

CITY OF ALBUQUERQUE



May 31, 2016

Asa Nilsson-Weber
Isaacson & Arfman, P.A.
128 Monroe St. NE
Albuquerque, NM 87108

**Re: Broadstone Promenade, Bldgs. 15, 17, 18, Phases 18, 20, 21
6400 San Pedro NE
Request for Certificate of Occupancy- Transportation Development
Engineer's/Architect's Stamp dated 6-19-14 (D18-D054A)
Certification dated 5-26-16**

Dear Wooten,

Based upon the information provided in your submittal received 5-27-16, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact Gary Sandoval at (505) 924-3675 or me at (505)924-3991.

Sincerely,

Racquel M. Michel, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

\gs via: email
C: CO Clerk, File



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: Broadstone Promenade, Tract 1, Santa Monica Place Building Permit #: _____ City Drainage #: D18-D054A
DRB#: _____ EPC#: _____ Work Order#: 689984
Legal Description: Tract 1, Santa Monica Place
City Address: _____

Engineering Firm: Isaacson & Arfman, P.A. Contact: Asa Nilsson-Weber
Address: 128 Monroe Street NE - Albuquerque, NM 87108
Phone#: (505) 268-8828 Fax#: _____ E-mail: asaw@iacivil.com

Owner: DRI TSM, LLC - c/o Titan Development Company Contact: Kurt Browning
Address: 6300 Riverside Plaza Lane NW, Suite 200 - Albuquerque, NM 87120
Phone#: (505) 998-0163 Fax#: _____ E-mail: _____

Architect: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Other Contact: Surv-Tek, Inc. Contact: Russ P. Hugg
Address: 9384 Valley View Drive - Albuquerque, NM 87114
Phone#: (505) 897-3366 Fax#: _____ E-mail: _____

Check all that Apply:

DEPARTMENT:

- ☐ HYDROLOGY/ DRAINAGE
☒ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

☒ **ENGINEER** ARCHITECT CERTIFICATION **PHASES 18, 20 & 21
BLDGS 15, 17 & 18**

- ☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR

- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)

☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

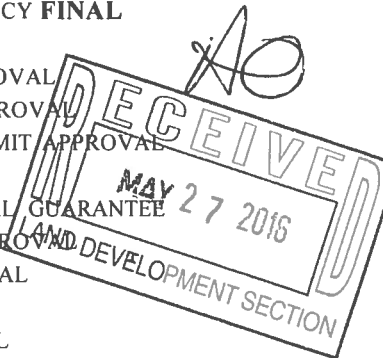
DATE SUBMITTED: May 27, 2016 By: Asa Nilsson-Weber

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

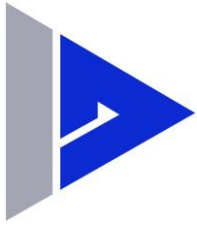
- ☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY **FINAL**

- ☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR

- ☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____



COA STAFF: ELECTRONIC SUBMITTAL RECEIVED: _____



Date: May 26, 2016

Project: Broadstone Promenade
7400 San Pedro Blvd, NE

Subject: Rolling TCL Certification; Phases 18, 20 & 21; Building Nos: 15, 17 & 18

TRAFFIC CERTIFICATION—FINAL

I, Åsa Nilsson-Weber, PE, NMPE No. 17631, of the firm Isaacson & Arfman, PA, hereby certify that the portion of the site as identified on the attached TCL plan is in substantial compliance with and in accordance with the design intent of the TCL Plan dated June 19, 2014. The record information edited onto the original design document has been obtained by Russ Hugg of the firm of Surv-Tek, Inc. I further certify that I or someone under my direct supervision have personally visited the project on May 17 and May 26, 2016 and have determined by visual observations that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief.

Areas of modifications:

Concrete humps were added in two driveways east of Buildings 14 & 15 to prevent water from entering building because the driving aisle paving was installed too high.

