

CITY OF ALBUQUERQUE



February 4, 2016

Asa Nilsson-Weber
Isaacson & Arfman, P.A.
128 Monroe St., NE
Albuquerque, NM 87108

**Re: Broadstone Promenade, Tract1, Santa Monica Place, Bldg. 9, Ph. 12
7400 San Pedro Dr., NE
Request for Certificate of Occupancy- Transportation Development
Engineer's/Architect's Stamp dated 6-19-14 (D18-D054A)
Certification dated 2-4-16**

Dear Ms.Nilsson-Webber,

Based upon the information provided in your submittal received 2-3-16, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

PO Box 1293

If you have any questions, please contact Gary Sandoval at (505) 924-3675 or me at (505)924-3991.

Albuquerque

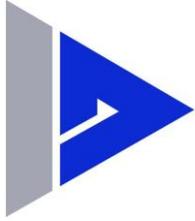
Sincerely,

New Mexico 87103

John B. Gurulé, P.E.
Senior Engineer, Planning Dept.
Development Review Services

www.cabq.gov

\gs via: email
C: CO Clerk, File



Date: February 3, 2016

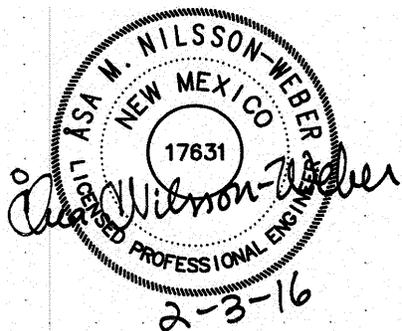
Project: Broadstone Promenade
San Pedro Blvd, NE

Subject: Rolling TCL Certification; Phase 12, Building No: 9

TRAFFIC CERTIFICATION

I, Åsa Nilsson-Weber, PE, NMPE No. 17631, of the firm Isaacson & Arfman, PA, hereby certify that the portion of the site as identified on the attached TCL plan is in substantial compliance with and in accordance with the design intent of the TCL Plan dated June 19, 2014. The record information edited onto the original design document has been obtained by Russ Hugg of the firm of Surv-Tek, Inc. I further certify that I or someone under my direct supervision have personally visited the project on February 3, 2016 and have determined by visual observations that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for a Permanent Certificate of Occupancy.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.



