surv-Tek, Inc. I further certify that I or someone under my direct supervision have personally visited the project site at various times as documented below and have determined by visual inspection that the project has been properly represented by the actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Permanent Certification of Occupancy for those individual buildings listed below.

A circular professional engineer seal for Fred C. Arfman, New Mexico. The outer ring contains the text "FRED C. ARFMAN" at the top and "LICENSED PROFESSIONAL ENGINEER" at the bottom. The inner ring contains "NEW MEXICO". The center of the seal features the license number "7322".

ASA M. NILSSON-WEBER
NEW MEXICO
17631
LICENSED PROFESSIONAL ENGINEER

[illegible]

4 GRADING OF SLOPE TO BE VERIFIED PRIOR TO CERTIFICATION OF PHASE 4.

The figure consists of three separate site plans arranged horizontally, labeled WEST CG1.2, MIDDLE CG1.3, and EAST CG1.4. Each plan shows a detailed layout of a facility with various rooms, corridors, and parking areas. The plans are separated by vertical lines.

	PROPOSED CONTOUR - 1' INCREMENT
	PROPOSED CONTOUR - 0.5' INCREMENT
	PROPOSED SPOT ELEVATION
	FLOW ARROW
	FINISH FLOOR ELEVATION
	EXISTING ELEVATION (±) TO MATCH. PROVIDE SMOOTH TRANSITION.
	ROCK EROSION CONTROL
	GRADE BREAK
	PROPOSED STORM DRAIN (SEE CG5.1)
	BUILDING PHASE LINE
	AS-BUILT SPOT ELEVATION

- A. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION. REPORT ALL DISCREPANCIES TO THE ARCHITECT / ENGINEER AND VERIFY THE ARCHITECT / ENGINEER'S INTENT BEFORE PROCEEDING.
- B. COORDINATE WORK WITH SITE PLAN, UTILITY PLAN, PAVING PLAN, AND LANDSCAPE PLAN.
- C. ALL TRASH, DEBRIS, & SURFACE VEGETATION SHALL BE CLEARED AND LEGALLY DISPOSED OF OFFSITE.
- D. PROPOSED SPOT AND CONTOUR ELEVATIONS SHOWN REPRESENT TOP OF FINISH MATERIAL (I.E. TOP OF CONCRETE, TOP OF CONCRETE BUILDING PAD, TOP OF PAVEMENT MATERIAL, TOP OF LANDSCAPING MATERIAL, ETC.). CONTRACTOR SHALL GRADE, COMPACT SUBGRADE AND DETERMINE EARTHWORK ESTIMATES BASED ON ELEVATIONS SHOWN MINUS FINISH MATERIAL THICKNESSES.
- E. EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE, OBSOLETE, SUCH LINES MAY OR MAY NOT EXIST AS SHOWN OR NOT SHOWN. CONTRACTOR SHALL CONTACT NM-811 FOR UTILITY LINE SPOTS TWO WORKING DAYS PRIOR TO CONDUCTING SITE FIELD WORK. CONTRACTOR SHALL FIELD VERIFY AND LOCATE ALL UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES.
- F. ALL NEW PAVEMENT SURFACES SHALL BE CONSTRUCTED WITH POSITIVE SLOPE AWAY FROM BUILDINGS. WHERE NEW GRADES ARE SHOWN AS "MATCH" OR "±", TRANSITIONS SHALL BE SMOOTH AND ADA ACCESSIBLE.
- G. SIDESLOPES > 3:1 SHALL HAVE PERMANENT EROSION CONTROL INSTALLED DURING LANDSCAPING PHASE AND WILL NOT BE INCLUDED IN ENGINEER'S CERTIFICATION FOR CERTIFICATE OF OCCUPANCY. NO SLOPE SHALL BE STEEPER THAN 1:1.
- H. ENGINEER RECOMMENDS THAT OWNER INSPECT SITE YEARLY AND AFTER EACH RAINFALL TO IDENTIFY NEW AREAS OF EROSION AND INSTALL ADDITIONAL EROSION PROTECTION AS NEEDED BASED ON ACTUAL OCCURRENCES.
- I. PAVEMENT GRADES IN MARKED HANDICAPPED PARKING AREAS SHALL NOT EXCEED 2.0% IN ANY DIRECTION. DESIGN GRADES ARE APPROX. 1.8% TO ALLOW FOR CONSTRUCTION TOLERANCES.

