

May 17, 2016

Asa Nilsson-Weber, PE Isaacson & Arfman, PA 128 Monroe NE Albuquerque, NM 87108

Re: Broadstone Promenade, Bldg 14, Phase 17

6400 San Pedro NE

Request for Certificate of Occupancy- Transportation Development

Engineer's/Architect's Stamp dated 6-19-14 (D18-D054A)

Certification dated 5-12-16

Dear Ms. Nilsson-Weber,

Based upon the information provided in your submittal received 5-13-16, Transportation Development has no objection to the issuance of a <u>Permanent Certificate of Occupancy</u>. This letter serves as a "green tag" from Transportation Development for a <u>Permanent Certificate of Occupancy</u> to be issued by the Building and Safety Division.

PO Box 1293

If you have any questions, please contact Gary Sandoval at (505) 924-3675 or me at

Albuquerque

Sincerely,

New Mexico 87103

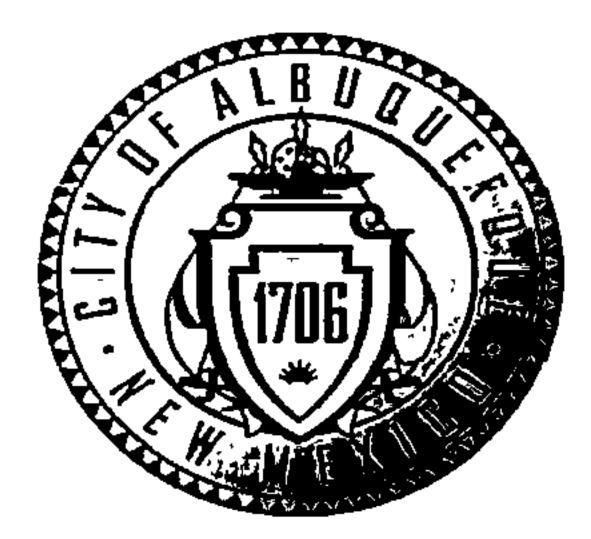
Racquel M. Michel, P.E.

Traffic Engineer, Planning Dept.

Development Review Services

(505)924-3991.

\gs via: email C: CO Clerk, File

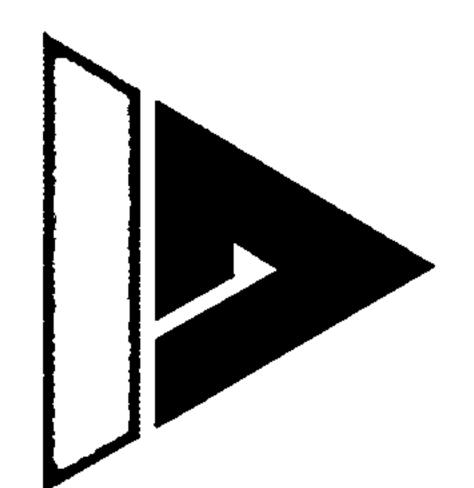


Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

DRB#: EPC#:	Place Building Permit #: City Drainage #: D18-D05
Legal Description: Tract 1, Santa Monica Place	
City Address:	
Engineering Firm: Isaacson & Arfman, P.A.	Contact: Asa Nilsson-Weber
Address: 128 Monroe Street NE - Albuquerque, NM 87108	3
Phone#: (505) 268-8828 Fax#:	E-mail: asaw@iacivil.com
Owner: DRI TSM, LLC - c/o Titan Development Company	Contact: Kurt Browning
Address: 6300 Riverside Plaza Lane NW, Suite 200 - Albud	· · · · · · · · · · · · · · · · · · ·
hone#: (505) 998-0163 Fax#:	E-mail:
Architect:	Contact:
Address: Phone#: Fax#:	E-mail:
Other Contact: Surv-Tek, Inc.	Contact: Russ P. Hugg
Address: 9384 Valley View Drive - Albuquerque, NM 8711 Phone#: (505) 897-3366 Fax#:	
hone#: (505) 897-3366 Fax#:	E-mail:
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Consulting Engineering Associates

Thomas O. Isaacson, PE (Ret.) & LS (Ret.) * Fred C. Arfman, PE * Åsa Nilsson-Weber, PE

Date: May 12, 2016

Project: Broadstone Promenade 7400 San Pedro Blvd, NE

Subject: Rolling TCL Certification; Phase 17, Building No: 14

TRAFFIC CERTIFICATION

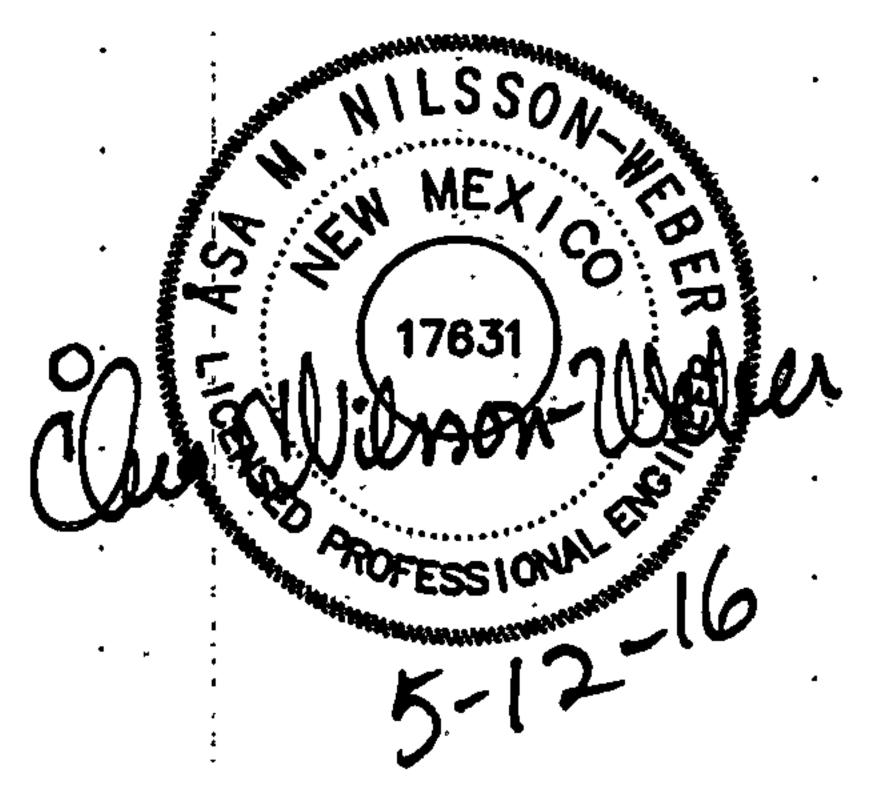
I, Åsa Nilsson-Weber, PE, NMPE No. 17631, of the firm Isaacson & Arfman, PA, hereby certify that the portion of the site as identified on the attached TCL plan is in substantial compliance with and in accordance with the design intent of the TCL Plan dated June 19, 2014. The record information edited onto the original design document has been obtained by Russ Hugg of the firm of Surv-Tek, Inc. I further certify that I or someone under my direct supervision have personally visited the project on May 9, 2016 and have determined by visual observations that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief.

Area of modification:

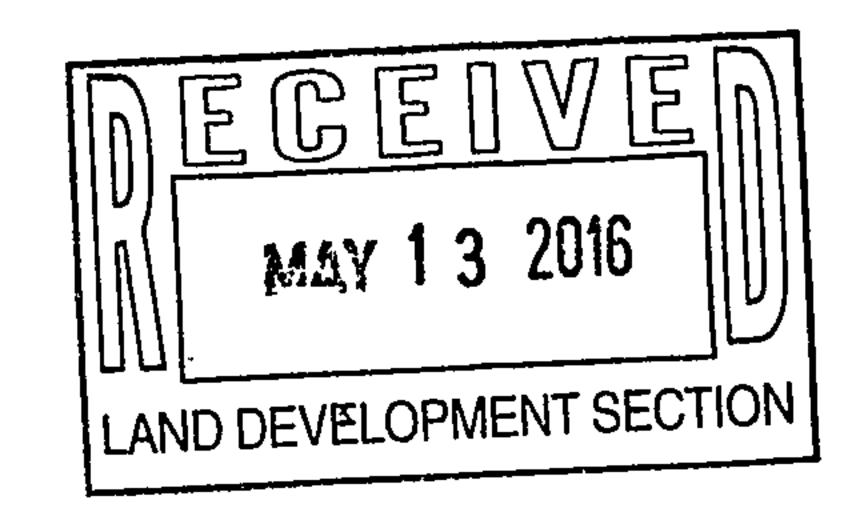
1. The median at parking north of Building 14 was shifted east.

This certification is submitted in support of a request for a Permanent Certificate of Occupancy.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.









March 24, 2016

Asa Nilsson-Weber Isaacson & Arfman, P.A. 128 Monroe St., NE Albuquerque, NM 87120

Re: Broadstone Promenade, Building No. 12, Phase 15

6400 San Pedro Dr., NE

Request for Certificate of Occupancy- Transportation Development

Engineer's/Architect's Stamp dated 6-19-14 (D18-D054A)

Certification dated 3-22-16

Dear Ms. Nilsson-Weber,

Based upon the information provided in your submittal received 3-24-16, Transportation Development has no objection to the issuance of a <u>Permanent Certificate of Occupancy</u>. This letter serves as a "green tag" from Transportation Development for a <u>Permanent Certificate of Occupancy</u> to be issued by the Building and Safety Division.

PO Box 1293

If you have any questions, please contact Gary Sandoval at (505) 924-3675 or me at (505)924-3991.

Albuquerque

Sincerely,

New Mexico 87103

Racquel M. Michel, P.E.

www.cabq.gov

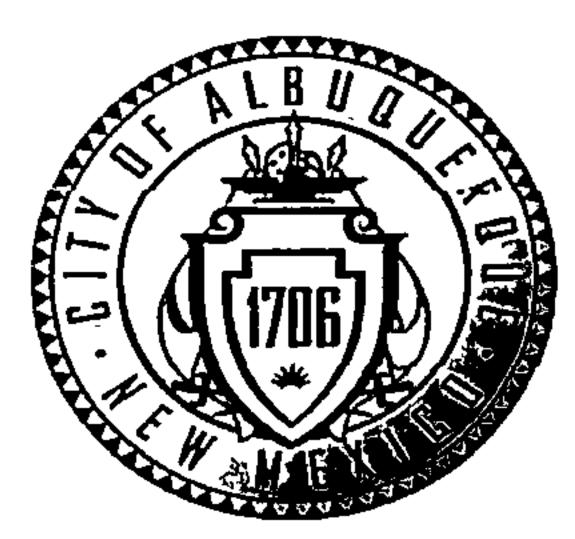
Traffic Engineer, Planning Dept. Development Review Services

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via: email

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CO Clerk, File

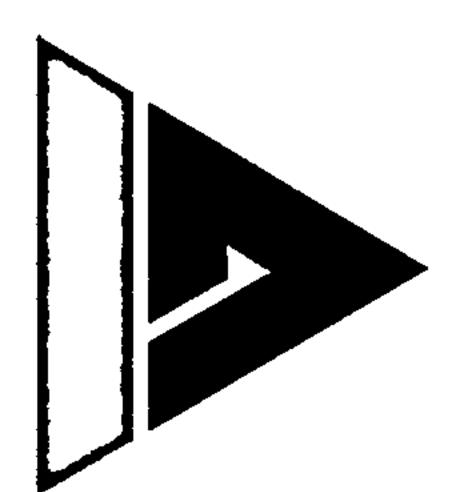


Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

DRB#: EPC#:	Work Order#: <u>689984</u>
Legal Description: Tract 1, Santa Monica Place	
City Address:	
Engineering Firm: Isaacson & Arfman, P.A.	Contact: Asa Nilsson-Weber
Address: 128 Monroe Street NE - Albuquerque, NM 87108	
Phone#: (505) 268-8828 Fax#:	E-mail: asaw@iacivil.com
Owner: DRI TSM, LLC - c/o Titan Development Company	Contact: Kurt Browning
Address: 6300 Riverside Plaza Lane NW, Suite 200 - Albuquer	
Phone#: (505) 998-0163 Fax#:	E-mail:
Awahitaata	
Architect: Address:	Contact:
Phone#:	E-mail:
Other Contact: Surv-Tek, Inc.	Contact: Russ P. Hugg
Address: 9384 Valley View Drive - Albuquerque, NM 87114	
Phone#: (505) 897-3366 Fax#:	E-mail:
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Consulting Engineering Associates

Thomas O. Isaacson, PE (Ret.) & LS (Ret.) * Fred C. Arfman, PE * Åsa Nilsson-Weber, PE

Date: March 23, 2016

Project: Broadstone Promenade

7400 San Pedro Blvd, NE

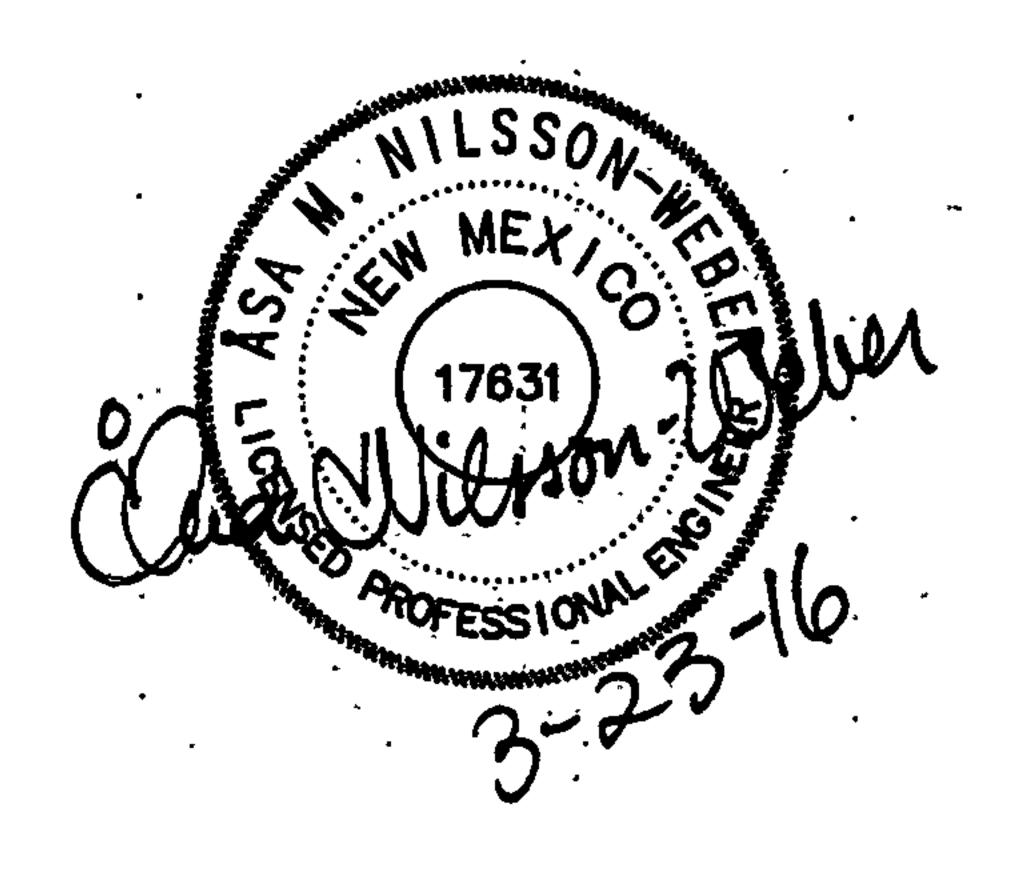
Subject: Rolling TCL Certification; Phase 15, Building No: 12