Åsa Nilsson-Weber, PE No. 17631

BROADSTONE PROMENADE
 6400 SAN PEDRO DRIVE NE
 Albuquerque, New Mexico

Office of Rich Barber
ORB
 Architecture, LLC
 WorldHQ@ORBArch.com

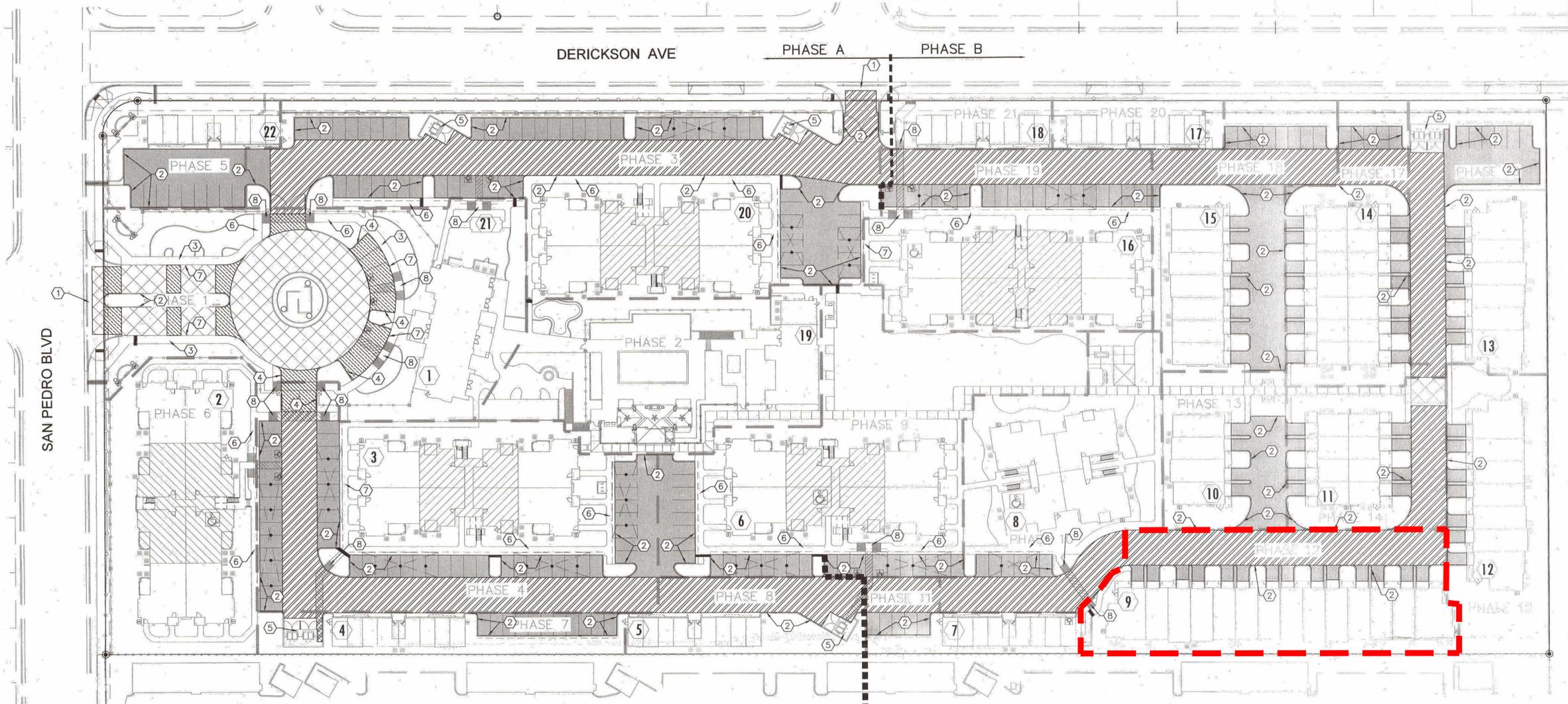


TITAN
 DEVELOPMENT

ALLIANCE
 RESIDENTIAL COMPANY

ISAACSON & ARMAN, P.A.
 Consulting Engineering Associates
 Ph. 505-268-8828 www.isaacson.com
 2025 CP 1.1.dwg Jun 19, 2014

Contractor must verify all dimensions at project before proceeding with this work.
 Do not reproduce these drawings and specifications without the expressed written permission of the Architect. The drawings and specifications are instruments of service and shall remain the property of the Architect whether the project for which they are made is executed or not. These drawings and specifications shall not be used by anyone on any other projects, for additions to this project, or for completion of this project by others except by the expressed written permission of the Architect.
 © ORB Architecture, LLC 2013



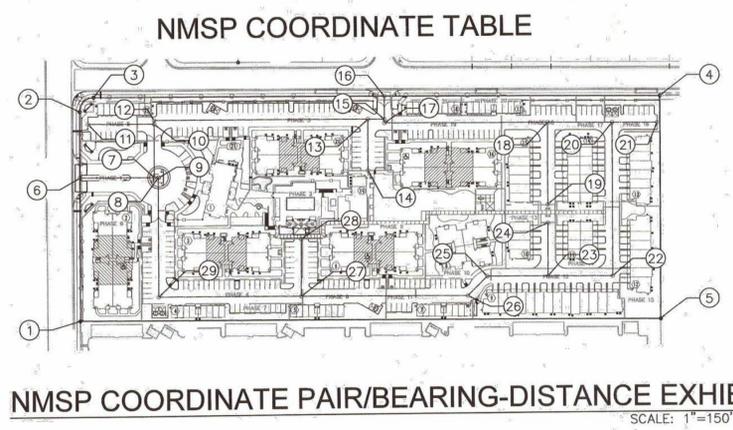
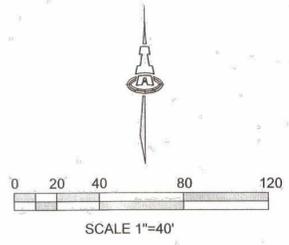
Point	X	Y	Point	X	Y
1	1543067.9333	1515291.0778	16	1543609.5935	1515680.7531
2	1543069.4858	1515658.8550	17	1543609.3200	1515633.7538
3	1543094.6310	1515683.7491	18	1543897.8801	1515632.0750
4	1544097.5754	1515677.9141	19	1543897.2700	1515487.5503
5	1544095.9172	1515285.0971	20	1544012.3783	1515631.4089
6	1543068.9932	1515542.1587	21	1544092.3180	1515630.9438
7	1543200.6586	1515541.6030	22	1544011.2373	1515361.0911
8	1543207.6586	1515541.5734	23	1543896.6392	1515361.7578
9	1543208.8252	1515541.5685	24	1543897.1819	1515455.0504
10	1543201.0576	1515636.1291	25	1543788.9432	1515362.3843
11	1543084.4120	1515636.8077	26	1543754.7137	1515329.0829
12	1543201.0851	1515642.6291	27	1543459.7070	1515330.7992
13	1543580.1306	1515640.4238	28	1543460.2858	1515430.2975
14	1543579.6041	1515549.9254	29	1543206.7751	1515332.2707
15	1543609.3578	1515640.2538			