This certification is submitted in support of a request for a Permanent Certificate of Occupancy.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Åsa Nilsson-Weber, PE No. 17631

PLAT MAP

SECTION

NTS

D-18-Z

200' 0"

100' 0"

50' 0"

25' 0"

12' 6"

6' 3"

3' 1 1/2"

1 1/2"

3/4"

1/4"

1/8"

1/16"

1/32"

1/64"

1/128"

1/256"

1/512"

1/1024"

1/2048"

1/4096"

1/8192"

1/16384"

1/32768"

1/65536"

1/131072"

1/262144"

1/524288"

1/1048576"

1/2097152"

1/4194304"

1/8388608"

1/16777216"

1/33554432"

1/67108864"

1/134217728"

1/268435456"

1/536870912"

1/1073741824"

1/2147483648"

1/4294967296"

1/8589934592"

1/17179869184"

1/34359738368"

1/68719476736"

1/137438953472"

1/274877906944"

1/549755813888"

1/1099511627776"

1/2199023255552"

1/4398046511104"

1/8796093022208"

1/17592186044416"

1/35184372088832"

1/70368744177664"

1/140737488355328"

1/281474976710656"

1/562949953421312"

1/1125899906842624"

1/2251799813685248"

1/4503599627370496"

1/9007199254740992"

1/18014398509481984"

1/36028797018963968"

1/72057594037927936"

1/144115188075855872"

1/288230376151711744"

1/576460752303423488"

1/1152921504606846976"

1/2305843009213693952"

1/4611686018427387904"

1/9223372036854775808"

1/18446744073709551616"

1/36893488147419103232"

1/73786976294838206464"

1/147573952589676412928"

1/295147905179352825856"

1/590295810358705651712"

1/1180591620717411303424"

1/2361183241434822606848"

1/4722366482869645213696"

1/9444732965739290427392"

1/18889465931478580854784"

1/37778931862957161709568"

1/75557863725914323419136"

1/151115727451828646838272"

1/302231454903657293676544"

1/604462909807314587353088"

1/1208925819614629174706176"

1/2417851639229258349412352"

1/4835703278458516698824704"

1/9671406556917033397649408"

1/19342813113834066795298816"

1/38685626227668133590597632"

1/77371252455336267181195264"

1/154742504910672534362390528"

1/309485009821345068724781056"

1/618970019642690137449562112"

1/1237940039285380274899124224"

1/2475880078570760549798248448"

1/4951760157141521099596496896"

1/9903520314283042199192993792"

1/19807040628566084398385987584"

1/39614081257132168796771975168"

1/79228162514264337593543950336"

1/158456325028528675187087900672"

1/316912650057057350374175801344"

1/633825300114114700748351602688"

1/1267650600228229401496703205376"

1/2535301200456458802993406410752"

1/5070602400912917605986812821504"

1/10141204801825835211973625643008"

1/20282409603651670423947251286016"

1/40564819207303340847894502572032"

1/81129638414606681695789005144064"

1/162259276829213363391778010288128"

1/324518553658426726783556020576256"

1/649037107316853453567112041152512"

1/1298074214633706907134224082305024"

1/2596148429267413814268448164610048"

1/5192296858534827628536896329220096"

1/10384593717069655257073792658440192"

1/20769187434139310514147585316880384"

1/41538374868278621028295170633760768"

1/83076749736557242056590341267521536"

1/166153499473114484113180682535042688"

1/332306998946228968226361365070085376"

1/664613997892457936452722730140170752"

1/1329227995784915872905445460280341504"

1/2658455991569831745810890920560683008"