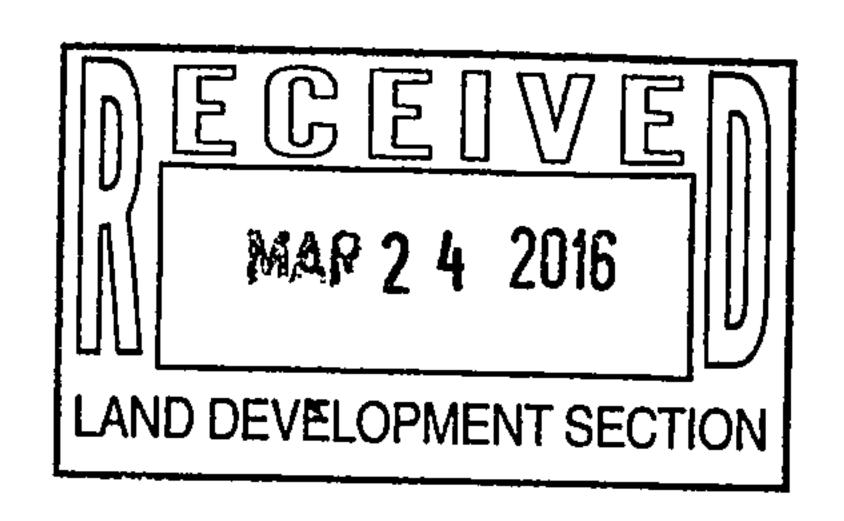
TRAFFIC CERTIFICATION

I, Åsa Nilsson-Weber, PE, NMPE No. 17631, of the firm Isaacson & Arfman, PA, hereby certify that the portion of the site as identified on the attached TCL plan is in substantial compliance with and in accordance with the design intent of the TCL Plan dated June 19, 2014. The record information edited onto the original design document has been obtained by Russ Hugg of the firm of Surv-Tek, Inc. I further certify that I have personally visited the project on March 22, 2016 and have determined by visual observations that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief.

This certification is submitted in support of a request for a Permanent Certificate of Occupancy.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.





Åsa Nilsson-Weber, PE No. 17631



Planning Department Transportation Development Services

August 20, 2015

Asa Nilson-Weber, P.E. Isaacson & Arfman 128 Monroe St NE Albuquerque, NM 87108

Re: Broadstone Promenade Phase 1 Office Building

Certificate of Occupancy – Transportation Development Engineer's/Architect's Stamp dated 06-19-14 (D18-D054A)

Certification dated 08-17-15

Dear Mrs. Nilsson-Weber

Based upon the information provided in your submittal received 08-17-15,

Transportation Development has no objection to the issuance of a <u>Permanent</u> <u>Certificate of Occupancy</u>. This letter serves as a "green tag" from Transportation

Development for a Permanent Certificate of Occupancy to be issued by the Building

and Safety Division.

Albuquerque

PO Box 1293

If you have any questions, please contact Gary Sandoval at (505) 924-3675 or me at

(505)924-3991.

New Mexico 87103

Sincerely,

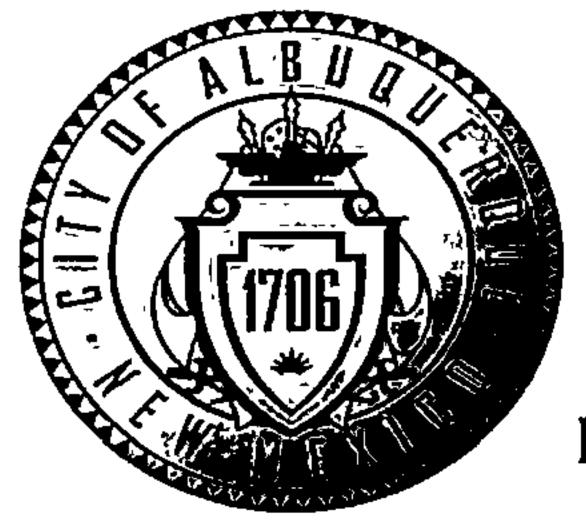
www.cabq.gov

Racquel M. Michel, P.E.

Traffic Engineer, Planning Dept. Development Review Services

\gs via: email

C: CO Clerk, File



Planning Department

Development & Building Services Division

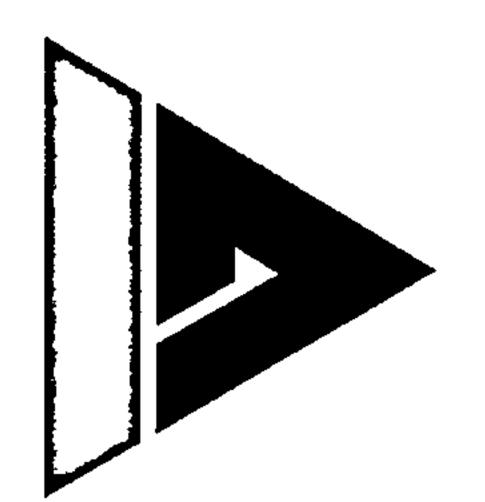
DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Broadstone Promenade, Tract 1, Santa	Monica Place Building Permit #:_	City Drainage #: D18-D054A
DRB#: EPC#:		Work Order#:
Legal Description: Tract 1, Santa Monica Place		
City Address:		
Engineering Firm: Isaacson & Arfman, P.A.		Contact: Asa Nilsson-Weber
Address: 128 Monroe Street NE - Albuquerque, NM	87108	
Phone#: (505) 268-8828 Fax#:		E-mail: asaw@iacivil.com
Owner: DRI TSM, LLC - c/o Titan Development Con	npany	Contact: Kurt Browning
Address: 6300 Riverside Plaza Lane NW, Suite 200	- Albuquerque, NM 87120	
Phone#: (505) 998-0163 Fax#:		E-mail:
Architect:		Contact:
Address:		
Phone#: Fax#:		E-mail:
Surveyor: Surv-Tek, Inc.		Contact: Russ P. Hugg
Address: 9384 Valley View Drive - Albuquerque, NM	87114	
Phone#: (505) 897-3366 Fax#:		E-mail:
Contractor:		Contact:
Address:		
Phone#: Fax#:		E-mail:
TYPE OF SUBMITTAL:	CHECK TYPE OF APPROV	AL/ACCEPTANCE SOUGHT:
DRAINAGE REPORT	SIA/FINANCIAL GUARAN'	TEE RELEASE
DRAINAGE PLAN 1st SUBMITTAL	PRELIMINARY PLAT APPI	ROVAL
DRAINAGE PLAN RESUBMITTAL	S. DEV. PLAN FOR SUB'D	APPROVAL AD Varitied
CONCEPTUAL G & D PLAN	S. DEV. FOR BLDG. PERMI	IT APPROVAL
GRADING PLAN	SECTOR PLAN APPROVAL	T
EROSION & SEDIMENT CONTROL PLAN (ESC)	FINAL PLATAPHROVAL	
ENGINEER'S CERT (HYDROLOGY)	X CERTIFICATE OF OCCUPA	
CLOMR/LOMR	CERTIFICATE OF OCTUBA	11 / 1
TRAFFIC CIRCULATION LAYOUT (TCL)	FOUNDATION FERMIT AP	
X ENGINEER'S CERT (TCL)	BUILDING PERMIT APPRO	SPMENT SECTION
ENGINEER'S CERT (DRB SITE PLAN)		
ENGINEER'S CERT (ESC)	PAVING PERMIT APPROV	
SO-19	WORK ORDER APPROVAL	
OTHER (SPECIFY)	GRADING CERTIFICATION	N OTHER (SPECIFY) ^
WAS A PRE-DESIGN CONFERENCE ATTENDED:	Yes No Co	opy Provided
DATE SUBMITTED: August 17, 2015	By: <u>Åsa Nilsson-Weber</u> Isaacson & Afrman P A	fr

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following

- 1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
- 2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres
- 3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
- 4. Erosion and Sediment Control Plan: Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development



Isaacson & Arfman, P.A. Consulting Engineering Associates

Thomas O. Isaacson, PE (Ret.) & LS (Ret.) * Fred C. Arfman, PE * Åsa Nilsson-Weber, PE

Project: Broadstone Promenade San Pedro Blvd, NE

Subject: Rolling TCL Certification; Building No(s).: 1

TRAFFIC CERTIFICATION

I, Asa Nilsson-Weber, PE, NMPE No. 17631, of the firm Isaacson & Arfman, PA, hereby certify that the portion of the site as identified and dated on the attached TCL plan is in substantial compliance with and in accordance with the design intent of the TCL Plan dated June 19, 2014. The record information edited onto the original design document has been obtained by Russ Hugg of the firm of Surv-Tek, Inc. I further certify that I or someone under my direct supervision has personally visited the project on August 7, 2015 and August 17, 2015, and have determined by visual observations that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for a Permanent Certificate of Occupancy.

Areas of modification:

Radii at entrance not constructed per plan. The radii shall be constructed prior to certification of any future buildings, except Building 19.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Åsa Nilsson-Weber, PE No. 17631

128 Monroe St. N.E. * Albuquerquel AND STEVELO PMENT 68 FG TION Fax: (505) 268-2632 * www.iacivil.com

17631

Asa Nilsson-Weber

From:

Asa Nilsson-Weber <asaw@iacivil.com>

Sent:

Monday, August 17, 2015 3:37 PM

To:

Monica Ortiz (mortiz@cabq.gov)

Cc:

John Addison; Brian Patterson; 'Kurt Browning'; Fred Arfman; Bryan Bobrick

Subject:

Broadstone Santa Monica

This message contains attachments delivered via ShareFile.

- 2025 CG1.1 AND CG1.2 CERT 08-17-15.pdf (3.4 MB)
- 2025 TCL 1.pdf (4.9 MB)
- •2025 TCL 2.pdf (3.8 MB)
- 2025 TCL CERT LETTER PHASE 1.pdf (365.4 kB)

Download the attachments by clicking here.

Hi Monica,

Please see attached for the TCL cert and G&D cert for Phase 1 of this project (Building No. 1—Office). Ruth will deliver the submittal this afternoon.

Please let me know if you have any questions.

Thanks.

Asa Nilsson-Weber, P.E. Principal / Vice President



Consulting Engineering Associates

128 Monroe St. N.E.

Albuquerque, NM 87108 Phone: (505)268-8828 Fax: (505)268-2632 asaw@iacivil.com





Planning Department Transportation Development Services

December 24, 2015

Asa Nilsson-Weber Isaacson & Arfman, P.A. 128 Monroe St., NE Albuquerque, NM 87108

Re: Broadstone Promenade, Tract 1, Santa Monica Place, Bldg. 7 Phase 11

Certificate of Occupancy – Transportation Development Engineer's/Architect's Stamp dated 6-19-14 (D18-D054A)

Certification dated 12-22-15

Dear Ms.Nilsson-Weber.

Based upon the information provided in your submittal received 12-23-15, Transportation Development has no objection to the issuance of a <u>Permanent</u>

Certificate of Occupancy. This letter serves as a "green tag" from Transportation

Development for a Permanent Certificate of Occupancy to be issued by the Building

and Safety Division.

Albuquerque If you have any questions, please contact Gary Sandoval at (505) 924-3675 or me at

(505)924-3630.

New Mexico 87103

Sincerely,

www.cabq.gov

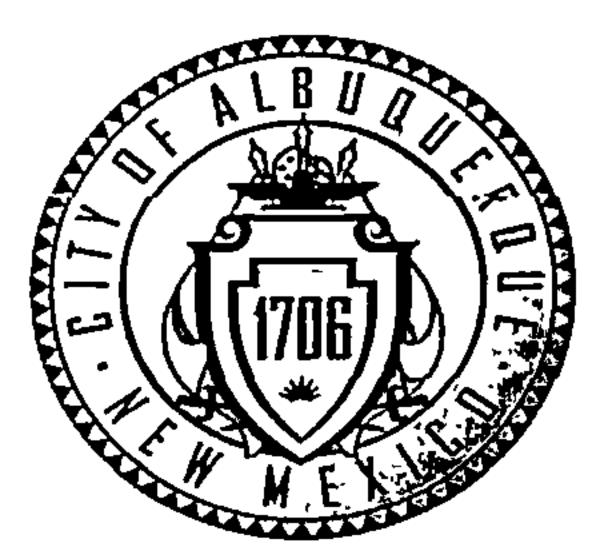
PO Box 1293

John B. Gurule, P.E.