COORDINATE/CONTROL POINTS:
 POINTS ARE SITUATED AT THE ACCESS ISLE CENTERLINE INTERSECTION, CENTERLINE INTERSECTION OR THE ENTRIES WITH THE PROJECT BOUNDARY AND AT THE DEAD-END ACCESS ISLE CENTERLINE INTERSECTION WITH THE FACE OF CURB AT THE ISLE TERMINUS

ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.

TRAFFIC CIRCULATION LAYOUT APPROVED
 Signed: *CLEB* 20 Jan 14
 Date

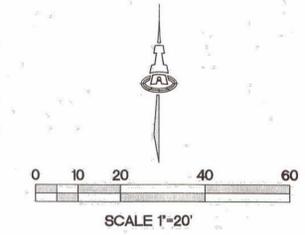
LANDSCAPING/CLEAR SIGHT NOTE:
 LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.



KEYED NOTES	PHASING NOTES	LEGEND	GENERAL NOTES														
1. ENTRANCE VALLEY GUTTER & PAVING BY PUBLIC WORK ORDER. 2. PCC PINNED CURB, SEE DETAIL SHEET CP5.1. 3. 6" COLORED PCC SIDEWALK, COLOR PER ARCHITECTURAL PLANS. 4. HEADER CURB (COLORED), SEE DETAIL SHEET CP5.1. 5. REFUSE ENCLOSURE W/ SET PAVING PER ARCHITECTURAL. 6. 6" CONCRETE SIDEWALK, SEE DETAIL SHEET CP5.1. 7. 6" CONCRETE SIDEWALK W/ TURN-DOWN EDGE, PER ARCHITECTURAL. 8. ADA RAMP, SEE ARCHITECTURAL PLANS.	PHASE A PAVING, SIDEWALKS, RAMPS, DUMPSTERS SHALL BE CONSTRUCTED PRIOR TO CERTIFICATION FOR THE FOLLOWING BUILDINGS (PHASES): BUILDING NOS. 1-5, 19-22 (PHASES 1-8) PHASE B PAVING, SIDEWALKS, RAMPS, DUMPSTERS SHALL BE CONSTRUCTED PRIOR TO CERTIFICATION FOR THE FOLLOWING BUILDINGS (PHASES): BUILDING NOS. 6-18 (PHASES 9-21)	CONCRETE PAVERS, SEE CONCRETE PAVERS SECTION SHEET CP5.1. LIGHT DUTY ASPHALT, SEE PAVEMENT SECTION SHEET CP5.1. HEAVY DUTY ASPHALT, SEE PAVEMENT SECTION SHEET CP5.1. CONCRETE PAVING, SEE PCC PAVEMENT SECTION SHEET CP5.1. BUILDING PHASE LINE PAVING CONSTRUCTION PHASE LINE	A. CONTRACTOR SHALL COORDINATE WITH OWNER FOR ALLOWABLE STAGING AREAS DURING CONSTRUCTION. B. FOR DRAINAGE DETAILS, SEE CIVIL DRAWINGS AND SPECIFICATIONS. C. FOR IRRIGATION DETAILS, SEE IRRIGATION DRAWINGS AND SPECIFICATIONS. D. FOR ADDITIONAL INFORMATION ON SITE FEATURES SEE ARCHITECTURAL SITE PLAN.														
PARKING SPACE TABLE			REVISIONS DATE: JUNE, 2014 ORB # 13-220 CP1.1 SITE PAVING PLAN LAND DEVELOPMENT SECTION														
<table border="1"> <thead> <tr> <th></th> <th>STANDARD</th> <th>ACCESSIBLE</th> </tr> </thead> <tbody> <tr> <td>TOTAL PARKING SPACES REQUIRED:</td> <td>331</td> <td></td> </tr> <tr> <td>TOTAL PARKING SPACES PROVIDED:</td> <td>357</td> <td></td> </tr> <tr> <td>TOTAL BICYCLE SPACES REQUIRED:</td> <td>90</td> <td></td> </tr> <tr> <td>TOTAL BICYCLE SPACES PROVIDED:</td> <td>120</td> <td></td> </tr> </tbody> </table>					STANDARD	ACCESSIBLE	TOTAL PARKING SPACES REQUIRED:	331		TOTAL PARKING SPACES PROVIDED:	357		TOTAL BICYCLE SPACES REQUIRED:	90		TOTAL BICYCLE SPACES PROVIDED:	120
	STANDARD	ACCESSIBLE															
TOTAL PARKING SPACES REQUIRED:	331																
TOTAL PARKING SPACES PROVIDED:	357																
TOTAL BICYCLE SPACES REQUIRED:	90																
TOTAL BICYCLE SPACES PROVIDED:	120																