SEE STRUCTURAL PLANS FOR THICKNESS OF CONCRETE BLDG. SLABS AND SUB-SURFACE BASE COURSE TO ESTABLISH PAD GRADE AT BUILDINGS.

A detailed street map of the Derickson neighborhood in Minneapolis, Minnesota. The map shows a grid of streets including SUI, SU, SU1, SU2, SU3, SU4, SU5, SU6, SU7, SU8, SU9, SU10, SU11, SU12, SU13, SU14, SU15, SU16, SU17, SU18, SU19, SU20, SU21, SU22, SU23, SU24, SU25, SU26, SU27, SU28, SU29, SU30, SU31, SU32, SU33, SU34, SU35, SU36, SU37, SU38, SU39, SU40, SU41, SU42, SU43, SU44, SU45, SU46, SU47, SU48, SU49, SU50, SU51, SU52, SU53, SU54, SU55, SU56, SU57, SU58, SU59, SU60, SU61, SU62, SU63, SU64, SU65, SU66, SU67, SU68, SU69, SU70, SU71, SU72, SU73, SU74, SU75, SU76, SU77, SU78, SU79, SU80, SU81, SU82, SU83, SU84, SU85, SU86, SU87, SU88, SU89, SU90, SU91, SU92, SU93, SU94, SU95, SU96, SU97, SU98, SU99, SU100. The map also shows the location of the Derickson neighborhood, the Minneapolis-St. Paul International Airport, and the University of Minnesota. The map is oriented with North at the top.

[illegible]

CONSTRUCTION SEQUENCE OF BUILDINGS ARE DENOTED ON PLAN AS PHASES 1-21. ALL STORM DRAIN TRUNK LINES SHALL BE CONSTRUCTED PRIOR TO START OF BUILDING CONSTRUCTION. ALL OTHER DRAINAGE IMPROVEMENTS (AREA INLETS, SIDEWALK CULVERTS, SIDEWALK DRAIN PIPES) SHALL BE CONSTRUCTED WITH EACH BUILDING PHASE PRIOR TO CERTIFICATION.



TITAN
DEVELOPMENT

ALLIANCE
RESIDENTIAL COMPANY

 **ISAACSON &
ARFMAN, P.A.**
Consulting Engineering Associates
Ph. 505-268-8828 www.iaacivil.com
2025 CG 1.1-CERT.dwg Sep 10, 2015

Contractor must verify all dimensions at project before proceeding with this work.

Do not reproduce these drawings and specifications without the expressed written permission of the Architect. The drawings and specifications are instruments of service and shall remain the property of the Architect whether the project for which they are made is executed or not. These drawings and specifications shall not be used for any other projects, for additions to this project, or for completion of this project by others except by the expressed written permission of the Architect.

