

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services**

August 20, 2015

Asa Nilson-Weber, P.E.
Isaacson & Arfman
128 Monroe St NE
Albuquerque, NM 87108

**Re: Broadstone Promenade Phase 1 Office Building
Certificate of Occupancy – Transportation Development**
Engineer's/Architect's Stamp dated 06-19-14 (D18-D054A)
Certification dated 08-17-15

Dear Mrs. Nilsson-Weber

Based upon the information provided in your submittal received 08-17-15, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact Gary Sandoval at (505) 924-3675 or me at (505)924-3991.

Sincerely,

Racquel M. Michel, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

\gs via: email
C: CO Clerk, File



Isaacson & Arfman, P.A. Consulting Engineering Associates

*Thomas O. Isaacson, PE (Ret.) & LS (Ret.) * Fred C. Arfman, PE * Åsa Nilsson-Weber, PE*

Project: Broadstone Promenade
San Pedro Blvd, NE

Subject: Rolling TCL Certification; Building No(s): 1

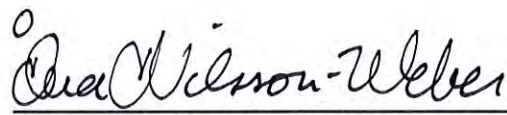
TRAFFIC CERTIFICATION

I, Åsa Nilsson-Weber, PE, NMPE No. 17631, of the firm Isaacson & Arfman, PA, hereby certify that the portion of the site as identified and dated on the attached TCL plan is in substantial compliance with and in accordance with the design intent of the TCL Plan dated June 19, 2014. The record information edited onto the original design document has been obtained by Russ Hugg of the firm of Surv-Tek, Inc. I further certify that I or someone under my direct supervision has personally visited the project on August 7, 2015 and August 17, 2015, and have determined by visual observations that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for a Permanent Certificate of Occupancy.

Areas of modification:

1. Radii at entrance not constructed per plan. The radii shall be constructed prior to certification of any future buildings, except Building 19.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.