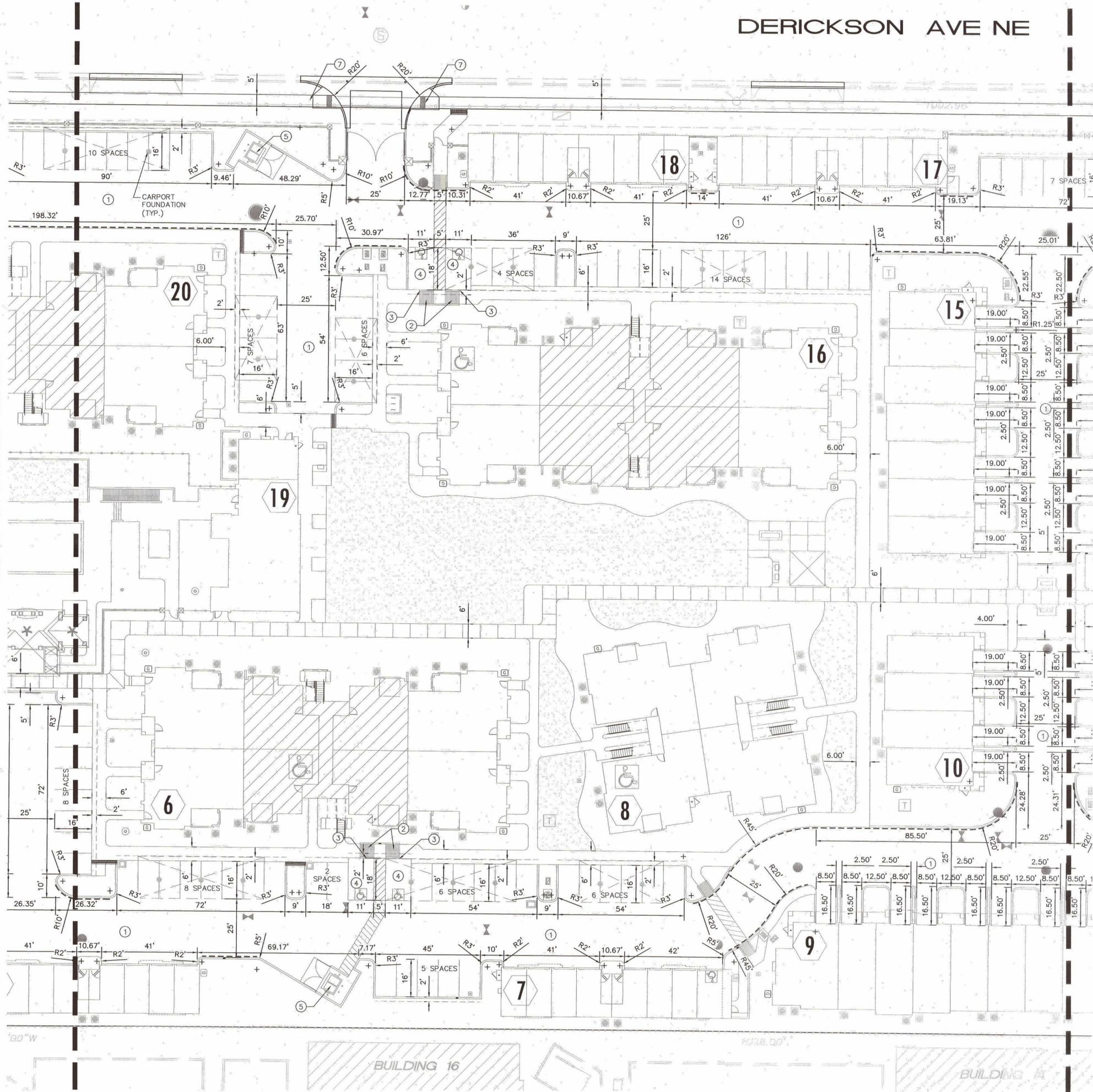
FILE:M:\PROJECTS\2000-2099\2025\DWG\BUILDING PERMIT\2025 CP 1.1.dwg USER:Asa DATE:Jun, 19 2014 TIME: 11:56 am