© ORB Architecture, LLC 2013

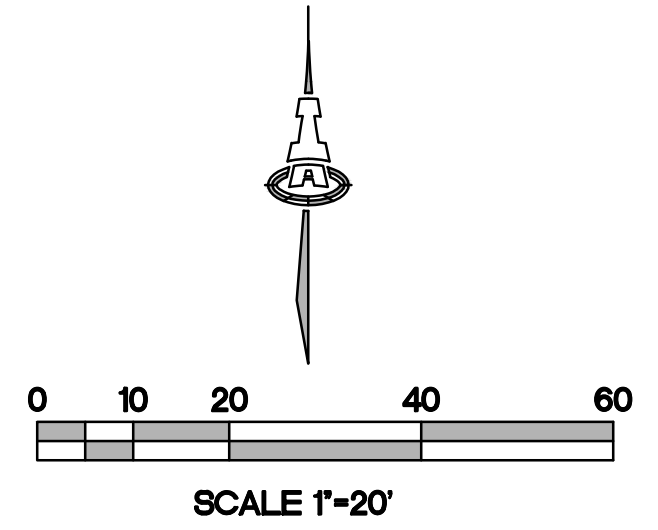
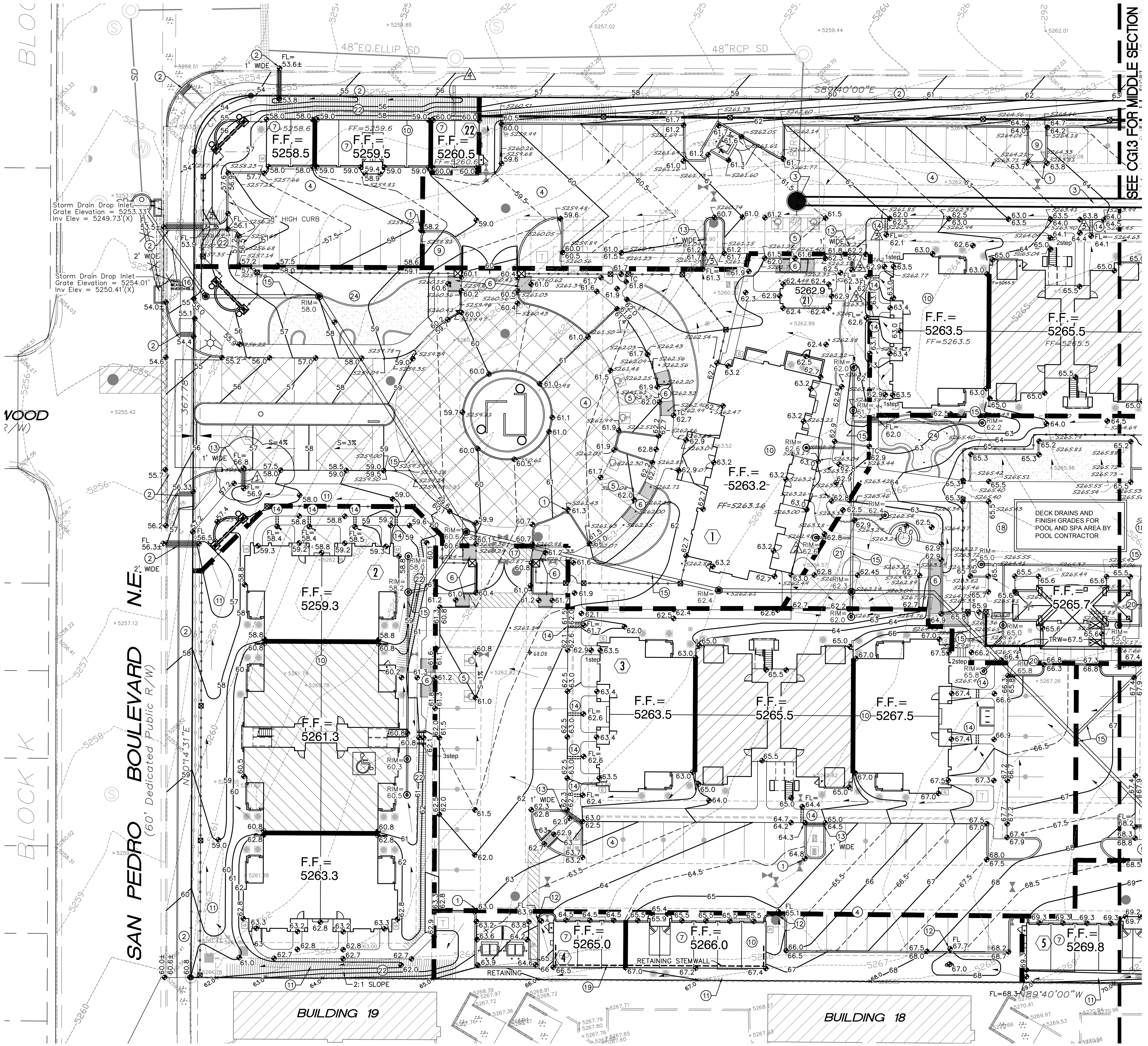
1	6/20/14	DESIGN TEAM COORDINATION
2	6/20/14	1ST CITY REVIEW
3	7/9/14	2ND CITY REVIEW
4	7/28/14	DESIGN TEAM COORDINATION