Traffic Engineer, Planning Dept. Development Review Services

via: email

C: CO Clerk, File

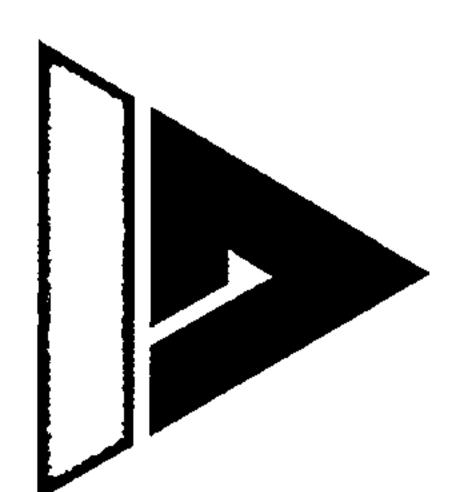


Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

ORB#: EPC#:	Work Order#: <u>689984</u>
Legal Description: Tract 1, Santa Monica Place	
City Address:	
Engineering Firm: Isaacson & Arfman, P.A.	Contact: Asa Nilsson-Weber
Address: 128 Monroe Street NE - Albuquerque, NM 87108	
hone#: (505) 268-8828 Fax#:	E-mail: asaw@iacivil.com
Owner: DRI TSM, LLC - c/o Titan Development Company	Contact: Kurt Browning
Address: 6300 Riverside Plaza Lane NW, Suite 200 - Albuquero	······································
hone#: (505) 998-0163 Fax#:	E-mail:
rchitect:	Contact:
Address:	Contact.
hone#:	E-mail:
Other Contact: Surv-Tek, Inc.	Contact: Russ P. Hugg
Address: 9384 Valley View Drive - Albuquerque, NM 87114 hone#: (505) 897-3366 Fax#:	E-mail:
HYDROLOGY/ DRAINAGE X TRAFFIC/ TRANSPORTATION MS4/ EROSION & SEDIMENT CONTROL	CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT BUILDING PERMIT APPROVAL X CERTIFICATE OF OCCUPANCY
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TRAFFIC TRANSPORTATION MS4/ EROSION & SEDIMENT CONTROL TYPE OF SUBMITTAL: X ENGINEER ARCHITECT CERTIFICATION PHASE 11, BLDG 7 CONCEPTUAL G & D PLAN GRADING PLAN DRAINAGE MASTER PLAN DRAINAGE REPORT CLOMR/LOMR X TRAFFIC CIRCULATION LAYOUTAND DEVELOPMENT SECTION TRAFFIC IMPACT STUDY (TIS) EROSION & SEDIMENT CONTROL PLAN (ESC)	PRELIMINARY PLAT APPROVAL SITE PLAN FOR SUB'D APPROVAL SITE PLAN FOR BLDG. PERMIT APPROVAL FINAL PLAT APPROVAL SIA/ RELEASE OF FINANCIAL GUARANTEE FOUNDATION PERMIT APPROVAL GRADING PERMIT APPROVAL SO-19 APPROVAL PAVING PERMIT APPROVAL GRADING/ PAD CERTIFICATION WORK ORDER APPROVAL CLOMR/LOMR



Consulting Engineering Associates

Thomas O. Isaacson, PE (Ret.) & LS (Ret.) * Fred C. Arfman, PE * Åsa Nilsson-Weber, PE

Date: December 22, 2015

Project: Broadstone Promenade

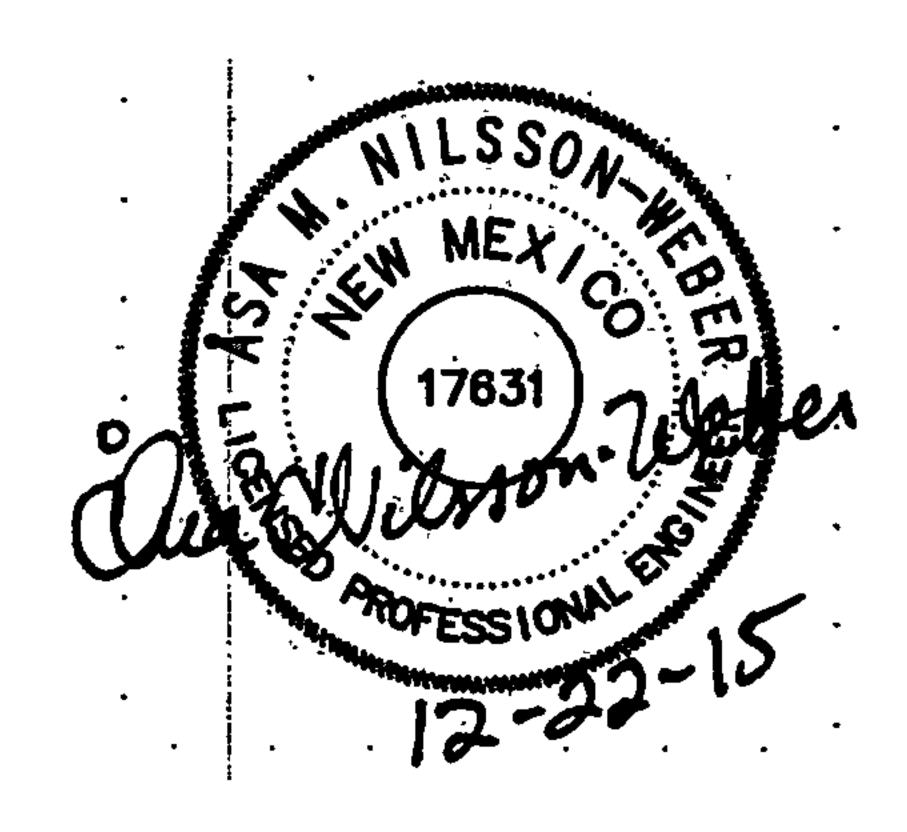
San Pedro Blvd, NE

Subject: Rolling TCL Certification; Phase 11, Building No: 7

TRAFFIC CERTIFICATION

I, Åsa Nilsson-Weber, PE, NMPE No. 17631, of the firm Isaacson & Arfman, PA, hereby certify that the portion of the site as identified on the attached TCL plan is in substantial compliance with and in accordance with the design intent of the TCL Plan dated June 19, 2014. The record information edited onto the original design document has been obtained by Russ Hugg of the firm of Surv-Tek, Inc. I further certify that I or someone under my direct supervision have personally visited the project on December 18, 2015 and have determined by visual observations that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for a Permanent Certificate of Occupancy.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.





Åsa Nilsson-Weber, PE No. 17631



Planning Department Transportation Development Services

December 4, 2015

Asa Nilsson-Weber Isaacson and Arfman, P.A. 128 Monroe St. NE Albuquerque, NM 87108

Re: Broadstone Promenade, Tract 1, Santa Monica Place, Bldgs. 5&6, Ph. 8&9

6400 San Pedro Dr., NE

Certificate of Occupancy – Transportation Development

Engineer's/Architect's Stamp dated 6-19-14 (D18-D054A)

Certification dated 12-2-15

Dear Ms. Nilsson-Weber,

PO Box 1293 Based upon the information provided in your submittal received 12-2-15,

Transportation Development has no objection to the issuance of a <u>Permanent</u> <u>Certificate of Occupancy</u>. This letter serves as a "green tag" from Transportation

Development for a Permanent Certificate of Occupancy to be issued by the Building

and Safety Division.

If you have any questions, please contact Gary Sandoval at (505) 924-3675 or me at

(505)924-3991.

New Mexico 87103

Sincerely,

www.cabq.gov

Albuquerque

Racquel M. Michel, P.E.

Traffic Engineer, Planning Dept.

Development Review Services

\gs via: email

C: CO Clerk, File



Planning Department

Development & Building Services Division

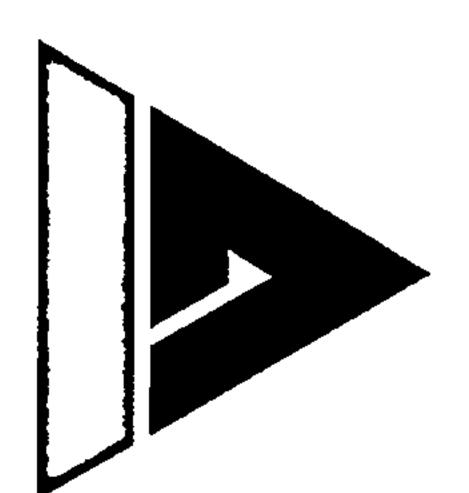
DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Broadstone Promenade, Tract 1, Santa N	Monica Place Building Permit #:	City Drainage #: D18-D054A
DRB#: EPC#:		Work Order#:
Legal Description: Tract 1, Santa Monica Place		
City Address:		
Engineering Firm: Isaacson & Arfman, P.A.		Contact: Asa Nilsson-Weber
Address: 128 Monroe Street NE - Albuquerque, NM	87108	
Phone#: (505) 268-8828 Fax#:		E-mail: asaw@iacivil.com
Owner: DRI TSM, LLC - c/o Titan Development Com	pany	Contact: Kurt Browning
Address: 6300 Riverside Plaza Lane NW, Suite 200 -	Albuquerque, NM 87120	
Phone#: (505) 998-0163 Fax#:		E-mail:
Architect:		Contact:
Address:		<u> </u>
Phone#: Fax#:	· · · · · · · · · · · · · · · · · · ·	E-mail:
Surveyor: Surv-Tek, Inc.		Contact: Russ P. Hugg
Address: 9384 Valley View Drive - Albuquerque, NM	87114	
Phone#: (505) 897-3366 Fax#:		E-mail:
Contractor:		Contact:
Address:	· · · · · · · · · · · · · · · · · · ·	
Phone#: Fax#:	<u>. </u>	E-mail:
TYPE OF SUBMITTAL:	CHECK TYPE OF APPROV	AL/ACCEPTANCE SOUGHT:
DRAINAGE REPORT	SIA/FINANCIAL GUARAN	TEE RELEASE
DRAINAGE PLAN 1st SUBMITTAL	PRELIMINARY PLAT APPI	ROVAL IIII LE LE II WITTE
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CONCEPTUAL G & D PLAN	S. DEV. FOR BLDG. PERM	111111 " Y K 7111K 111111
GRADING PLAN	SECTOR PLAN APPROVAI	AND THE PROPERTY OF THE PARTY O
EROSION & SEDIMENT CONTROL PLAN (ESC)	FINAL PLAT APPROVAL	LAND DEVELOPMENT AND
ENGINEER'S CERT (HYDROLOGY)	X CERTIFICATE OF OCCUPA	
CLOMR/LOMR	CERTIFICATE OF OCCUPA	
TRAFFIC CIRCULATION LAYOUT (TCL) ENGINEER'S CERT (TCL) BLDGS 5 & 6	FOUNDATION PERMIT AP	
— A ENGINEER SCERT (ICL) PHASES 8 & 9	BUILDING PERMIT APPRO	
ENGINEER'S CERT (DRB SITE PLAN)	GRADING PERMIT APPRO	
ENGINEER'S CERT (ESC)	PAVING PERMIT APPROV	
SO-19	WORK ORDER APPROVAI	
OTHER (SPECIFY)	GRADING CERTIFICATION	N OTHER (SPECIFY)
WAS A PRE-DESIGN CONFERENCE ATTENDED:	Yes No Co	opy Provided
DATE SUBMITTED: <u>December 2, 2015</u>	By: <u>Åsa Nilsson-Weber</u> Isaacson & Afrman, P.A.	<u> </u>

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following

- 1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
- 2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres
- 3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
- 4. Erosion and Sediment Control Plan: Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development



Consulting Engineering Associates

Thomas O. Isaacson, PE (Ret.) & LS (Ret.) * Fred C. Arfman, PE * Åsa Nilsson-Weber, PE

Date: December 2, 2015

Project: Broadstone Promenade

San Pedro Blvd, NE

Subject: Rolling TCL Certification; Phases 8 & 9, Building Nos: 5 & 6

TRAFFIC CERTIFICATION

I, Åsa Nilsson-Weber, PE, NMPE No. 17631, of the firm Isaacson & Arfman, PA, hereby certify that the portion of the site as identified on the attached TCL plan is in substantial compliance with and in accordance with the design intent of the TCL Plan dated June 19, 2014. The record information edited onto the original design document has been obtained by Russ Hugg of the firm of Surv-Tek, Inc. I further certify that I or someone under my direct supervision have personally visited the project on November 23, 2015 and have determined by visual observations that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for a Permanent Certificate of Occupancy.

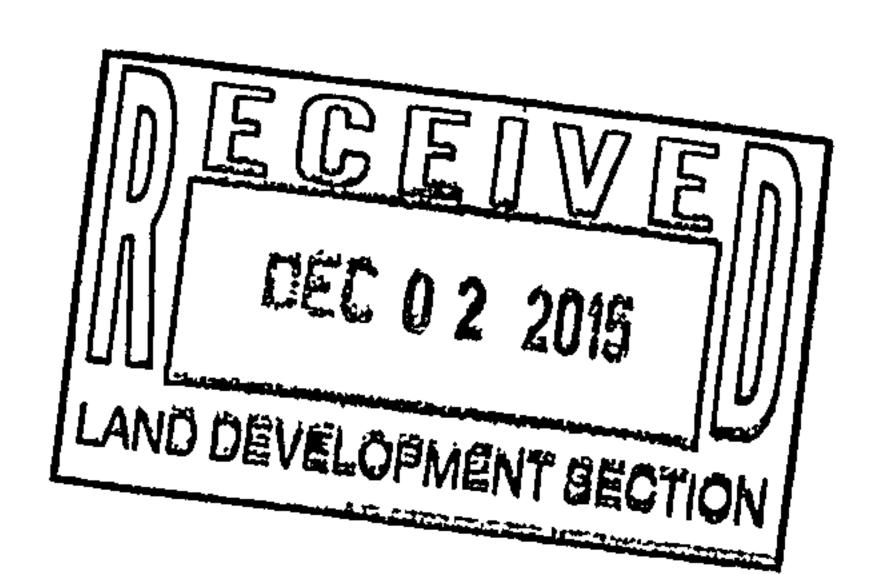
Notes:



Sawcut area east of ADA parking south of Building No. 6 shall be paved prior to final certification.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before

using it for any other purpose.



Åsa Nilsson-Weber, PE No. 17631

17631



Åsa Weber <asaw@iacivil.com>

Broadstone Promenade TCL Cert Bldgs 5 & 6; Phases 8 & 9 - D18D054A

1 message

Asa Weber <asaw@iacivil.com>

Wed, Dec 2, 2015 at 3:15 PM

To: PLNDRS@cabq.gov

Cc: "Sandoval, Gary L." <glsandoval@cabq.gov>, Brian Patterson

browning <kbrowning@titan-development.com>, John Addison <jaddison@allresco.com>, Gabriel Asbury <gasbury@allresco.com>

Please see attached for a TCLCert letter and plans for the referenced project/buildings. We will deliver copies this afternoon.

Thank you.

Åsa Nilsson-Weber, P.E.