DERICKSON AVE NE



SEE CP1.2 FOR WEST SECTION

SEE CP1.4 FOR EAST SECTION



GENERAL NOTES

- A. BASIS OF BEARINGS: PLAT OF LOTS 1-4, SANTA MONICA PLACE; (BK. 2012C, PG. 0002; REC. 01-06-2012).
- B. COORDINATE PAIRS ARE NEW MEXICO STATE PLANE COORDINATES, CENTRAL ZONE.
- C. SEE ARCHITECTURAL DETAIL SHEET, A1.20 FOR SITE STRIPING AND ACCESSIBILITY DETAILS.
- D. ALL STANDARD PARKING SPACES ARE 9'-0" WIDE BY 16'-0" DEEP UNLESS OTHERWISE NOTED.
- E. ALL ACCESSIBLE PARKING STALLS ARE 11'-0" WIDE BY 18'-0" DEEP.
- F. ALL DIMENSIONING IS TO FACE OF CURB/EDGE OF TURNDOWN SIDEWALKS/ENTRANCE OF PARKING STALLS.
- G. REMOVE ALL UNUSED CURB CUTS WITHIN THE PUBLIC ROW AND REPLACE WITH COA STD CURB & GUTTER AND PCC SIDEWALKS AS SHOW ON THE PUBLIC WORK ORDER DRAWINGS.
- H. ALL IMPROVEMENTS SHOWN IN THE PUBLIC ROW TO BE CONSTRUCTED PER PUBLIC WORK ORDER DRAWINGS.
- I. ALL ONSITE SIDEWALKS ARE 4' IN WIDTH UNLESS OTHERWISE NOTED/DIMENSIONED.

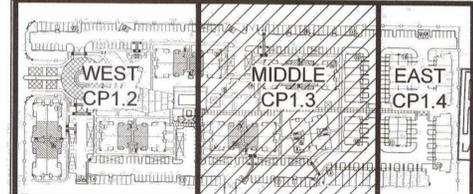
KEYED NOTES

- 1. PAVED AREAS, SEE PAVING PLAN FOR LIMITS AND TYPE OF PAVING.
- 2. ADA RAMP, SEE DETAIL ON ARCHITECTURAL PLANS.
- 3. ACCESSIBLE PARKING SIGN, SEE DETAIL ON ARCHITECTURAL PLANS.
- 4. ACCESSIBLE PARKING STALL, SEE DETAILS ON ARCHITECTURAL PLANS.
- 5. SINGLE TRASH ENCLOSURE.
- 6. DOUBLE TRASH ENCLOSURE.
- 7. ADA ACCESSIBLE RAMP WITH TRUNCATED DOME MATS, SEE PUBLIC WORK ORDER DRAWINGS.

LEGEND

- 4" WIDE PAINTED (BLUE) PARKING STRIPES, 3' ON CENTER.
- PAINT CURB RED & STENCIL WHITE TEXT "FIRE LANE NO PARKING", 4" HIGH LETTERS, 1/2" STROKE.