CONSTRUCTION SET

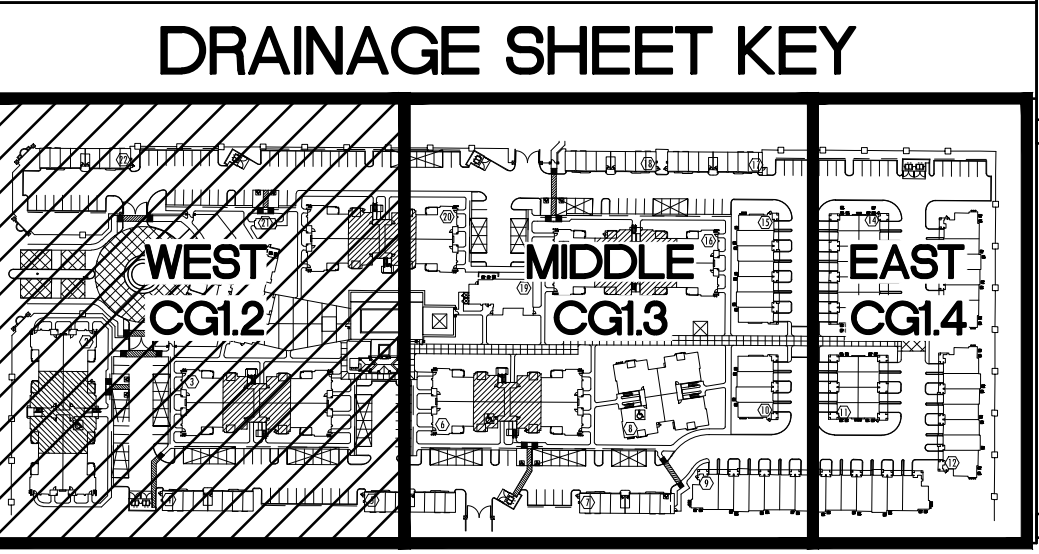
DATE: JULY 28, 2014 ORB # 13-220

CG1.1

OVERALL
GRADING AND DRAINAGE PLAN



- ### KEYED NOTES
- THESE NOTES ARE REFERENCED ON SHEETS CG1.2, CG1.3 AND CG1.4. NOT ALL NOTES ARE USED ON EACH SHEET.
- SPOT ELEVATION LABELS WITHIN GUTTER AREA REPRESENT FLOWLINE UNLESS NOTED. ADD 0.5' TYPICAL FOR TOP OF CURB / TOP OF ADJACENT WALK ELEVATIONS.
 - SEE PUBLIC WORK ORDER DRAWINGS FOR CONSTRUCTION WITHIN R.O.W. INCLUDING NEW ACCESS DRIVES WITH CONCRETE VALLEY GUTTER, HANDICAP RAMPS, PUBLIC SIDEWALKS, COVERED SIDEWALK CULVERTS, CURB OPENINGS ETC. GRADES SHOWN FOR INFORMATION ONLY.
 - SEE PUBLIC WORK ORDER DRAWINGS FOR CONSTRUCTION OF PUBLIC STORM SEWER SYSTEM WITHIN PUBLIC DRAINAGE EASEMENT THIS AREA.
 - CONSTRUCT PAVING, CURBS, WALKS AT ELEVATIONS SHOWN. SEE PAVING DETAILS AND ARCHITECTURAL SITE DETAILS FOR ADDITIONAL INFORMATION. NOTE THAT PAVEMENT SLOPES AND CROSS-SLOPES VARY THROUGHOUT TO ACHIEVE GRADES NECESSARY TO ACHIEVE PEDESTRIAN ACCESS, STREET STORMWATER CAPACITIES, PIPE COVERAGE, ETC.
 - SLOPES WITHIN HANDICAP PARKING AREAS TO MEET ADA REQUIREMENTS. MAX. SLOPE = 2% IN ANY DIRECTION.
 - CONSTRUCT HANDICAP ACCESS RAMP TO ADA STANDARDS. SEE ARCHITECTURAL FOR DETAILS.
 - F.F. ELEVATION WITHIN THIS UNIT REFERENCES TOP OF CONCRETE STEP AT BACK OF GARAGE. GRADE AT GARAGE DOOR TO BE 6" BELOW F.F. TO ACCOMMODATE 4" STEP AND PAD SLOPE.
 - REGRADE THIS AREA AS SHOWN TO ACCOMMODATE TEMPORARY STORM DRAIN STANDPIPE FOR TRACT 3 AND 4 UNDEVELOPED FLOW. SEE PUBLIC WORK ORDER DRAWINGS FOR ADDITIONAL INFORMATION.
 - DEPRESS LANDSCAPING TO 6" (TYPICAL) TO COLLECT LOCALIZED STORMWATER. FLOW IN EXCESS OF AREA CAPACITY WILL OVERFLOW AT LOW POINT. NOTE: DO NOT DEPRESS LANDSCAPING WITHIN 10' OF ANY STRUCTURE.
 - BUILDING ROOF DISCHARGE TO BE RELEASED TO ALL SIDES. PROVIDE CONCRETE SPLASH BLOCK AT DOWNSPOUT LOCATIONS (TYPICAL).
 - PROVIDE DEFINED SWALE WITHIN LANDSCAPING THIS AREA.
 - PROVIDE 1' WIDE OPENING IN CURB TO PASS FLOW.
 - CONSTRUCT ON-SITE COVERED SIDEWALK CULVERT (WIDTH PER PLAN) PER C.O.A. STD. DWG. 2236.
 - INSTALL TWO 4" DIA. PVC PIPE DRAINS @ 2% SLOPE THROUGH SIDEWALK PER C.O.A. STD. DWG. 2235. GRADE WITHIN LANDSCAPE TO DIRECT FLOW TO OPENING.
 - CONSTRUCT PRIVATE STORM DRAIN SYSTEM. SEE SHEET CG5.1 FOR SIZES / SLOPES / INLET INFORMATION / MATERIALS.
 - CONNECTION TO PUBLIC STORM SEWER INLET TO BE CONSTRUCTED PER C.O.A. STD. DWG. 2237. SEE CG5.1 FOR ADDITIONAL INFORMATION.
 - NOTE: STORM DRAIN CROSSES PUBLIC UTILITY MAINS THIS AREA.
 - POOL AREA GRADES SHOWN FOR GENERAL INFORMATION ONLY. POOL CONTRACTOR TO PROVIDE FINAL DESIGN GRADES / DECK DRAINS ETC.
 - CONSTRUCT RETAINING STEMWALL THIS BUILDING TO ACHIEVE GRADES SHOWN. SEE ARCHITECTURAL.
 - CONSTRUCT RETAINING WALL TO ACHIEVE GRADE DIFFERENCE THIS AREA. STRUCTURAL / WEEP HOLE DESIGN BY OTHERS.
 - 0.1' CONTOURS WITHIN OPEN COURTYARD THIS AREA PROVIDED TO CLARIFY DRAINAGE CONCEPT. COORDINATE WITH LANDSCAPE ARCHITECT.
 - EROSION CONTROL (MIN. 6" AVG. DIA. ANGULAR FACED ROCK) TO BE INSTALLED ON ALL SIDE SLOPES > 3:1 AND AS SHOWN HATCHED.
 - CONSTRUCT DEPRESS LANDSCAPING TO ELEVATIONS SHOWN TO COLLECT SUB-BASIN FLOW. FLOW IN EXCESS OF CAPACITY TO OVERFLOW AT ELEVATION OF 76.5 AS SHOWN. NO DETENTION SHALL OCCUR WITHIN 10' OF ANY STRUCTURE.
 - COORDINATE LANDSCAPING FEATURES I.E. MOW CURBS AND PUTTING GREEN WITH LANDSCAPE ARCHITECT WHILE MAINTAINING CLEAR DRAINAGE PATHS SHOWN.