1/531691198313966349162178184112136

- A. BASIS OF BEARINGS: PLAT OF LOTS 1-4, SANTA MONICA PLACE; (BK. 2012C, PG. 0002; REC: 01-06-2012).
- B. COORDINATE PAIRS ARE NEW MEXICO STATE PLANE COORDINATES, CENTRAL ZONE.
- C. SEE ARCHITECTURAL DETAIL SHEET, A120 FOR SITE STRIPING AND ACCESSIBILITY DETAILS.
- D. ALL STANDARD PARKING SPACES ARE 9'-0" WIDE BY 16'-0" DEEP UNLESS OTHERWISE NOTED.
- E. ALL ACCESSIBLE PARKING STALLS ARE 11'-0" WIDE BY 18'-0" DEEP.
- F. ALL DIMENSIONING IS TO FACE OF CURB/EDGE OF TURNDOWN SIDEWALKS/ENTRANCE OF PARKING STALLS.
- G. REMOVE ALL UNUSED CURB CUTS WITHIN THE PUBLIC ROW AND REPLACE WITH COA STD CURB & GUTTER AND PCC SIDEWALKS AS SHOWN ON THE PUBLIC WORK ORDER DRAWINGS.
- H. ALL IMPROVEMENTS SHOWN IN THE PUBLIC ROW TO BE CONSTRUCTED PER PUBLIC WORK ORDER DRAWINGS.
- I. ALL ONSITE SIDEWALKS ARE 4' IN WIDTH UNLESS OTHERWISE NOTED/DIMENSIONED.

1. PAVED AREAS, SEE PAVING PLAN FOR LIMITS AND TYPE OF PAVING.
2. ADA RAMP, SEE DETAIL ON ARCHITECTURAL PLANS.
3. ACCESSIBLE PARKING SIGN, SEE DETAIL ON ARCHITECTURAL PLANS.
4. ACCESSIBLE PARKING STALL, SEE DETAILS ON ARCHITECTURAL PLANS.
5. SINGLE TRASH ENCLOSURE.
6. DOUBLE TRASH ENCLOSURE.
7. ADA ACCESSIBLE RAMP WITH TRUNCATED DOME MATS, SEE PUBLIC WORK ORDER DRAWINGS.

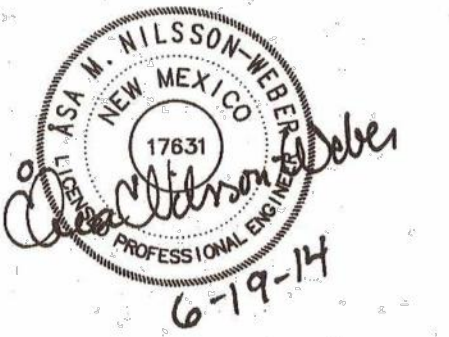
 4" WIDE PAINTED (BLUE) PARKING STRIPES,
3' ON CENTER.

 PAINT CURB RED & STENCIL WHITE TEXT
"FIRE LANE NO PARKING", 4" HIGH LETTERS,
1/2" STROKE.



Office of Rich Barber
ORB
Architecture, LLC

WorldHQ@ORBArch.com



TITAN
DEVELOPMENT



ALLIANCE
RESIDENTIAL COMPANY

 **ISAACSON &
ARFMAN, P.A.**
Consulting Engineering Associates
Ph. 505-268-8828 www.iacivil.com
2025 CP 1.2 THRU 1.4.dwg Jun 19, 2014

Contractor must verify all dimensions at project before proceeding with this work.

Do not reproduce these drawings and specifications without the expressed written permission of the Architect. The drawings and specifications are instruments of service and shall remain the property of the Architect whether the project for which they are made is executed or not. These drawings and specifications shall not be used by anyone on any other projects. In addition to the completion of this project by others except by the expressed written permission of the Architect.