TRAFFIC CONTROL SHEET KEY



BROADSTONE PROMENADE
6400 SAN PEDRO DRIVE NE
Albuquerque, New Mexico

Office of Rich Barber
ORB
Architecture, LLC
WorldHQ@ORBArch.com



TITAN
DEVELOPMENT
ALLIANCE
RESIDENTIAL COMPANY

ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
Ph. 505-268-8828 www.isaacson.com
2025 CP 1.2 THRU 1.4.dwg Jun 19, 2014

Contractor must verify all dimensions at project before proceeding with this work. Do not reproduce these drawings and specifications without the expressed written permission of the Architect. The drawings and specifications are made in service and shall remain the property of the Architect whether the project for which they are made is executed or not. These drawings and specifications shall not be used by anyone on any other project, for additions to this project, or for completion of this project by others except by the expressed written permission of the Architect.
© ORB Architecture, LLC 2013

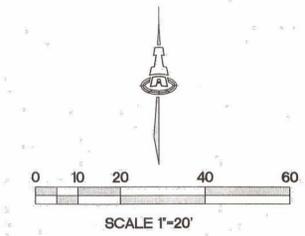
REVISIONS

NO.	DATE	DESCRIPTION

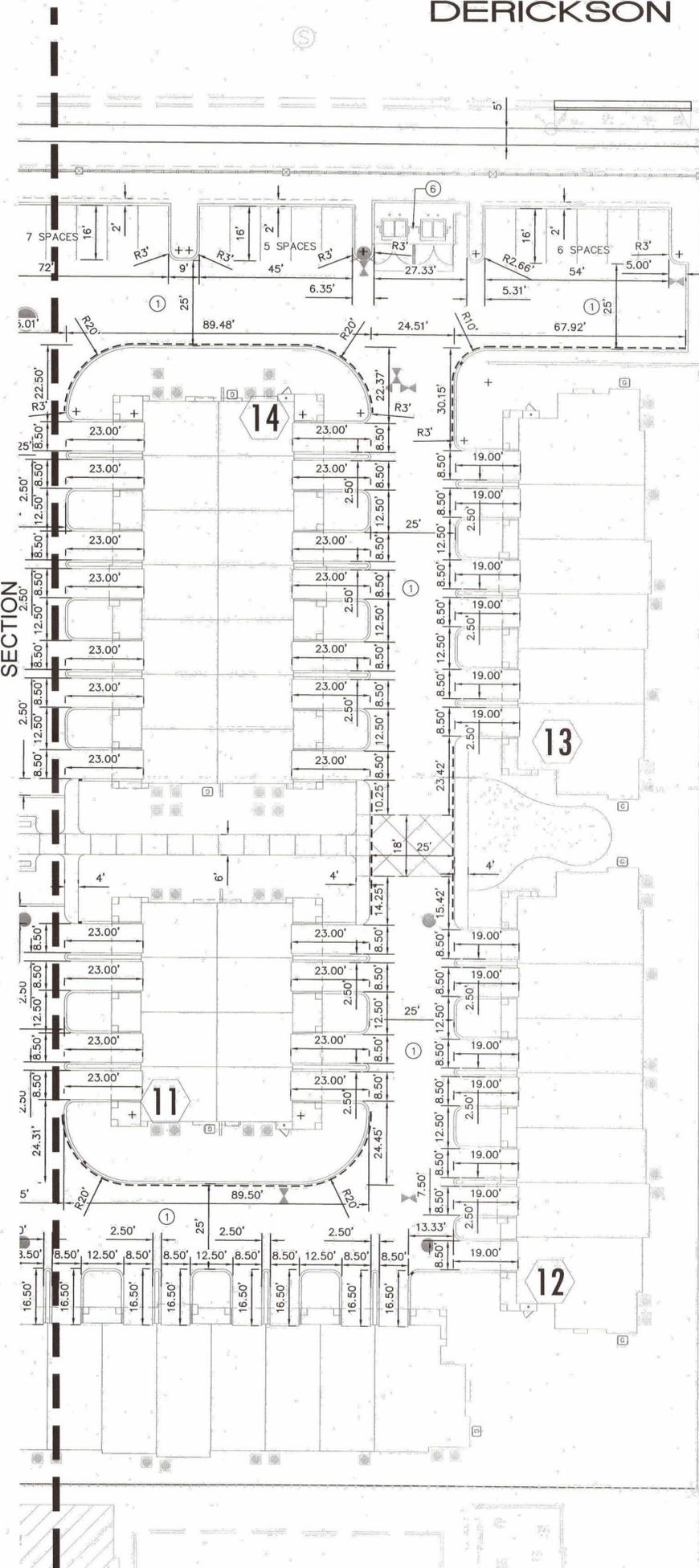
DATE: JUNE, 2014 ORB # 13-220

CP1.3
JUN 19 2014
MIDDLE TRAFFIC CONTROL LAYOUT

DERICKSON AVE NE



SEE CP1.3 FOR MIDDLE SECTION



GENERAL NOTES

- A. BASIS OF BEARINGS: PLAT OF LOTS 1-4, SANTA MONICA PLACE; (BK. 2012C, PG. 0002; REC: 01-06-2012).
- B. COORDINATE PAIRS ARE NEW MEXICO STATE PLANE COORDINATES, CENTRAL ZONE.
- C. SEE ARCHITECTURAL DETAIL SHEET, A1.20 FOR SITE STRIPING AND ACCESSIBILITY DETAILS.
- D. ALL STANDARD PARKING SPACES ARE 9'-0" WIDE BY 16'-0" DEEP UNLESS OTHERWISE NOTED.
- E. ALL ACCESSIBLE PARKING STALLS ARE 11'-0" WIDE BY 18'-0" DEEP.
- F. ALL DIMENSIONING IS TO FACE OF CURB/EDGE OF TURNDOWN SIDEWALKS/ENTRANCE OF PARKING STALLS.