BROADSTONE PROMENADE

6400 SAN PEDRO DRIVE NE
Albuquerque, New Mexico

Office of Rich Barber
ORB
Architecture, LLC

WorldHQ@ORBArch.com

NEW MEXICO
17631
Professional Engineer
5-25-15

TITAN
DEVELOPMENT

ALLIANCE
RESIDENTIAL COMPANY

ISAACSON & AREMAN, P.A.
Consulting Engineering Associates
Ph. 505-268-8828 www.isaacson.com
2025 CG 1.2 THRU 1.4-CERT. exp. 10.2015

Contractor must verify all dimensions at project before proceeding with this work.
Do not reproduce these drawings and specifications without the expressed written permission of the Architect. The drawings and specifications are instruments of service and shall remain the property of the Architect whether the project for which they are made is executed or not. These drawings and specifications shall not be used by anyone on any other projects, for additions to this project, or for completion of this project by others except by the expressed written permission of the Architect.

© ORB Architecture, LLC 2013

REVISIONS

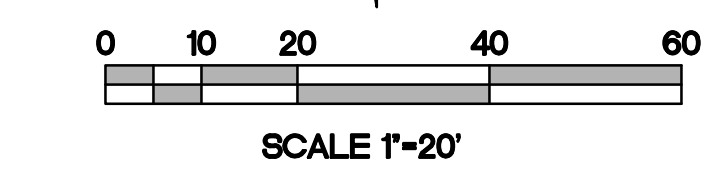
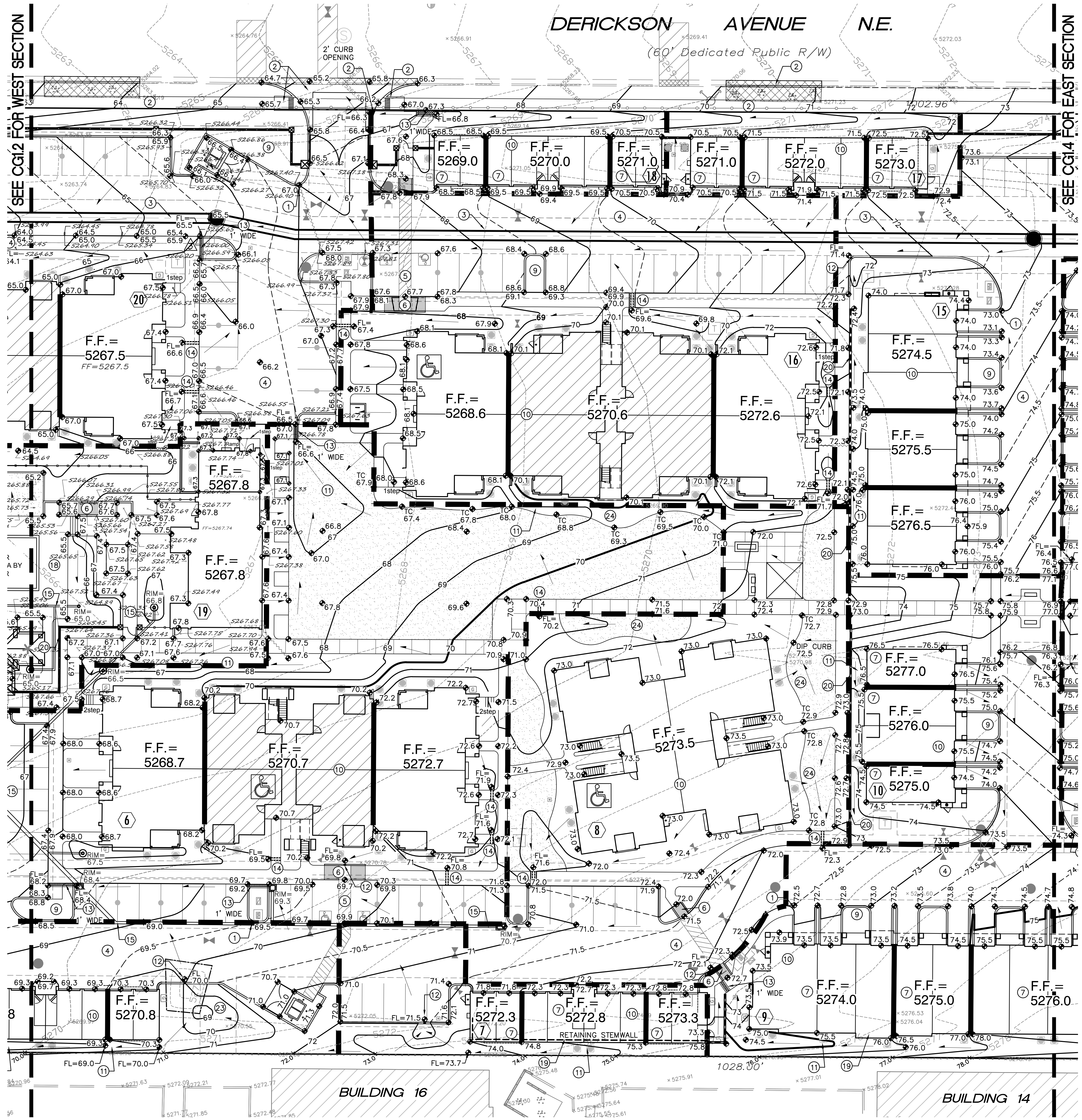
NO.	DATE	DESCRIPTION
1	6/20/14	DESIGN TEAM COORDINATION
2	6/20/14	1ST CITY REVIEW
3	7/9/14	2ND CITY REVIEW
4	7/28/14	DESIGN TEAM COORDINATION