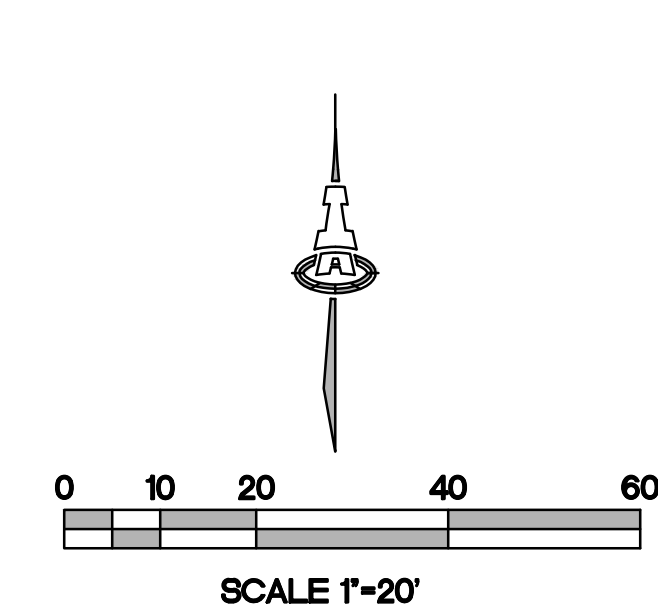
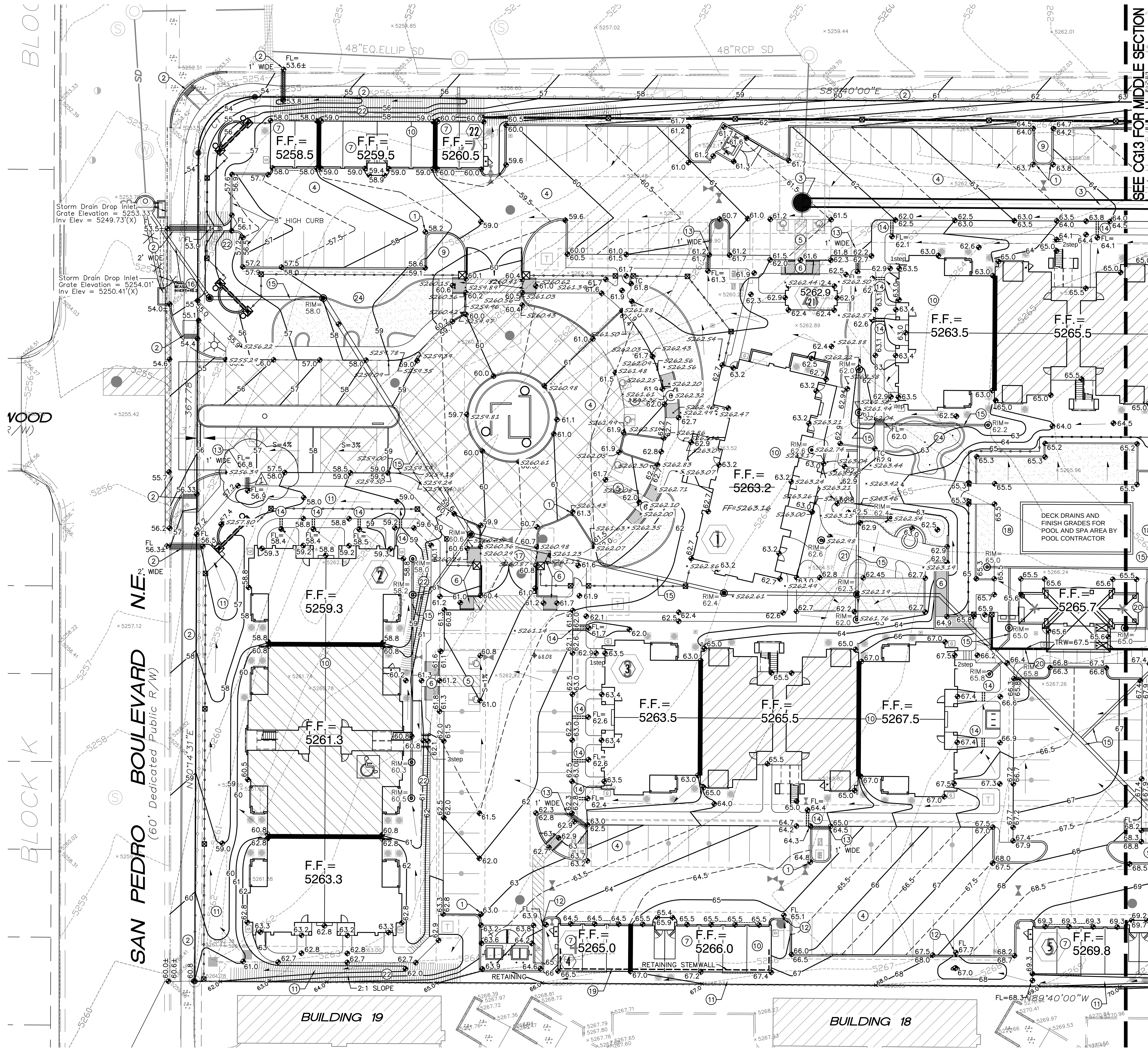
Åsa Nilsson-Weber, PE No. 17631