- G. REMOVE ALL UNUSED CURB CUTS WITHIN THE PUBLIC ROW AND REPLACE WITH COA STD CURB & GUTTER AND PCC SIDEWALKS AS SHOW ON THE PUBLIC WORK ORDER DRAWINGS.
- H. ALL IMPROVEMENTS SHOWN IN THE PUBLIC ROW TO BE CONSTRUCTED PER PUBLIC WORK ORDER DRAWINGS.
- I. ALL ONSITE SIDEWALKS ARE 4' IN WIDTH UNLESS OTHERWISE NOTED/DIMENSIONED.

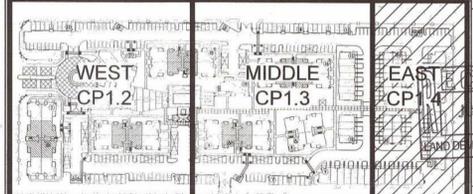
KEYED NOTES

- 1. PAVED AREAS, SEE PAVING PLAN FOR LIMITS AND TYPE OF PAVING.
- 2. ADA RAMP, SEE DETAIL ON ARCHITECTURAL PLANS.
- 3. ACCESSIBLE PARKING SIGN, SEE DETAIL ON ARCHITECTURAL PLANS.
- 4. ACCESSIBLE PARKING STALL, SEE DETAILS ON ARCHITECTURAL PLANS.
- 5. SINGLE TRASH ENCLOSURE.
- 6. DOUBLE TRASH ENCLOSURE.
- 7. ADA ACCESSIBLE RAMP WITH TRUNCATED DOME MATS, SEE PUBLIC WORK ORDER DRAWINGS.

LEGEND

- 4" WIDE PAINTED (BLUE) PARKING STRIPES, 3" ON CENTER.
- PAINT CURB RED & STENCIL WHITE TEXT "FIRE LANE NO. PARKING", 4" HIGH LETTERS, 1/2" STROKE.

TRAFFIC CONTROL SHEET KEY



BROADSTONE PROMENADE
6400 SAN PEDRO DRIVE NE
Albuquerque, New Mexico



WorldHQ@ORBArch.com



Contractor must verify all dimensions at project before proceeding with this work. Do not reproduce these drawings and specifications without the expressed written permission of the Architect. The drawings and specifications are instruments of service and shall remain the property of the Architect whether the project for which they are made is executed or not. These drawings and specifications shall not be used by anyone on any other projects, for additions to this project, or for completion of this project by others except by the expressed written permission of the Architect.

REVISIONS

NO.	DATE	DESCRIPTION

DATE: JUNE, 2014 ORB # 13-220

CP1.4

JUN 19 2014
TITAN DEVELOPMENT
EAST TRAFFIC CONTROL LAYOUT