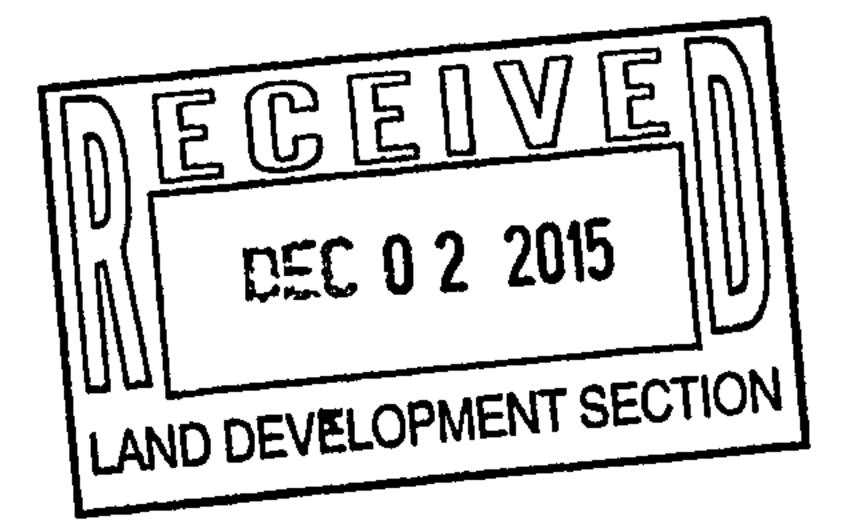
Principal / Vice President Isaacson & Arfman, P.A. 128 Monroe St. N.E. Albuquerque, NM 87108 Phone: (505)268-8828

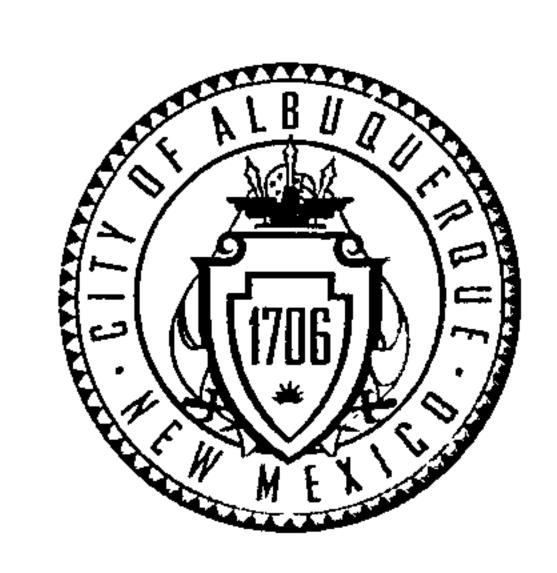
asaw@iacivil.com

2 attachments

BROADSTONE PROMENADE 2015 12-02 TCL CERT BLDGS 5&6 4; PH 8&9-2025.pdf 86K

BROADSTONE PROMENADE 2015 12-02 TCL CERT PLANS BLDGS 5&6; PH 8&9.pdf 8024K





Planning Department Transportation Development Services

November 12, 2015

Asa Nilsson-Weber Isaacson & Arfman, P.A. 128 Monroe St., NE Albuquerque, NM 87108

Re: Broadstone Promenade, Tract 1, Santa Monica Place Bldg. 4, Phase 7

6400 San Pedro Blvd., NE

Certificate of Occupancy – Transportation Development Engineer's/Architect's Stamp dated 6-19-14 (D18-D54A)

Certification dated 11-9-15

Dear Ms. Weber,

PO Box 1293

Based upon the information provided in your submittal received 11-10-15, Transportation Development has no objection to the issuance of a <u>Permanent Certificate of Occupancy</u>. This letter serves as a "green tag" from Transportation Development for a <u>Permanent Certificate of Occupancy</u> to be issued by the Building

Albuquerque

and Safety Division.

NM 87103

If you have any questions, please contact Gary Sandoval at (505) 924-3675 or me at (505)924-3991.

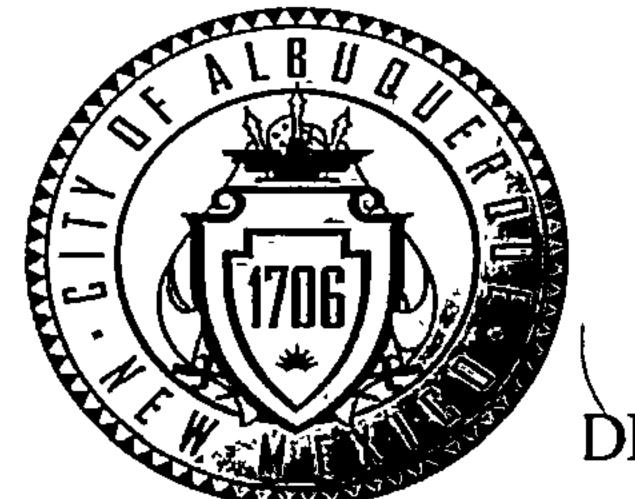
www.cabq.gov

Sincerely,

Racquel M. Michel, P.E.

Traffic Engineer, Planning Dept. Development Review Services

\gs via: email C: CO Clerk, File



Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Broadstone Promenad	e, Tract 1, Santa Monica Place	Building Permit #:	City Drainage #: D18-D054A
DRB#:	EPC#:	Work	c Order#:
Legal Description: Tract 1, Santa Mo	onica Place		
City Address:			
Engineering Firm: Isaacson & Arfn	oan D A	Cont	act: Asa Nilsson-Weber
Address: 128 Monroe Street NE - A		Cont	act. Asa Misson-Webei
 	· · · · · · · · · · · · · · · · · · ·	Τ"	:1. coou@iccivil com
Phone#: (505) 268-8828	Fax#:	E-ma	il: asaw@iacivil.com
Owner: DRI TSM, LLC - c/o Titan	Development Company	Cont	act: Kurt Browning
Address: 6300 Riverside Plaza Lar	ne NW, Suite 200 - Albuquerque	e, NM 87120	
Phone#: (505) 998-0163	Fax#:	E-ma	il:
Architect:		Conta	act:
Address:			
Phone#:	Fax#:	E-ma	il:
Surveyor: Surv-Tek, Inc.		Conta	act: Russ P. Hugg
Address: 9384 Valley View Drive -	Albuquerque, NM 87114		
Phone#: (505) 897-3366	Fax#:	E-ma	il:
Contractor:		Conta	act:
Address:			
Phone#:	Fax#:	E-ma	il:
TYPE OF SUBMITTAL:	CUECI	TVDE OF ADDDOMAL /AC	CEDTANCE COLCUT.
DRAINAGE REPORT		TYPE OF APPROVAL/ACTION OF APPROVAL (NANCIAL GUARANTEE R	
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DRAINAGE PLAN RESUBMITT		V. PLAN FOR SUB'D APPRO	
CONCEPTUAL G & D PLAN		V. FOR BLDG. PERMIT APP	
GRADING PLAN		OR PLAN APPROVAL	
EROSION & SEDIMENT CONTI		L PLAT APPROVAL	///// NOV 1 0 2015]////
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CLOMR/LOMR	CERT	IFICATE OF OCCUPANCY	(TCL TEMPYELOPMENT SECTION
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X ENGINEER'S CERT (TCL) BLI	G 4 - PHASE 7BUIL	DING PERMIT APPROVAL	
ENGINEER'S CERT (DRB SITE	PLAN)GRAI	ING PERMIT APPROVAL	SO-19 APPROVAL
ENGINEER'S CERT (ESC)	PAVI	NG PERMIT APPROVAL	ESC PERMIT APPROVAL
SO-19	WOR!	CORDER APPROVAL	ESC CERT. ACCEPTANCE
OTHER (SPECIFY)	GRAI	ING CERTIFICATION	OTHER (SPECIFY)
WAS A PRE-DESIGN CONFERENCE	ATTENDED: Yes	No Copy Pro	vided
DATE SUBMITTED: November 10, 2	015 By: Åsa Nil	sson-Weber	
		& Afrman, P.A.	

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following

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- 2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres
- 3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
- 4. Erosion and Sediment Control Plan: Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development



Asa Weber <asaw@iacivil.com>

Broadstone Promenade - TCL Cert Building 4; Phase 7

1 message

Asa Weber <asaw@iacivil.com>

Tue, Nov 10, 2015 at 2:03 PM

To: PLNDRS@cabq.gov

Cc: John Addison jaddison@allresco.com, Gabriel Asbury <a href="mailto:gasbury@allresco.com, "Sandoval, Gary L." qlsandoval@cabq.gov, Brian Patterson bpatterson@titan-development.com, Kurt Browning kbrowning@titan-development.com

Please see attached for TCL Cert for Building 4; Phase 7.

We will deliver submittal this afternoon.

Thank you.

Åsa Nilsson-Weber, P.E.

Principal / Vice President Isaacson & Arfman, P.A. 128 Monroe St. N.E. Albuquerque, NM 87108

Phone: (505)268-8828

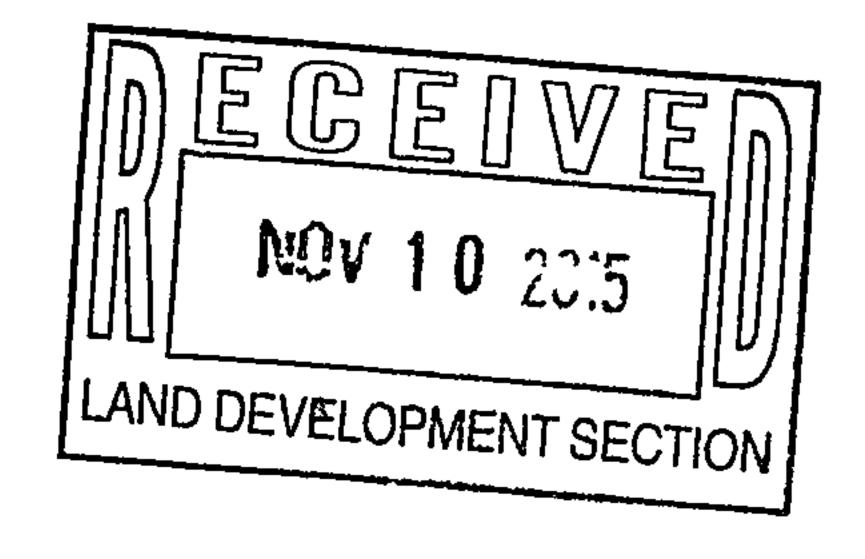
asaw@iacivil.com

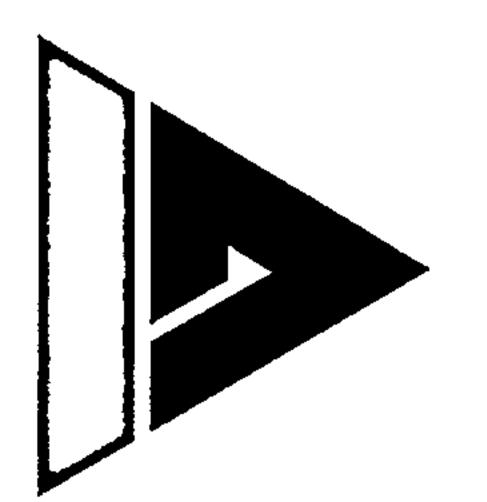
3 attachments











Consulting Engineering

Thomas O. Isaacson, PE (Ret.) & LS (Ret.) * Fred C. Arfman, PE * Åsa Nilsson-Weber, PE

Date: November 10, 2015

Project: Broadstone Promenade

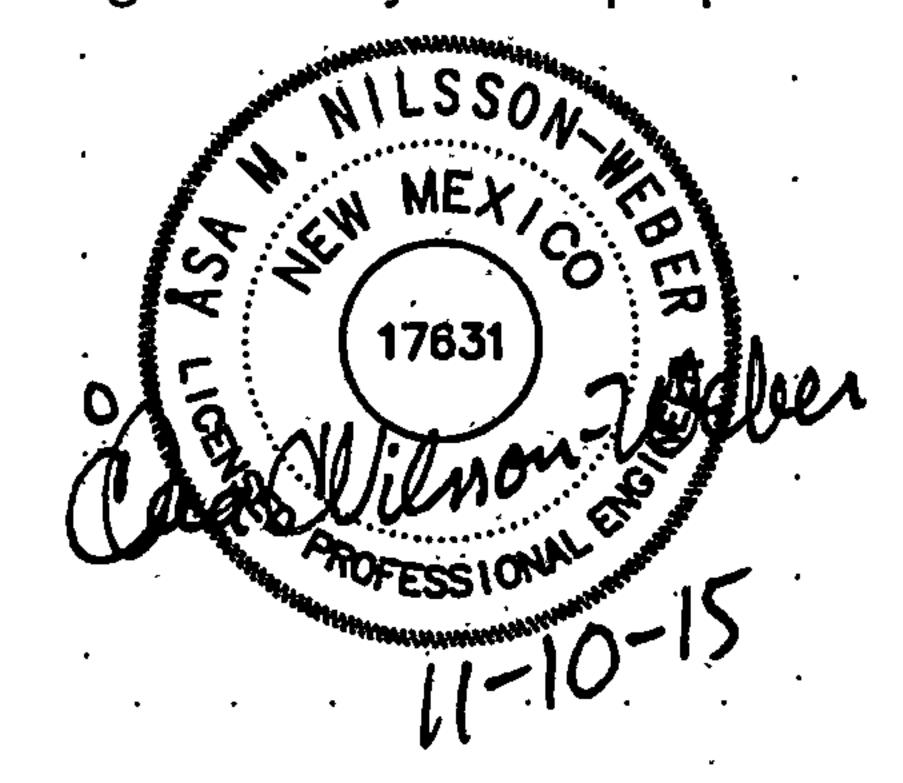
San Pedro Blvd, NE

Subject: Rolling TCL Certification; Phase 7, Building No(s): 4

TRAFFIC CERTIFICATION

I, Åsa Nilsson-Weber, PE, NMPE No. 17631, of the firm Isaacson & Arfman, PA, hereby certify that the portion of the site as identified and dated on the attached TCL plan is in substantial compliance with and in accordance with the design intent of the TCL Plan dated June 19, 2014. The record information edited onto the original design document has been obtained by Russ Hugg of the firm of Surv-Tek, Inc. I further certify that I or someone under my direct supervision have personally visited the project on November 9, 2015 and have determined by visual observations that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for a Permanent Certificate of Occupancy.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.



Åsa Nilsson-Weber, PE No. 17631



Planning Department Transportation Development Services

November 4, 2015

Asa Nilsson-Weber Isaacson & Arfman, P.A. 128 Monroe St., NE Albuquerque, NM 87108

Re: Broadstone Promenade, Tract 1, Santa Monica Place Bldg. 2, Phase 6

San Pedro Blvd., NE

Certificate of Occupancy – Transportation Development Engineer's/Architect's Stamp dated 6-19-14 (D18-D54A)

Certification dated 10-28-15

Based upon the information provided in your submittal received 10-29-15,

Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation

Development for a Permanent Certificate of Occupancy to be issued by the Building

and Safety Division.

If you have any questions, please contact me at (505)924-3630. Albuquerque

Sincerely,

PO Box 1293

NM 87103

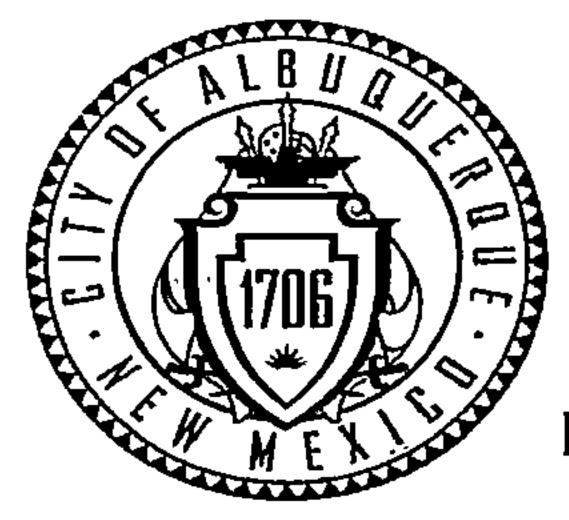
www.cabq.gov

Racquel M. Michel, P.E.