8-17-15

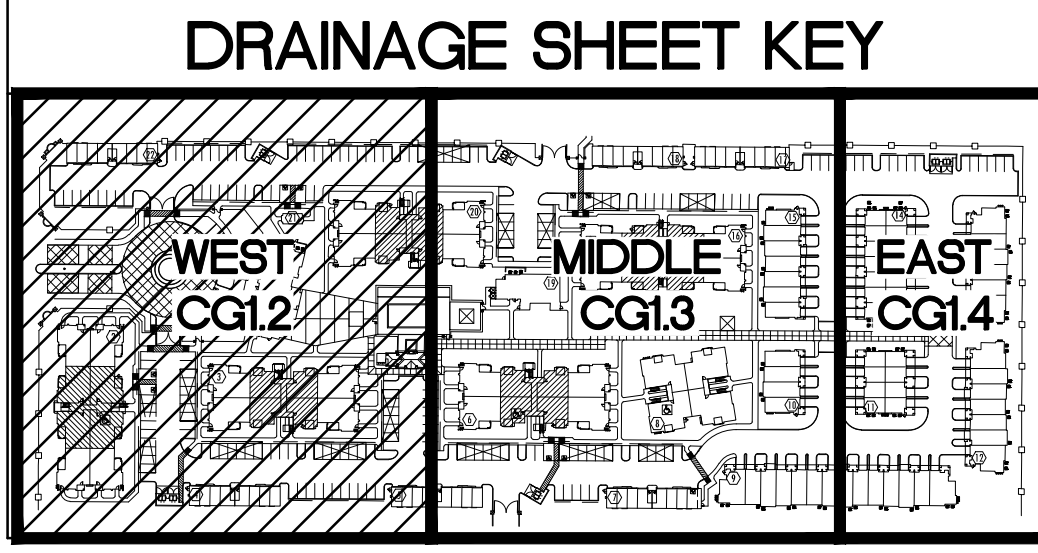
Date



\\projects\2000-2099\2025\DWG\CERTIFICATIONS\2025 CG 1.2 THRU 1.4-CERT.dwg, 8/17/2015 3:32:19 PM, tlv