CONSTRUCTION SET

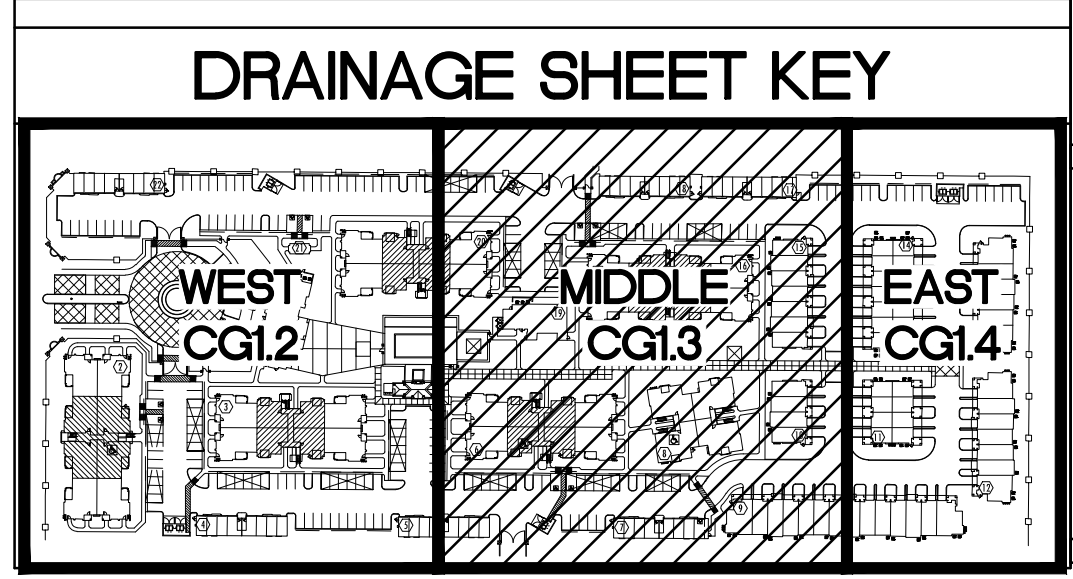
DATE: JULY 28, 2014 ORB # 13-220

CG1.2

WEST
GRADING AND DRAINAGE PLAN



- ### KEYED NOTES
- THESE NOTES ARE REFERENCED ON SHEETS CG1.2, CG1.3 AND CG1.4. NOT ALL NOTES ARE USED ON EACH SHEET.
- SPOT ELEVATION LABELS WITHIN GUTTER AREA REPRESENT FLOWLINE UNLESS NOTED. ADD 0.5' TYPICAL FOR TOP OF CURB / TOP OF ADJACENT WALK ELEVATIONS.
 - SEE PUBLIC WORK ORDER DRAWINGS FOR CONSTRUCTION WITHIN R.O.W. INCLUDING NEW ACCESS DRIVES WITH CONCRETE VALLEY GUTTER, HANDICAP RAMPS, PUBLIC SIDEWALKS, COVERED SIDEWALK CULVERTS, CURB OPENINGS ETC. GRADES SHOWN FOR INFORMATION ONLY.
 - SEE PUBLIC WORK ORDER DRAWINGS FOR CONSTRUCTION OF PUBLIC STORM SEWER SYSTEM WITHIN PUBLIC DRAINAGE EASEMENT THIS AREA.
 - CONSTRUCT PAVING, CURBS, WALKS AT ELEVATIONS SHOWN. SEE PAVING DETAILS AND ARCHITECTURAL SITE DETAILS FOR ADDITIONAL INFORMATION. NOTE THAT PAVEMENT SLOPES AND CROSS-SLOPES VARY THROUGHOUT TO ACHIEVE GRADES NECESSARY TO ACHIEVE PEDESTRIAN ACCESS, STREET STORMWATER CAPACITIES, PIPE COVERAGE, ETC.
 - SLOPES WITHIN HANDICAP PARKING AREAS TO MEET ADA REQUIREMENTS. MAX. SLOPE = 2% IN ANY DIRECTION.
 - CONSTRUCT HANDICAP ACCESS RAMP TO ADA STANDARDS. SEE ARCHITECTURAL FOR DETAILS.
 - F.F. ELEVATION WITHIN THIS UNIT REFERENCES TOP OF CONCRETE STEP AT BACK OF GARAGE. GRADE AT GARAGE DOOR TO BE 6" BELOW F.F. TO ACCOMMODATE 4" STEP AND PAD SLOPE.
 - REGRADE THIS AREA AS SHOWN TO ACCOMMODATE TEMPORARY STORM DRAIN STANDPIPE FOR TRACT 3 AND 4 UNDEVELOPED FLOW. SEE PUBLIC WORK ORDER DRAWINGS FOR ADDITIONAL INFORMATION.
 - DEPRESS LANDSCAPING TO 6" (TYPICAL) TO COLLECT LOCALIZED STORMWATER. FLOW IN EXCESS OF AREA CAPACITY WILL OVERFLOW AT LOW POINT. NOTE: DO NOT DEPRESS LANDSCAPING WITHIN 10' OF ANY STRUCTURE.