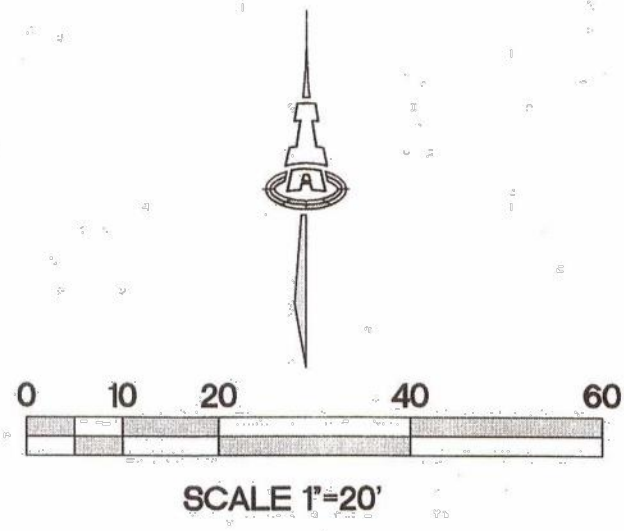
© ORB Architecture, LLC 2013

DATE: JUNE, 2014 ORB # 13-220

CP1.2

WEST TRAFFIC CONTROL LAYOUT

DERICKSON AVE NE



GENERAL NOTES

- A. BASIS OF BEARINGS: PLAT OF LOTS 1-4, SANTA MONICA PLACE; (BK. 2012C, PG. 0002; REC. 01-06-2012).
- B. COORDINATE PAIRS ARE NEW MEXICO STATE PLANE COORDINATES, CENTRAL ZONE.
- C. SEE ARCHITECTURAL DETAIL SHEET, A1.20 FOR SITE STRIPING AND ACCESSIBILITY DETAILS.
- D. ALL STANDARD PARKING SPACES ARE 9'-0" WIDE BY 16'-0" DEEP UNLESS OTHERWISE NOTED.
- E. ALL ACCESSIBLE PARKING STALLS ARE 11'-0" WIDE BY 18'-0" DEEP.
- F. ALL DIMENSIONING IS TO FACE OF CURB/EDGE OF TURNDOWN SIDEWALKS/ENTRANCE OF PARKING STALLS.
- G. REMOVE ALL UNUSED CURB CUTS WITHIN THE PUBLIC ROW AND REPLACE WITH COA STD CURB & GUTTER AND PCC SIDEWALKS AS SHOWN ON THE PUBLIC WORK ORDER DRAWINGS.
- H. ALL IMPROVEMENTS SHOWN IN THE PUBLIC ROW TO BE CONSTRUCTED PER PUBLIC WORK ORDER DRAWINGS.
- I. ALL ONSITE SIDEWALKS ARE 4' IN WIDTH UNLESS OTHERWISE NOTED/DIMENSIONED.

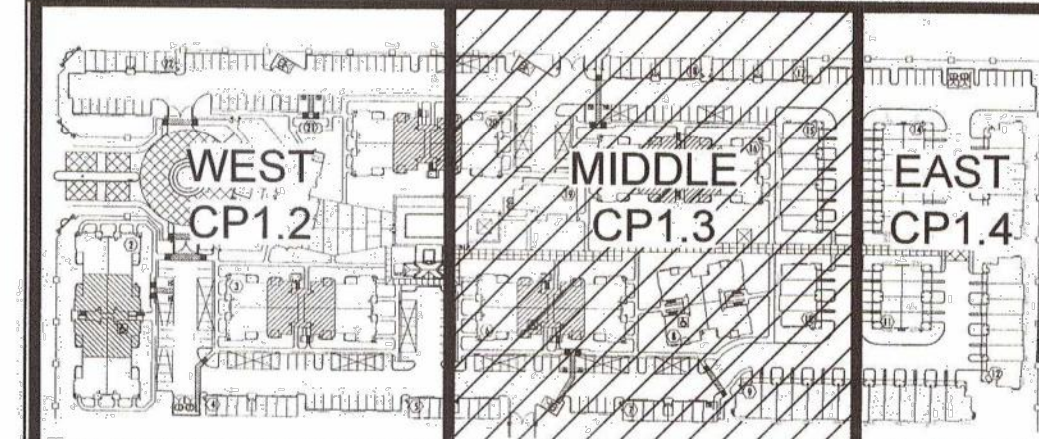
KEYED NOTES

- 1. PAVED AREAS, SEE PAVING PLAN FOR LIMITS AND TYPE OF PAVING.
- 2. ADA RAMP, SEE DETAIL ON ARCHITECTURAL PLANS.
- 3. ACCESSIBLE PARKING SIGN, SEE DETAIL ON ARCHITECTURAL PLANS.
- 4. ACCESSIBLE PARKING STALL, SEE DETAILS ON ARCHITECTURAL PLANS.
- 5. SINGLE TRASH ENCLOSURE.
- 6. DOUBLE TRASH ENCLOSURE.
- 7. ADA ACCESSIBLE RAMP WITH TRUNCATED DOME MATS, SEE PUBLIC WORK ORDER DRAWINGS.