Senior Engineer, Planning Dept. Development Review Services

File

CO Clerk



Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Broadstone Promenade, Tract 1, Santa Monica Place Building Permit #:	City Drainage #: D18-D054A
DRB#: EPC#:	Work Order#:
Legal Description: Tract 1, Santa Monica Place	
City Address:	
Engineering Firm: Isaacson & Arfman, P.A.	Contact: Asa Nilsson-Weber
Address: 128 Monroe Street NE - Albuquerque, NM 87108	- Contact: 7 tod 1 thoods
Phone#: (505) 268-8828 Fax#:	E-mail: asaw@iacivil.com
Owner: DRI TSM, LLC - c/o Titan Development Company Address: 6200 Biverside Bieze Lene NW Suite 200 Albuqueraus NM 97420	Contact: Kurt Browning
Address: 6300 Riverside Plaza Lane NW, Suite 200 - Albuquerque, NM 87120 Phone#: (505) 998-0163 Fax#:	E maile
Phone#: (505) 998-0163 Fax#:	E-mail:
Architect:	Contact:
Address:	
Phone#: Fax#:	E-mail:
Surveyor: Surv-Tek, Inc.	Contact: Russ P. Hugg
Address: 9384 Valley View Drive - Albuquerque, NM 87114	
Phone#: (505) 897-3366 Fax#:	E-mail:
Contractor:	Contact
Address:	Contact:
Phone#: Fax#:	E-mail:
TVDE OF SUDMITTAL.	AT /ACCEDTANCE COLCUTT.
TYPE OF SUBMITTAL: CHECK TYPE OF APPROV SIA/FINANCIAL GUARAN	AL/ACCEPTANCE SOUGHT:
DRAINAGE PLAN 1st SUBMITTAL PRELIMINARY PLAT APPI	
DRAINAGE PLAN RESUBMITTAL S. DEV. PLAN FOR SUB'D	
CONCEPTUAL G & D PLAN S. DEV. FOR BLDG. PERMI	
GRADING PLAN APPROVAI	
EROSION & SEDIMENT CONTROL PLAN (ESC) FINAL PLAT APPROVAL	144 29 7015 11111
ENGINEED'S CEDT (LIVIDACIOCV) Y CEDTIEICATE OF OCCIDA	MEAWORERMI 2013
CLOMR/LOMR CERTIFICATE OF OCCUPA	NCY (FGL TEMP)MENT SECTION
TRAFFIC CIRCULATION LAYOUT (TCL) FOUNDATION PERMIT AP	PROVAL
X ENGINEER'S CERT (TCL) PHASE 6 BUILDING PERMIT APPRO	
ENGINEER'S CERT (DRB SITE PLAN) GRADING PERMIT APPRO	
ENGINEER'S CERT (ESC) PAVING PERMIT APPROV	
SO-19 WORK ORDER APPROVAL	ESC CERT. ACCEPTANCE
OTHER (SPECIFY) GRADING CERTIFICATION	OTHER (SPECIFY)
WAS A DDE DESIGN CONFEDENCE ATTENDED.	D
	ppy Provided
DATE SUBMITTED: October 29, 2015 By: Asa Nilsson-Weber Isaacson & Afrman, P.A.	<u> </u>
Isaacson & Afrman, P.A. Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage	e submittal. The particular nature, location, and

scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the followin

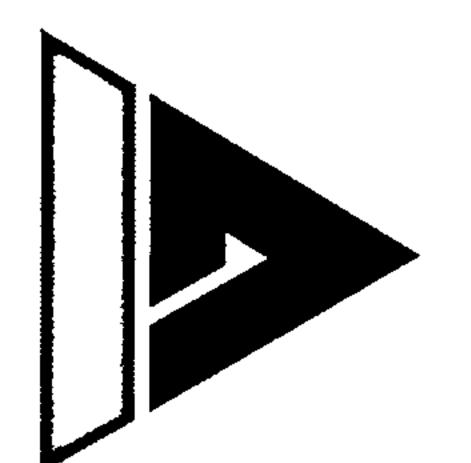
Erosion and Sediment Control Plan: Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including

Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans

Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres

Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more

project less than 1-acre than are part of a larger common plan of development



Consulting Engineering

Thomas O. Isaacson, PE (Ret.) & LS (Ret.) * Fred C. Arfman, PE * Åsa Nilsson-Weber, PE

Project: Broadstone Promenade

San Pedro Blvd, NE

Subject: Rolling TCL Certification; Phase 6, Building No(s): 2

TRAFFIC CERTIFICATION

I, Åsa Nilsson-Weber, PE, NMPE No. 17631, of the firm Isaacson & Arfman, PA, hereby certify that the portion of the site as identified and dated on the attached TCL plan is in substantial compliance with and in accordance with the design intent of the TCL Plan dated June 19, 2014. The record information edited onto the original design document has been obtained by Russ Hugg of the firm of Surv-Tek, Inc. I further certify that I have personally visited the project on October 28, 2015 and have determined by visual observations that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for a Permanent Certificate of Occupancy.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Åsa Nilsson-Weber, PE No. 17631



Consulting Engineering Associates

Asa vveber <asaw@iacivii.com>

Broadstone Promenade Phase 6, Building 2

1 message

Asa Weber <asaw@iacivil.com>

Wed, Oct 28, 2015 at 4:40 PM

To: PLNDRS@cabq.gov

Cc: John Addison jaddison@allresco.com, Brian Patterson bpatterson@titan-development.com, Gabriel Asbury qasbury@allresco.com

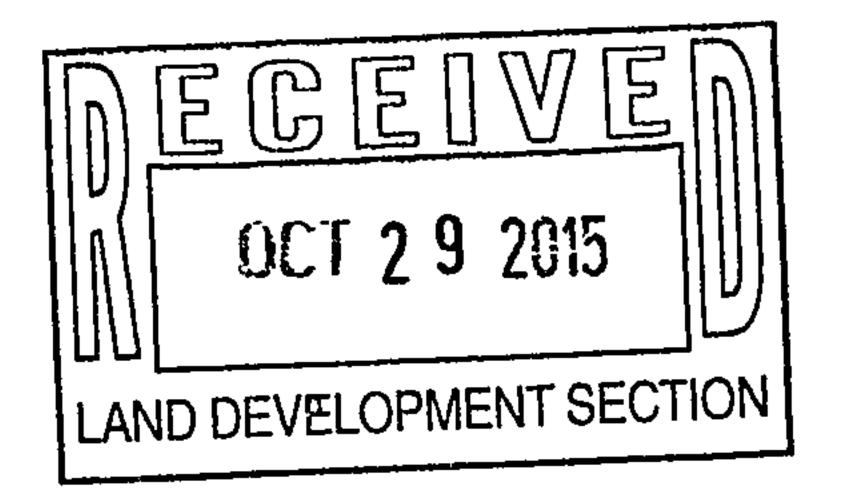
Please see attached for TCL Certifications with request for permanent CO for Building 2. Submittal will be delivered first thing tomorrow morning.

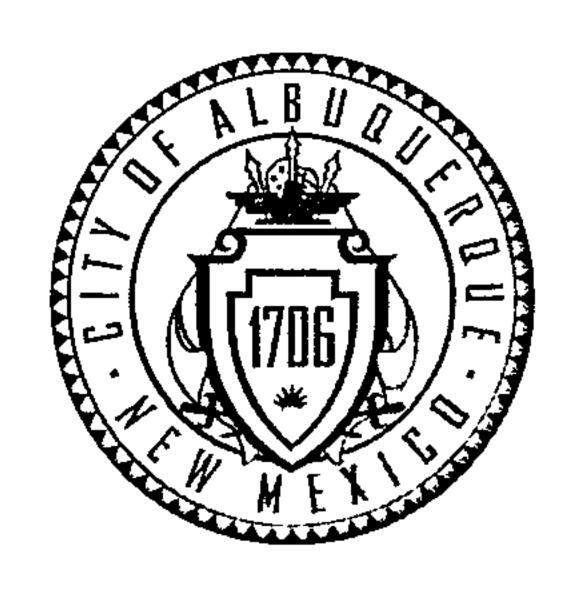
Åsa Nilsson-Weber, P.E.

Principal / Vice President Isaacson & Arfman, P.A. 128 Monroe St. N.E. Albuquerque, NM 87108 Phone: (505)268-8828

asaw@iacivil.com

BROADSTONE PROMENADE TCL CERT PHASE 6 BLDG 2 10-28-15.pdf 2314K





Planning Department Transportation Development Services

October 2, 2015

Asa Nilsson-Weber Isaacson & Arfman, P.A. 128 Monroe St., NE Albuquerque, NM 87108

Re: Broadstone Promenade, Tract 1, Santa Monica Place, Bldg. #3
Certificate of Occupancy – Transportation Development
Engineer's/Architect's Stamp dated 6-19-14 (D18-D054A)
Certification dated 9-29-15

Dear Ms. Nilsson-Weber,

Based upon the information provided in your submittal received 9-29-15, Transportation Development has no objection to the issuance of a <u>Permanent Certificate of Occupancy</u>. This letter serves as a "green tag" from Transportation Development for a <u>Permanent Certificate of Occupancy</u> to be issued by the Building

and Safety Division.

If you have any questions, please contact Gary Sandoval at (505) 924-3675 or me at

(505)924-3991.

New Mexico 87103

Sincerely,

www.cabq.gov

PO Box 1293

Albuquerque

Racquel M. Michel, P.E.

Traffic Engineer, Planning Dept. Development Review Services

via: email C: CO Clerk, File



Planning Department

Development & Building Services Division DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Broadstone Promenade, Tract 1, Santa M	Monica Place Building Permit #:	City Drainage #: D18-D054A
DRB#: EPC#:		Work Order#:
Legal Description: Tract 1, Santa Monica Place		
City Address:		
Engineering Firm: Isaacson & Arfman, P.A.		Contact: Asa Nilsson-Weber/Genny Donar
Address: 128 Monroe Street NE - Albuquerque, NM 8	87108	Tiod (Tiod (Tiod of the politic)
Phone#: (505) 268-8828 Fax#:		E-mail: asaw@iacivil.com/gennyd@iacivil.con
Owner: DRI TSM, LLC - c/o Titan Development Com	nanv	Contact: Kurt Browning
Address: 6300 Riverside Plaza Lane NW, Suite 200 -	· · · · · · · · · · · · · · · · · · ·	Contact. Itali Diowining
Phone#: (505) 998-0163 Fax#:		E-mail:
Architect:		Camtaati
Address:		Contact:
Phone#:		E-mail:
Surveyor: Surv-Tek, Inc.		
Surveyor: Surv-Tek, Inc. Address: 9384 Valley View Drive - Albuquerque, NM	Q711 <i>1</i>	Contact: Russ P. Hugg
Phone#: (505) 897-3366 Fax#:	07 1 14	E-mail:
τιοποπ ταχη		L-111Q11.
Contractor:		Contact:
Address:	<u> </u>	T ² 3 44
Phone#: Fax#:	· · · · · · · · · · · · · · · · · · ·	E-mail:
TYPE OF SUBMITTAL:	CHECK TYPE OF APPROVA	AL/ACCEPTANCE SOUGHT:
DRAINAGE REPORT	SIA/FINANCIAL GUARAN	TEE RELEASE
DRAINAGE PLAN 1st SUBMITTAL	PRELIMINARY PLAT APPR	OVAL
DRAINAGE PLAN RESUBMITTAL	S. DEV. PLAN FOR SUB'D	APPROVAL
CONCEPTUAL G & D PLAN	S. DEV. FOR BLDG. PERMI	T APPROVAL
GRADING PLAN	SECTOR PLAN APPROVAL	•
EROSION & SEDIMENT CONTROL PLAN (ESC)	FINAL PLAT APPROVAL	
X ENGINEER'S CERT (HYDROLOGY) Phase 4	X CERTIFICATE OF OCCUPA	NCY (PERM)
CLOMR/LOMR	CERTIFICATE OF OCCUPA	NCY (TCL TEMP)
TRAFFIC CIRCULATION LAYOUT (TCL)	FOUNDATION PERMIT AP	PROVAL
X ENGINEER'S CERT (TCL)	BUILDING PERMIT APPRO	VAL
ENGINEER'S CERT (DRB SITE PLAN)	GRADING PERMIT APPRO	VAL SO-19 APPROVAL
ENGINEER'S CERT (ESC)	PAVING PERMIT APPROVA	AL ESC PERMIT APPROVAL
SO-19	WORK ORDER APPROVAL	ESC CERT. ACCEPTANCE
OTHER (SPECIFY)	GRADING CERTIFICATION	
WAS A PRE-DESIGN CONFERENCE ATTENDED:	Yes No Co	py Provided
DATE SUBMITTED: September 29, 2015	By: Genevieve Donart	
Requests for approvals of Site Development Plans and/or Subdivision	Isaacson & Afrman P A	submittal. The particular nature, location, and
scope to the proposed development defines the degree of drainage de	tail. One or more of the following levels	of submittal may be required based on the followin

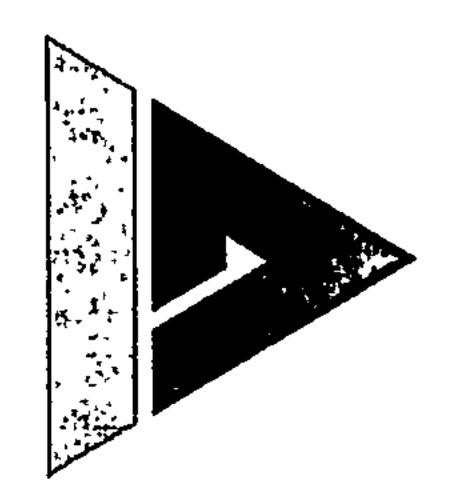
Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans

Erosion and Sediment Control Plan: Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including

Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres

Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more

project less than 1-acre than are part of a larger common plan of development



Consulting Engineering Associates

Thomas O. Isaacson, PE (Ret.) & LS (Ret.) * Fred C. Arfman, PE * Åsa Nilsson-Weber, PE

Project: Broadstone Promenade San Pedro Blvd, NE

Subject: Rolling TCL Certification; Building No 3

TRAFFIC CERTIFICATION

I, Genevieve L. Donart, PE, NMPE No. 15088, of the firm Isaacson & Arfman, PA, hereby certify that the portion of the site as identified and dated on the attached TCL plan is in substantial compliance with and in accordance with the design intent of the TCL Plan dated June 19, 2014. The record information edited onto the original design document has been obtained by Russ Hugg of the firm of Surv-Tek, Inc. I further certify that I or someone under my direct supervision has personally visited the project on September 28, 2015, and have determined by visual observations that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for a Permanent Certificate of Occupancy.

Areas of modification:

- 1. Driveway entrance from Derickson on the eastern end of Phase 3. The entire driveway shall be completed prior to final certification.
- 2. Parking striping on the west edge of Bldg 3, and fire lane and pedestrian crossing striping. Striping shall be completed prior to final certification.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before

using it for any other purpose.