 - BUILDING ROOF DISCHARGE TO BE RELEASED TO ALL SIDES. PROVIDE CONCRETE SPLASH BLOCK AT DOWNSPOUT LOCATIONS (TYPICAL).
 - PROVIDE DEFINED SWALE WITHIN LANDSCAPING THIS AREA.
 - PROVIDE 1' WIDE OPENING IN CURB TO PASS FLOW.
 - CONSTRUCT ON-SITE COVERED SIDEWALK CULVERT (WIDTH PER PLAN) PER C.O.A. STD. DWG. 2236.
 - INSTALL TWO 4" DIA. PVC PIPE DRAINS @ 2% SLOPE THROUGH SIDEWALK PER C.O.A. STD. DWG. 2235. GRADE WITHIN LANDSCAPE TO DIRECT FLOW TO OPENING.
 - CONSTRUCT PRIVATE STORM DRAIN SYSTEM. SEE SHEET CG5.1 FOR SIZES / SLOPES / INLET INFORMATION / MATERIALS.
 - CONNECTION TO PUBLIC STORM SEWER INLET TO BE CONSTRUCTED PER C.O.A. STD. DWG. 2237. SEE CG5.1 FOR ADDITIONAL INFORMATION.
 - NOTE: STORM DRAIN CROSSES PUBLIC UTILITY MAINS THIS AREA.
 - POOL AREA GRADES SHOWN FOR GENERAL INFORMATION ONLY. POOL CONTRACTOR TO PROVIDE FINAL DESIGN GRADES / DECK DRAINS ETC.
 - CONSTRUCT RETAINING STEMWALL THIS BUILDING TO ACHIEVE GRADES SHOWN. SEE ARCHITECTURAL.
 - CONSTRUCT RETAINING WALL TO ACHIEVE GRADE DIFFERENCE THIS AREA. STRUCTURAL / WEEP-HOLE DESIGN BY OTHERS.
 - 0.1' CONTOURS WITHIN OPEN COURTYARD THIS AREA PROVIDED TO CLARIFY DRAINAGE CONCEPT. COORDINATE WITH LANDSCAPE ARCHITECT.
 - EROSION CONTROL (MIN. 6" AVG. DIA. ANGULAR FACED ROCK) TO BE INSTALLED ON ALL SIDE SLOPES > 3:1 AND AS SHOWN HATCHED.
 - CONSTRUCT DEPRESS LANDSCAPING TO ELEVATIONS SHOWN TO COLLECT SUB-BASIN FLOW. FLOW IN EXCESS OF CAPACITY TO OVERFLOW AT ELEVATION OF 76.5 AS SHOWN. NO DETENTION SHALL OCCUR WITHIN 10' OF ANY STRUCTURE.
 - COORDINATE LANDSCAPING FEATURES I.E. MOW CURBS AND PUTTING GREEN WITH LANDSCAPE ARCHITECT WHILE MAINTAINING CLEAR DRAINAGE PATHS SHOWN.