LEGEND

- 4" WIDE PAINTED (BLUE) PARKING STRIPES, 3' ON CENTER.
- PAINT CURB RED & STENCIL WHITE TEXT "FIRE LANE NO PARKING", 4" HIGH LETTERS, 1/2" STROKE.

TRAFFIC CONTROL SHEET KEY



BROADSTONE PROMENADE
6400 SAN PEDRO DRIVE NE
Albuquerque, New Mexico

Office of Rich Barber
ORB
Architecture, LLC
WorldHQ@ORBArch.com



TITAN
DEVELOPMENT
ALLIANCE
RESIDENTIAL COMPANY

ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
Ph. 505-268-8828 www.isacil.com
2025 CP 1.2 THRU 1.4.dwg Jun 19, 2014

Contractor must verify all dimensions at project before proceeding with this work.
Do not reproduce these drawings and specifications without the expressed written permission of the Architect. The drawings and specifications are made in service and shall remain the property of the Architect whether the project for which they are made is executed or not. These drawings and specifications shall not be used by anyone on any other project, for additions to this project, or for completion of this project by others except by the expressed written permission of the Architect.
© ORB Architecture, LLC 2013

REVISIONS

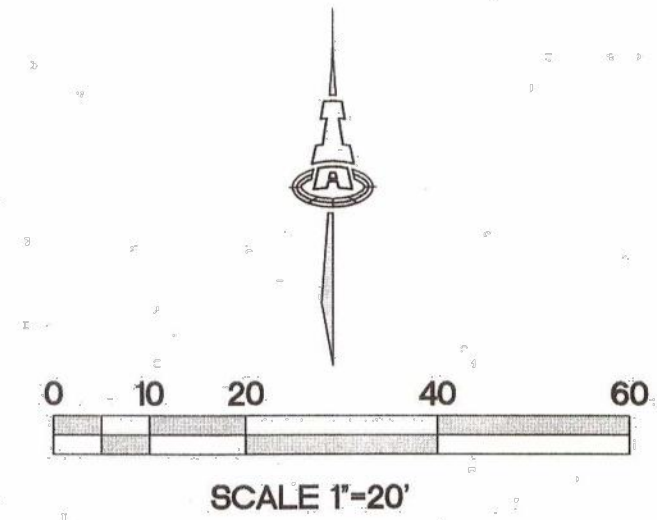
| | |
|---|--|
| 1 | |
| 2 | |
| 3 | |
| 4 | |
| 5 | |
| 6 | |

DATE: JUNE, 2014 ORB # 13-220

CP1.3
JUN 19 2014
MIDDLE TRAFFIC CONTROL LAYOUT


SEE CP1.2 FOR WEST SECTION

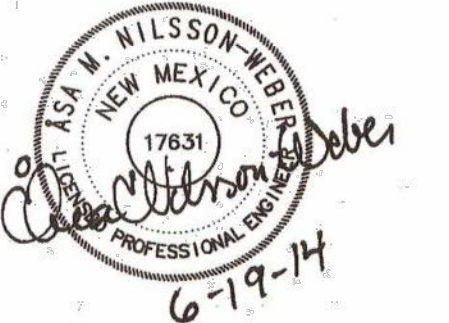
SEE CP1.4 FOR EAST SECTION



BROADSTONE PROMENADE

6400 SAN PEDRO DRIVE NE
Albuquerque, New Mexico

- 
- Office of Rich Barber
ORB
Architecture, LLC
- WorldHQ@ORBArch.com



TITAN
DEVELOPMENT

ALLIANCE
RESIDENTIAL COMPANY



DATE: JUNE, 2014 ORB # 13-220

CP 1.4

EAST TRAFFIC CONTROL LAYOUT