Genevieve L. Donart, PE No. 15088

Tate 6

SEP 2 9 2015

LAND DEVELOPMENT SECTION

128 Monroe St. N.E. * Albuquerque, NM 87108 * (505) 268-8828 * Fax: (505) 268-2632 * www.iacivil.com



Planning Department Transportation Development Services

September 16, 2015

Asa Nilsson-Weber Isaacson & Arfman, P.A. 128 Monroe St., NE Albuquerque, NM 87108

Re: Broadstone Promenade, Tract 1, Santa Monica Place Bldg. 20 & 22

San Pedro Blvd., NE

Certificate of Occupancy – Transportation Development Engineer's/Architect's Stamp dated 6-19-14 (D18-D54A)

Certification dated 9-10-15

Dear Ms. Nilsson-Weber,

Based upon the information provided in your submittal received 9-11-15,

Transportation Development has no objection to the issuance of a <u>Permanent</u> <u>Certificate of Occupancy</u>. This letter serves as a "green tag" from Transportation

Development for a <u>Permanent Certificate of Occupancy</u> to be issued by the Building

and Safety Division.

If you have any questions, please contact Gary Sandoval at (505) 924-3675 or me at

(505)924-3991.

New Mexico 87103

Sincerely,

www.cabq.gov

PO Box 1293

Albuquerque

Racquel M. Michel, P.E.

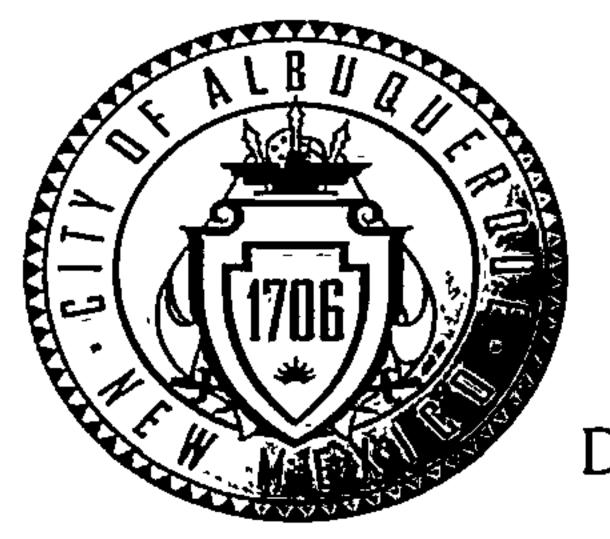
Traffic Engineer, Planning Dept. Development Review Services

\gs

via: email

C

CO Clerk, File



Planning Department

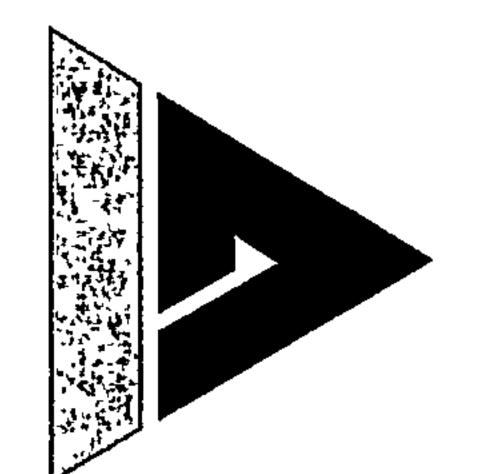
Development & Building Services Division DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Broadstone Promenade, Tract 1, Santa Mo	onica Place Building Permit #:	City Drainage #: D18-D054A
DRB#: EPC#:		Work Order#:
Legal Description: Tract 1, Santa Monica Place		
City Address:		
Theirestine Firms Isaacson & Arfman D A		Contact: Aca Nileson Mohor/Gonny Donart
Engineering Firm: Isaacson & Arfman, P.A.	7400	Contact: Asa Nilsson-Weber/Genny Donart
Address: 128 Monroe Street NE - Albuquerque, NM 8	7 100	E maile acau@iacivil.com/acapavd@iacivil.com
Phone#: (505) 268-8828 Fax#:	<u> </u>	E-mail: asaw@iacivil.com/gennyd@iacivil.com
Owner: DRI TSM, LLC - c/o Titan Development Comp	any	Contact: Kurt Browning
Address: 6300 Riverside Plaza Lane NW, Suite 200 - A	Albuquerque, NM 87120	
Phone#: (505) 998-0163 Fax#:		E-mail:
Architect:		Contact:
Address:	· · · · · · · · · · · · · · · · ·	Contact.
Phone#:	· · · · · · · · · · · · · · · · · · ·	E-mail:
Surveyor: Surv-Tek, Inc.		Contact: Russ P. Hugg
Address: 9384 Valley View Drive - Albuquerque, NM 8	B7114	
Phone#: (505) 897-3366 Fax#:		E-mail:
Contractor:		Contact:
Address:		
Phone#: Fax#:		E-mail:
TYPE OF SUBMITTAL:	CHECK TVDE OF ADDDOV	AL/ACCEPTANCE SQUGHT:
DRAINAGE REPORT	SIA/FINANCIAL GUARAN	/
DRAINAGE PLAN 1st SUBMITTAL	PRELIMINARY PLAT APPE	
DRAINAGE PLAN RESUBMITTAL	S. DEV. PLAN FOR SUB'D	
CONCEPTUAL G & D PLAN	S. DEV. FOR BLDG. PERMI	
GRADING PLAN	SECTOR PLAN APPROVAL	
EROSION & SEDIMENT CONTROL PLAN (ESC)	FINAL PLAT APPROVAL	
ENGINEER'S CERT (HYDROLOGY) Phases 3&5	X CERTIFICATE OF OCCUPA	NCY (PERMI) DEVELOPMENT SECTION
CLOMR/LOMR	CERTIFICATE OF OCCUPA	MCA (LCL LEMB) PEARFOLNEIAL RECLION
TRAFFIC CIRCULATION LAYOUT (TCL)	FOUNDATION PERMIT AP	
X ENGINEER'S CERT (TCL)	BUILDING PERMIT APPRO	
ENGINEER'S CERT (DRB SITE PLAN)	GRADING PERMIT APPRO	
ENGINEER'S CERT (ESC)	PAVING PERMIT APPROV.	
SO-19	WORK ORDER APPROVAL	
OTHER (SPECIFY)	GRADING CERTIFICATION	
WAS A PRE-DESIGN CONFERENCE ATTENDED:	Yes No Co	py Provided
DATE SUBMITTED: September 10, 2015	By: <u>Genevieve Donart</u>	

Isaacson & Afrman, P.A.
Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following

- 1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
- 2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres
- 3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
- 4. Erosion and Sediment Control Plan: Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development



Consulting Engineering Associates

SEP 11

15088

Thomas O. Isaacson, PE (Ret.) & LS (Ret.) * Fred C. Arfman, PE * Åsa Nilsson-Weber, PE

Project: Broadstone Promenade San Pedro Blvd, NE

Subject: Rolling TCL Certification; Building No(s).: 20 & 22

TRAFFIC CERTIFICATION

I, Genevieve L. Donart, PE, NMPE No. 15088, of the firm Isaacson & Arfman, PA, hereby certify that the portion of the site as identified and dated on the attached TCL plan is in substantial compliance with and in accordance with the design intent of the TCL Plan dated June 19, 2014. The record information edited onto the original design document has been obtained by Russ Hugg of the firm of Surv-Tek, Inc. I further certify that I or someone under my direct supervision has personally visited the project on September 10, 2015, and have determined by visual observations that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for a

Areas of modification:

Permanent Certificate of Occupancy.

- 1. Driveway entrance from Derickson on the eastern end of Phase 3. The entire driveway shall be completed prior to certification of any future buildings, except Buildings 20 & 22.
- 2. Curbs within the parking area. Gaps within the curb shall be completely constructed prior to certification of any future buildings, except Buildings 20 & 22.
- 3. Parking striping within Phase 5. Striping shall be completed prior to certification of any future buildings, except Buildings 20 & 22.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Genevieve L. Donart, PE No. 15088

Date

Ruth Lozano

From: Ruth Lozano <ruthl@iacivil.com>

Sent: Thursday, September 10, 2015 5:01 PM

To: plndrs@cabq.gov

Subject: Broadstone Promenade certifications for Phase 3 & 5

Attachments: 2025 CG1.1 THRU CG1.3 GLD CERT 09-10-15.pdf; Broadstone Promenade 2015-09-10

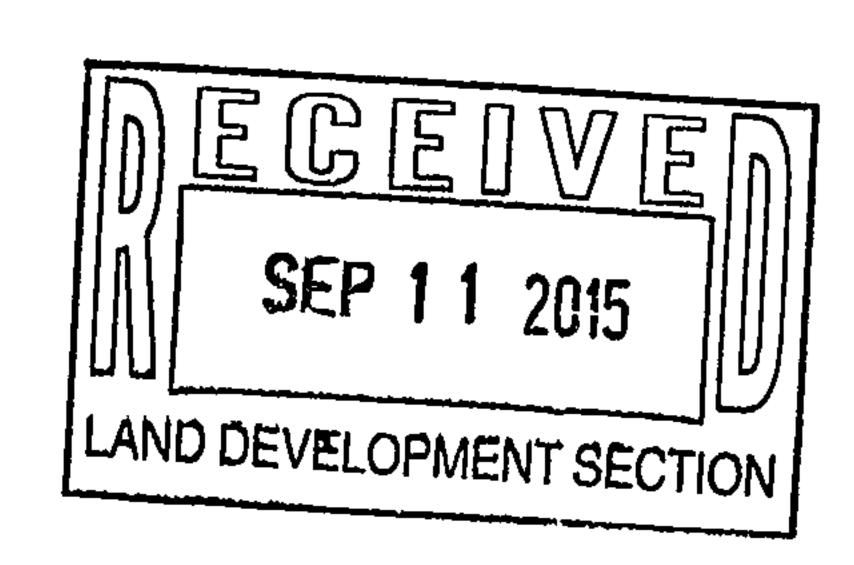
Grdg & TCL Cert Phs 3&5.pdf; 2025 TCL CERT LETTER PHASES 3&5.pdf

Attached are the Broadstone Promenade grading & TCL certs for Phases 3 & 5

Ruth Lozano Office Manager

Isaacson & Arfman, P.A.
Consulting Engineering Associates
128 Monroe St. N.E.
Albuquerque, NM 87108
Phone: (505)268-8828

Fax: (505)268-2632 ruthl@iacivil.com





Friday, January 08, 2016

Asa Nilsson-Weber Isaacson & Arfman, P.A. 128 Monroe St., NE Albuquerque, NM 87108

Re: Broadstone Promenade, Tract 1, Santa Monica Place, Bldg. 8 Phase 10 Certificate of Occupancy – Transportation Development Engineer's/Architect's Stamp dated 6-19-14 (D18-D054A) Certification dated 1-4-16

Dear Ms. Nilsson-Weber,

Based upon the information provided in your submittal received 1-7-16, Transportation Development has no objection to the issuance of a <u>Permanent Certificate of Occupancy</u>. This letter serves as a "green tag" from Transportation Development for a <u>Permanent Certificate of Occupancy</u> to be issued by the Building and Safety Division.

PO Box 1293

 Certificate of Occupancy is given contingent upon completion of ADA pedestrian walkway striping between Building No. 8 and No. 9. Permanent C.O. for Building No.9 will not be given until walkway striping is completed.

Albuquerque

If you have any questions, please contact Gary Sandoval at (505) 924-3675 or me at (505)924-3991.

New Mexico 87103

Sincerely,

www.cabq.gov

Racquel M. Michel, P.E.

Traffic Engineer, Planning Dept. Development Review Services

\gs via: email C: CO Clerk, File



COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: ____

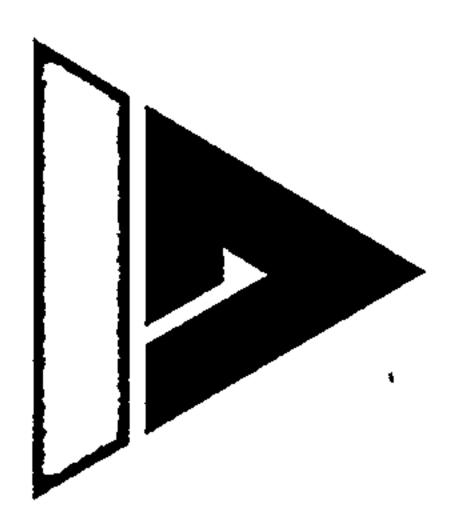
City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: Broadstone Promenade, Tract 1, Santa Monica Place Building Permit #:	
DRB#: Level Description. Troot 1. Sonto Monico Dloco	Work Order#: <u>689984</u>
Legal Description: Tract 1, Santa Monica Place	· ·
City Address:	
Engineering Firm: Isaacson & Arfman, P.A.	Contact: Asa Nilsson-Weber
Address: 128 Monroe Street NE - Albuquerque, NM 87108	
Phone#: (505) 268-8828 Fax#:	E-mail: asaw@iacivil.com
Owner: DRI TSM, LLC - c/o Titan Development Company	Contact: Kurt Browning
Address: 6300 Riverside Plaza Lane NW, Suite 200 - Albuquerque, NM 87120	
Phone#: (505) 998-0163 Fax#:	E-mail:
Architect:	Contact:
Address:	
Phone#:	E-mail:
Other Contact: Surv-Tek, Inc.	Contact: Russ P. Hugg
Address: 9384 Valley View Drive - Albuquerque, NM 87114	
Phone#: (505) 897-3366 Fax#:	E-mail:
HYDROLOGY/ DRAINAGE X TRAFFIC/ TRANSPORTATION MS4/ EROSION & SEDIMENT CONTROL TYPE OF SUBMITTAL: X ENGINEER ARCHITECT CERTIFICATION PHASE 10, BLDG 8 CONCEPTUAL G & D PLAN GRADING PLAN DRAINAGE MASTER PLAN DRAINAGE MASTER PLAN DRAINAGE REPORT CLOMR/LOMR X TRAFFIC CIRCULATION LAYOUT (TCL) AND DEVELOPMENT SECTION GRADING/ PAVING PEI GRADING/ P	RMIT APPROVAL AD CERTIFICATION CRAPPROVAL
OTHER (SPECIFY)PRE-DESIGNOTHER (SPECIFY)OTHER (SPECIF	MEETING ECIFY)
DATE SUBMITTED: January 7, 2016 By: Åsa Nilsson-Weber	



Consulting Engineering Associates

Thomas O. Isaacson, PE (Ret.) & LS (Ret.) * Fred C. Arfman, PE * Åsa Nilsson-Weber, PE