BROADSTONE PROMENADE

6400 SAN PEDRO DRIVE NE
Albuquerque, New Mexico

Office of Rich Barber
ORB
Architecture, LLC

WorldHQ@ORBArch.com

NEW MEXICO
17831
Professional Seal
5-26-15

TITAN
DEVELOPMENT

ALLIANCE
RESIDENTIAL COMPANY

ISAACSON & AREMAN, P.A.
Consulting Engineering Associates
Ph. 505-268-8828 www.isaacson.com
2025 CG 1.2 THRU 1.4-CERT.dwg 10.2015

Contractor must verify all dimensions at project before proceeding with this work.
Do not reproduce these drawings and specifications without the expressed written permission of the Architect. The drawings and specifications are instruments of service and shall remain the property of the Architect whether the project for which they are made is executed or not. These drawings and specifications shall not be used by anyone on any other project, for additions to this project, or for completion of this project by others except by the expressed written permission of the Architect.

© ORB Architecture, LLC 2013

REVISIONS

6/20/14	DESIGN TEAM COORDINATION
6/20/14	1ST CITY REVIEW
7/9/14	2ND CITY REVIEW
7/28/14	DESIGN TEAM COORDINATION

CONSTRUCTION SET

DATE: JULY 28, 2014 ORB # 13-220

CG1.3

MIDDLE
GRADING AND DRAINAGE PLAN



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: _____ Building Permit #: _____ City Drainage #: _____

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: _____

City Address: _____

Engineering Firm: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Owner: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Architect: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Surveyor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Contractor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY) Phases 3&5
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes _____ No _____ Copy Provided

DATE SUBMITTED: September 10, 2015 By: Genevieve Donart
Isaacson & Afrman, P.A.

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development