Date: January 7, 2016

Project: Broadstone Promenade

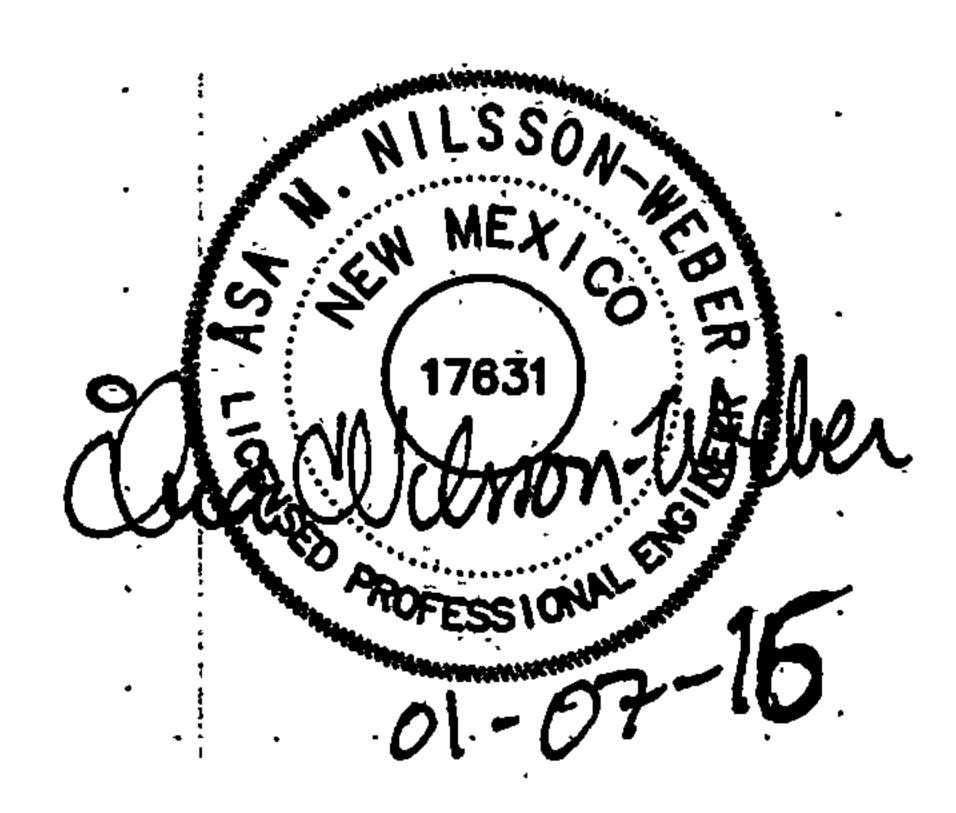
San Pedro Blvd, NE

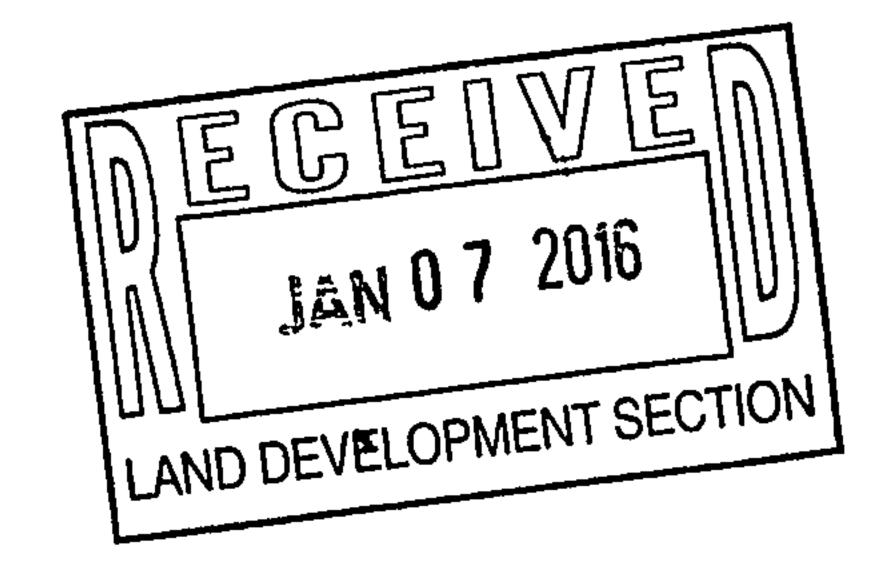
Subject: Rolling TCL Certification; Phase 10, Building No: 8

TRAFFIC CERTIFICATION

I, Åsa Nilsson-Weber, PE, NMPE No. 17631, of the firm Isaacson & Arfman, PA, hereby certify that the portion of the site as identified on the attached TCL plan is in substantial compliance with and in accordance with the design intent of the TCL Plan dated June 19, 2014. The record information edited onto the original design document has been obtained by Russ Hugg of the firm of Surv-Tek, Inc. I further certify that I or someone under my direct supervision have personally visited the project on January 4, 2016 and have determined by visual observations that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for a Permanent Certificate of Occupancy.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.





Åsa Nilsson-Weber, PE No. 17631



January 26, 2016

Asa Nilsson-Weber Isaacson & Arfman, P.A. 128 Monroe St., NE Albuquerque, NM 87108

Re: Broadstone Promenade, Tract1, Santa Monica Place, Bldg. 10, Ph. 13

6400 San Pedro Dr., NE

Request for Certificate of Occupancy- Transportation Development

Engineer's/Architect's Stamp dated 6-19-14 (D18-D054A)

Certification dated 1-25-16

Dear Ms. Nilsson-Webber,

Based upon the information provided in your submittal received 1-25-16, Transportation Development has no objection to the issuance of a <u>Permanent Certificate of Occupancy</u>. This letter serves as a "green tag" from Transportation Development for a <u>Permanent Certificate of Occupancy</u> to be issued by the Building and Safety Division.

PO Box 1293

If you have any questions, please contact Gary Sandoval at (505) 924-3675 or me at (505)924-3991.

Albuquerque

Sincerely,

New Mexico 87103

Racquel M. Michel, P.E.

www.cabq.gov Traffic Engineer, Planning Dept.

Development Review Services

\gs

via: email

C:

CO Clerk, File

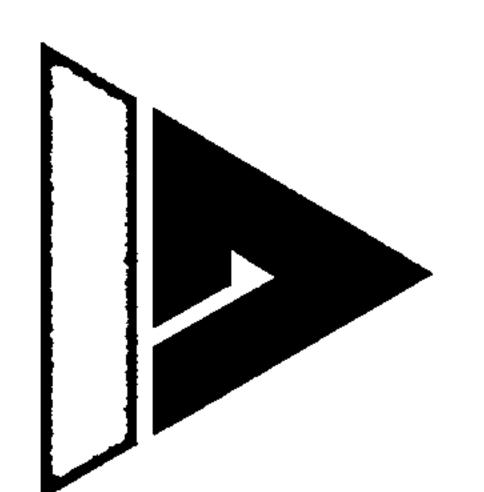


Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

	Work Order#: <u>689984</u>
egal Description: Tract 1, Santa Monica Place	
City Address:	
Ingineering Firm: Isaacson & Arfman, P.A.	Contact: Asa Nilsson-Weber
Address: 128 Monroe Street NE - Albuquerque, NM 87108	
hone#: (505) 268-8828 Fax#:	E-mail: asaw@iacivil.com
wner: DRI TSM, LLC - c/o Titan Development Company	Contact: Kurt Browning
Address: 6300 Riverside Plaza Lane NW, Suite 200 - Albuq	
hone#: (505) 998-0163 Fax#:	E-mail:
Architect:	Contact:
Address:	
Phone#:	E-mail:
Other Contact: Surv-Tek, Inc.	Contact: Russ P. Hugg
Address: 9384 Valley View Drive - Albuquerque, NM 87114	
Phone#: (505) 897-3366 Phone#: (505) 897-3366	E-mail:
1/0//DD 00101/ 0 0DD 11 0D1 10 001 01	X CEDTIFICATE OF OCCUDANCY
MS4/ EROSION & SEDIMENT CONTROL TYPE OF SUBMITTAL:	X CERTIFICATE OF OCCUPANCY
	PRELIMINARY PLAT APPROVAL
TYPE OF SUBMITTAL: X ENGINEER ARCHITECT CERTIFICATION PHASE 13, BLD	PRELIMINARY PLAT APPROVAL
TYPE OF SUBMITTAL: X ENGINEER ARCHITECT CERTIFICATION PHASE 13, BLD CONCEPTUAL G & D PLAN	PRELIMINARY PLAT APPROVAL SITE PLAN FOR SUB'D APPROVAL SITE PLAN FOR BLDG. PERMIT APPROVAL FINAL PLAT APPROVAL
TYPE OF SUBMITTAL: X ENGINEER ARCHITECT CERTIFICATION PHASE 13, BLD CONCEPTUAL G & D PLAN GRADING PLAN	PRELIMINARY PLAT APPROVAL SITE PLAN FOR SUB'D APPROVAL SITE PLAN FOR BLDG. PERMIT APPROVAL FINAL PLAT APPROVAL SIA/ RELEASE OF FINANCIAL GUARANTEE
TYPE OF SUBMITTAL: X ENGINEER ARCHITECT CERTIFICATION PHASE 13, BLD CONCEPTUAL G & D PLAN GRADING PLAN DRAINAGE MASTER PLAN	PRELIMINARY PLAT APPROVAL SITE PLAN FOR SUB'D APPROVAL SITE PLAN FOR BLDG. PERMIT APPROVAL FINAL PLAT APPROVAL SIA/ RELEASE OF FINANCIAL GOARANTEE FOUNDATION PERMIT APPROVAL
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Consulting Engineering Associates

Thomas O. Isaacson, PE (Ret.) & LS (Ret.) * Fred C. Arfman, PE * Åsa Nilsson-Weber, PE

Date: January 25, 2016

Project: Broadstone Promenade

San Pedro Blvd, NE

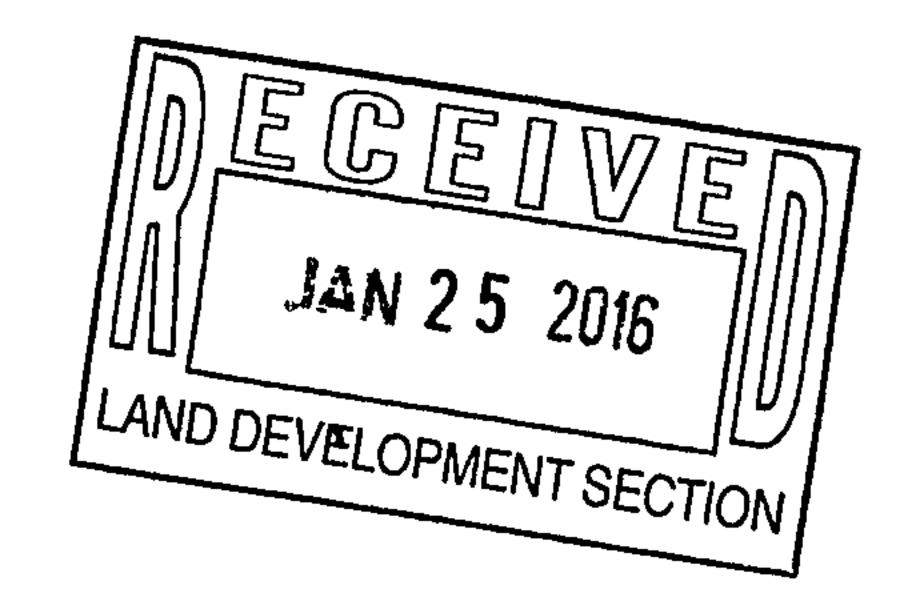
Subject: Rolling TCL Certification; Phase 13, Building No: 10

TRAFFIC CERTIFICATION

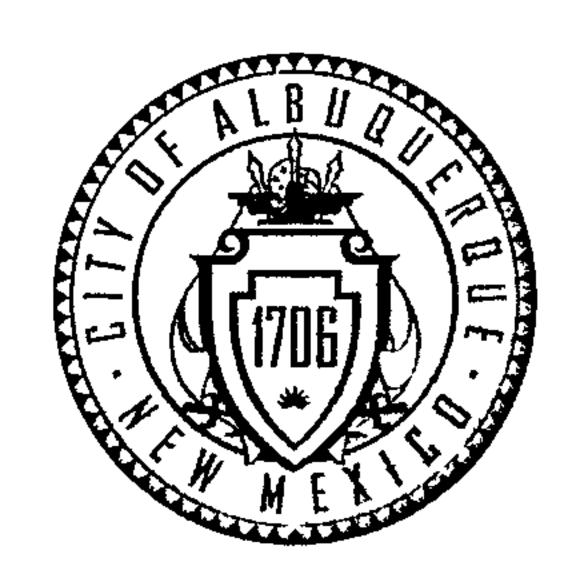
I, Åsa Nilsson-Weber, PE, NMPE No. 17631, of the firm Isaacson & Arfman, PA, hereby certify that the portion of the site as identified on the attached TCL plan is in substantial compliance with and in accordance with the design intent of the TCL Plan dated June 19, 2014. The record information edited onto the original design document has been obtained by Russ Hugg of the firm of Surv-Tek, Inc. I further certify that I or someone under my direct supervision have personally visited the project on January 25, 2016 and have determined by visual observations that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for a Permanent Certificate of Occupancy.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.





Åsa Nilsson-Weber, PE No. 17631



February 4, 2016

Asa Nilsson-Weber Isaacson & Arfman, P.A. 128 Monroe St., NE Albuquerque, NM 87108

Re: Broadstone Promenade, Tract1, Santa Monica Place, Bldg. 9, Ph. 12

7400 San Pedro Dr., NE

Request for Certificate of Occupancy- Transportation Development

Engineer's/Architect's Stamp dated 6-19-14 (D18-D054A)

Certification dated 2-4-16

Dear Ms. Nilsson-Webber,

Based upon the information provided in your submittal received 2-3-16, Transportation Development has no objection to the issuance of a <u>Permanent Certificate of Occupancy</u>. This letter serves as a "green tag" from Transportation Development for a <u>Permanent Certificate of Occupancy</u> to be issued by the Building and Safety Division.

PO Box 1293

If you have any questions, please contact Gary Sandoval at (505) 924-3675 or me at (505)924-3991.

Albuquerque

Sincerely,

New Mexico 87103

John B. Gurulé, P.E.

Senior Engineer, Planning Dept.

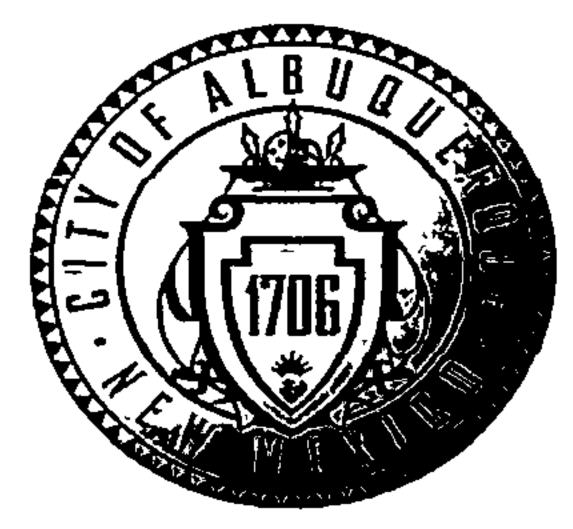
www.cabq.gov Development Review Services

\gs

via: email

C:

CO Clerk, File

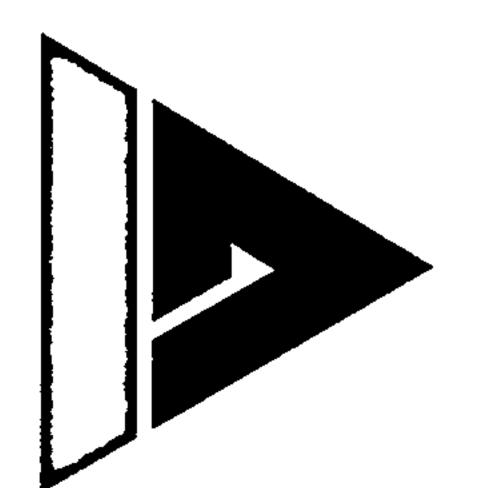


Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Legal Description: Tract 1, Santa	EPC#:	Work Order#: 689984
regul Description. Tract i, Carite	a Monica Place	
City Address:		
Engineering Firm: Isaacson & A	Arfman, P.A.	Contact: Asa Nilsson-Weber
Address: 128 Monroe Street N		
Phone#: (505) 268-8828	Fax#:	E-mail: asaw@iacivil.com
	"ton Dovelonnont Commons	
	itan Development Company a Lane NW, Suite 200 - Albuquerque	Contact: Kurt Browning
Address: 6300 Riverside Plaza hone#: (505) 998-0163	Fax#:	E-mail:
11011cm. (000) 000-0100	T'AATT.	
Architect:		Contact:
Address:		· · · · — · · · · — · · · · · · · · · ·
Phone#:	Fax#:	E-mail:
Other Contact: Surv-Tek, Inc.		Contact: Russ P. Hugg
Address: 9384 Valley View Dri	ve - Albuquerque, NM 87114	*
Phone#: (505) 897-3366	Fax#:	E-mail:
TYPE OF SUBMITTAL:		PRELIMINIARY DI AT APPROVAI
 	RTIFICATION PHASE 12, BLDG 9	PRELIMINARY PLAT APPROVAL
		SITE PLAN FOR SUB'D APPROVAL SITE PLAN FOR BLOG. PERMIT APPROVAL
CONCEPTUAL G & D PLAN		FINAL PLAT ATEROVAL
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DRAINAGE MASTER PLAN DRAINAGE REPORT		GRADING PERMIT APPROVAL
DRAINAGE MASTER PLAN		GRADING PERMIT APPROVAL SO-19 APPROVAD
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Consulting Engineering Associates

Thomas O. Isaacson, PE (Ret.) & LS (Ret.) * Fred C. Arfman, PE * Åsa Nilsson-Weber, PE

Date: February 4, 2016

Project: Broadstone Promenade

San Pedro Blvd, NE

Subject: Rolling TCL Certification; Phase 12, Building No: 9

TRAFFIC CERTIFICATION

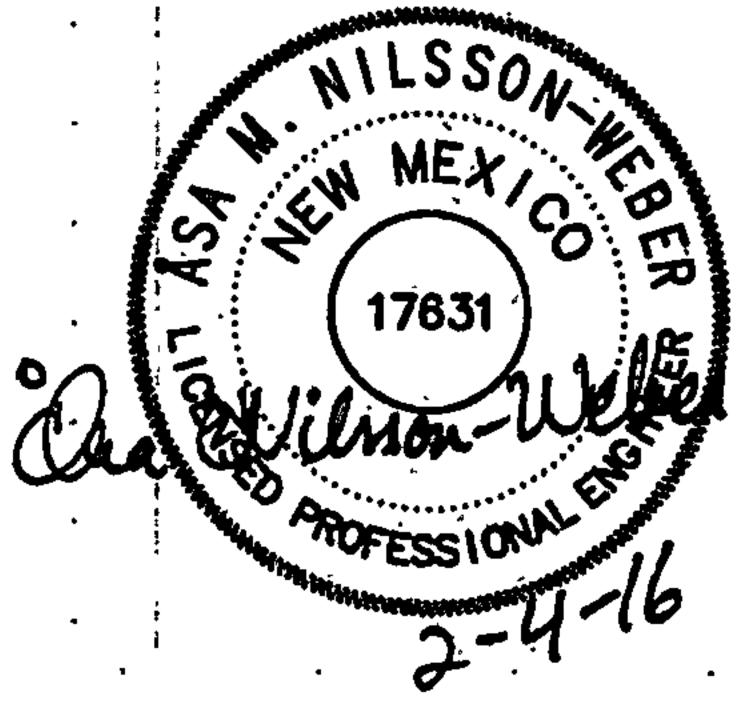
I, Åsa Nilsson-Weber, PE, NMPE No. 17631, of the firm Isaacson & Arfman, PA, hereby certify that the portion of the site as identified on the attached TCL plan is in substantial compliance with and in accordance with the design intent of the TCL Plan dated June 19, 2014. The record information edited onto the original design document has been obtained by Russ Hugg of the firm of Surv-Tek, Inc. I further certify that I or someone under my direct supervision have personally visited the project on February 3, 2016 and have determined by visual observations that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief.

This certification is submitted in support of a request for a Permanent Certificate of Occupancy.

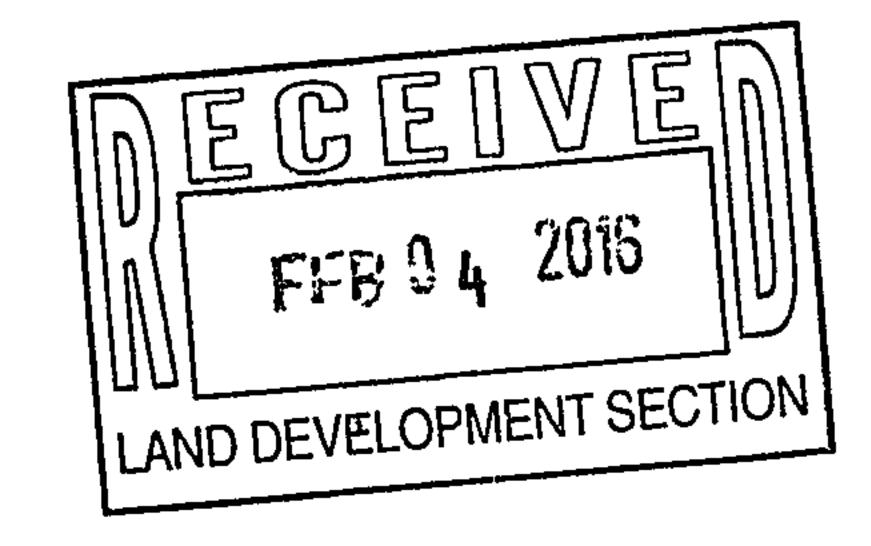
The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Areas of modifications:

The sidewalk between buildings 7 & 9 was field modified because of conflicts with above ground dry utility equipment. A section of the walk between the sidewalk culvert (also relocated) and the ADA ramp was eliminated to avoid creating a tripping hazard at the ramp.



Åsa Nilsson-Weber, PE No. 17631





Consulting Engineering Associates

Asa Weber <asaw@iacivil.com>

Re: D18D054A BROADSTONE PROMENADE TCL CERT BUILDING 9; PHASE 12

1 message

Asa Weber <asaw@iacivil.com>

Thu, Feb 4, 2016 at 2:24 PM

To: PLNDRS@cabq.gov

Cc: Brian Patterson bpatterson@titan-development.com, John Addison jaddison@allresco.com, "Bob Finch, Alliance" bfinch@allresco.com, John Addison jaddison@allresco.com, "Bob Finch, Alliance" bfinch@allresco.com

Please see attached for revised plans and cert letter for TCL cert submitted yesterday (2/3/16) for Building 9; Phase 12. Revision includes markup and notes regarding sidewalk modifications between Bldgs 7 & 9.

Åsa Nilsson-Weber, P.E.

Principal / Vice President Isaacson & Arfman, P.A. 128 Monroe St. N.E. Albuquerque, NM 87108 Phone: (505)268-8828

asaw@iacivil.com

On Thu, Feb 4, 2016 at 12:47 PM, Sandoval, Gary L. <glsandoval@cabq.gov> wrote:

Hello, please send me an email copy of the Red Lined changes made to the sidewalk between building No. 7 and Bldg. No. 9. I will also need a marked up hard copy for our records.

Thank You,

Gary Sandoval

Engineer

City Traffic Planning Department

505-924-3675

From: Åsa Weber [mailto:asaw@iacivil.com]
Sent: Wednesday, February 03, 2016 2:39 PM
To: Planning Development Review Services

Cc: Brian Patterson; John Addison; Lee Riley; Bob Finch, Alliance

Subject: D18D054A BROADSTONE PROMENADE TCL CERT BUILDING 9; PHASE 12



February 24, 2016

Asa Nilsson-Weber Isaacson & Arfman, P.A. 128 Monroe St., NE Albuquerque, NM 87108

Re: Broadstone Promenade Bldgs. 16 & 11, Phases 19 &14

Request for Certificate of Occupancy- Transportation Development

Engineer's/Architect's Stamp dated 6-19-14 (D18-D054A)

Certification dated 2-18-15

Dear Ms. Nilsson-Weber,

Based upon the information provided in your submittal received 2-19-16, Transportation Development has no objection to the issuance of a <u>Permanent Certificate of Occupancy</u>. This letter serves as a "green tag" from Transportation Development for a <u>Permanent Certificate of Occupancy</u> to be issued by the Building and Safety Division.

PO Box 1293

If you have any questions, please contact Gary Sandoval at (505) 924-3675 or me at (505)924-3991.

Albuquerque

Sincerely,

New Mexico 87103

Racquel M. Michel, P.E.

Traffic Engineer, Planning Dept.

Development Review Services

via: email

\gs C:

CO Clerk, File



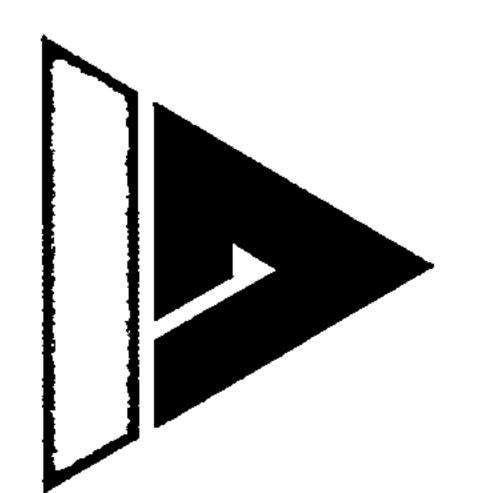
Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: Broadstone Promenade, Tract 1, Santa Monica Place Building Permit #: DRB#:	City Drainage #: D18-D054A Work Order#: 689984
Legal Description: Tract 1, Santa Monica Place	
City Address:	
Engineering Firm: Isaacson & Arfman, P.A.	Contact: Asa Nilsson-Weber
Address: 128 Monroe Street NE - Albuquerque, NM 87108	
Phone#: (505) 268-8828 Fax#:	E-mail: asaw@iacivil.com
Owner: DRI TSM, LLC - c/o Titan Development Company	Contact: Kurt Browning
Address: 6300 Riverside Plaza Lane NW, Suite 200 - Albuquerque, NM 87120	
Phone#: (505) 998-0163 Fax#:	E-mail:
Architect:	Contact:
Address:	T2
Phone#: Fax#:	E-mail:
Other Contact: Surv-Tek, Inc.	Contact: Russ P. Hugg
Address: 9384 Valley View Drive - Albuquerque, NM 87114	
Phone#: (505) 897-3366 Fax#:	E-mail:
HYDROLOGY/ DRAINAGE X TRAFFIC/ TRANSPORTATION MS4/ EROSION & SEDIMENT CONTROL TYPE OF SUBMITTAL: X ENGINEER ARCHITECT CERTIFICATION PHASE 14, BLDG 11 PHASE 19, BLDG 16 CONCEPTUAL G & D PLAN GRADING PLAN DRAINAGE MASTER PLAN DRAINAGE REPORT CLOMR/LOMR BUILDING F X CERTIFICAT PRELIMINA SITE PLAN SITE PLAN FINAL PLAT FOUNDATION GRADING F SO-19 APPR PAVING PE	RMIT APPROVAL PAD CERTIFICATION ER APPROVAL
OTHER (SPECIFY) PRE-DESIGNOTHER (SP	MEETING ECIFY)
IS THIS A RESUBMITTAL?: YesX_ No	
DATE SUBMITTED: February 19, 2016 By: Åsa Nilsson-Weber	

COA STAFF: ELECTRONIC SUBMITTAL RECEIVED: ____



Consulting Engineering Associates

Thomas O. Isaacson, PE (Ret.) & LS (Ret.) * Fred C. Arfman, PE * Åsa Nilsson-Weber, PE

Date: February 19, 2016

Project: Broadstone Promenade

San Pedro Blvd, NE

Subject: Rolling TCL Certification; Phase 19, Building 16 and Phase 14, Building 11

TRAFFIC CERTIFICATION

I, Åsa Nilsson-Weber, PE, NMPE No. 17631, of the firm Isaacson & Arfman, PA, hereby certify that the portion of the site as identified on the attached TCL plan is in substantial compliance with and in accordance with the design intent of the TCL Plan dated June 19, 2014. The record information edited onto the original design document has been obtained by Russ Hugg of the firm of Surv-Tek, Inc. I further certify that I or someone under my direct supervision have personally visited the project on February 18, 2016 and have determined by visual observations that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief.

This certification is submitted in support of a request for a Permanent Certificate of Occupancy.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.



Åsa Nilsson-Weber, PE No. 17631





Asa Weber <asaw@iacivil.com>

D18D054A Broadstone Promenade Bldgs 16 & 11; Phases 19 & 14 TCL Cert

1 message

Asa Weber <asaw@iacivil.com>

Fri, Feb 19, 2016 at 11:10 AM

To: PLNDRS@cabq.gov

Cc: Lee Riley Cc: Lee Riley@allresco.com, "Bob Finch, Alliance" <a href="String-line-block-noise-

Please see attached for TCL Cert for Buildings 16 & 11.

Thank you.

Åsa Nilsson-Weber, P.E.

Principal / Vice President Isaacson & Arfman, P.A. 128 Monroe St. N.E. Albuquerque, NM 87108 Phone: (505)268-8828

asaw@iacivil.com

2 attachments

D18D054A BROADSTONE PROMENADE 2016 02-19 TCL CERT LETTER BLDGS 16&11; PH 19&14.pdf

D18D054A BROADSTONE PROMENADE 2016 02-19 TCL CERT PLANS BLDGS 16&11; PH 19&14.pdf 6914K