- ### KEYED NOTES
- THESE NOTES ARE REFERENCED ON SHEETS CG1.2, CG1.3 AND CG1.4. NOT ALL NOTES ARE USED ON EACH SHEET.
- SPOT ELEVATION LABELS WITHIN GUTTER AREA REPRESENT FLOWLINE UNLESS NOTED. ADD 0.5' TYPICAL FOR TOP OF CURB / TOP OF ADJACENT WALK ELEVATIONS.
 - SEE PUBLIC WORK ORDER DRAWINGS FOR CONSTRUCTION WITHIN R.O.W. INCLUDING NEW ACCESS DRIVES WITH CONCRETE VALLEY GUTTER, HANDICAP RAMPS, PUBLIC SIDEWALKS, COVERED SIDEWALK CULVERTS, CURB OPENINGS ETC. GRADES SHOWN FOR INFORMATION ONLY.
 - SEE PUBLIC WORK ORDER DRAWINGS FOR CONSTRUCTION OF PUBLIC STORM SEWER SYSTEM WITHIN PUBLIC DRAINAGE EASEMENT THIS AREA.
 - CONSTRUCT PAVING, CURBS, WALKS AT ELEVATIONS SHOWN. SEE PAVING DETAILS AND ARCHITECTURAL SITE DETAILS FOR ADDITIONAL INFORMATION. NOTE THAT PAVEMENT SLOPES AND CROSS-SLOPES VARY THROUGHOUT TO ACHIEVE GRADES NECESSARY TO ACHIEVE PEDESTRIAN ACCESS, STREET STORMWATER CAPACITIES, PIPE COVERAGE, ETC.
 - SLOPES WITHIN HANDICAP PARKING AREAS TO MEET ADA REQUIREMENTS. MAX. SLOPE = 2% IN ANY DIRECTION.
 - CONSTRUCT HANDICAP ACCESS RAMP TO ADA STANDARDS. SEE ARCHITECTURAL FOR DETAILS.
 - F.F. ELEVATION WITHIN THIS UNIT REFERENCES TOP OF CONCRETE STEP AT BACK OF GARAGE. GRADE AT GARAGE DOOR TO BE 6" BELOW F.F. TO ACCOMMODATE 4" STEP AND PAD SLOPE.
 - REGRADE THIS AREA AS SHOWN TO ACCOMMODATE TEMPORARY STORM DRAIN STANDPIPE FOR TRACT 3 AND 4 UNDEVELOPED FLOW. SEE PUBLIC WORK ORDER DRAWINGS FOR ADDITIONAL INFORMATION.
 - DEPRESS LANDSCAPING TO 6" (TYPICAL) TO COLLECT LOCALIZED STORMWATER. FLOW IN EXCESS OF AREA CAPACITY WILL OVERFLOW AT LOW POINT. NOTE: DO NOT DEPRESS LANDSCAPING WITHIN 10' OF ANY STRUCTURE.
 - BUILDING ROOF DISCHARGE TO BE RELEASED TO ALL SIDES. PROVIDE CONCRETE SPLASH BLOCK AT DOWNSPOUT LOCATIONS (TYPICAL).
 - PROVIDE DEFINED SWALE WITHIN LANDSCAPING THIS AREA.
 - PROVIDE 1' WIDE OPENING IN CURB TO PASS FLOW.
 - CONSTRUCT ON-SITE COVERED SIDEWALK CULVERT (WIDTH PER PLAN) PER C.O.A. STD. DWG. 2236.
 - INSTALL TWO 4" DIA. PVC PIPE DRAINS @ 2% SLOPE THROUGH SIDEWALK PER C.O.A. STD. DWG. 2235. GRADE WITHIN LANDSCAPE TO DIRECT FLOW TO OPENING.
 - CONSTRUCT PRIVATE STORM DRAIN SYSTEM. SEE SHEET CG5.1 FOR SIZES / SLOPES / INLET INFORMATION / MATERIALS.
 - CONNECTION TO PUBLIC STORM SEWER INLET TO BE CONSTRUCTED PER C.O.A. STD. DWG. 2237. SEE CG5.1 FOR ADDITIONAL INFORMATION.
 - NOTE: STORM DRAIN CROSSES PUBLIC UTILITY MAINS THIS AREA.
 - POOL AREA GRADES SHOWN FOR GENERAL INFORMATION ONLY. POOL CONTRACTOR TO PROVIDE FINAL DESIGN GRADES / DECK DRAINS ETC.
 - CONSTRUCT RETAINING STEMWALL THIS BUILDING TO ACHIEVE GRADES SHOWN. SEE ARCHITECTURAL.
 - CONSTRUCT RETAINING WALL TO ACHIEVE GRADE DIFFERENCE THIS AREA. STRUCTURAL / WEEP HOLE DESIGN BY OTHERS.
 - 0.1' CONTOURS WITHIN OPEN COURTYARD THIS AREA PROVIDED TO CLARIFY DRAINAGE CONCEPT. COORDINATE WITH LANDSCAPE ARCHITECT.
 - EROSION CONTROL (MIN. 6" AVG. DIA. ANGULAR FACED ROCK) TO BE INSTALLED ON ALL SIDE SLOPES > 3:1 AND AS SHOWN HATCHED.
 - CONSTRUCT DEPRESSED LANDSCAPING TO ELEVATIONS SHOWN TO COLLECT SUB-BASIN FLOW. FLOW IN EXCESS OF CAPACITY TO OVERFLOW AT ELEVATION OF 76.5 AS SHOWN. NO DETENTION SHALL OCCUR WITHIN 10' OF ANY STRUCTURE.
 - COORDINATE LANDSCAPING FEATURES I.E. MOW CURBS AND PUTTING GREEN WITH LANDSCAPE ARCHITECT WHILE MAINTAINING CLEAR DRAINAGE PATHS SHOWN.



BROADSTONE PROMENADE

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Professional Engineer
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17631
5-25-15

TITAN DEVELOPMENT

ALLIANCE RESIDENTIAL COMPANY

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Ph. 505-268-8828 www.isaacson.com
2025 CG 1.2 THRU 1.4-CERT.dwg 11/2015

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REVISIONS

△	6/20/14	DESIGN TEAM COORDINATION
△	6/20/14	1ST CITY REVIEW
△	7/9/14	2ND CITY REVIEW
△	7/28/14	DESIGN TEAM COORDINATION

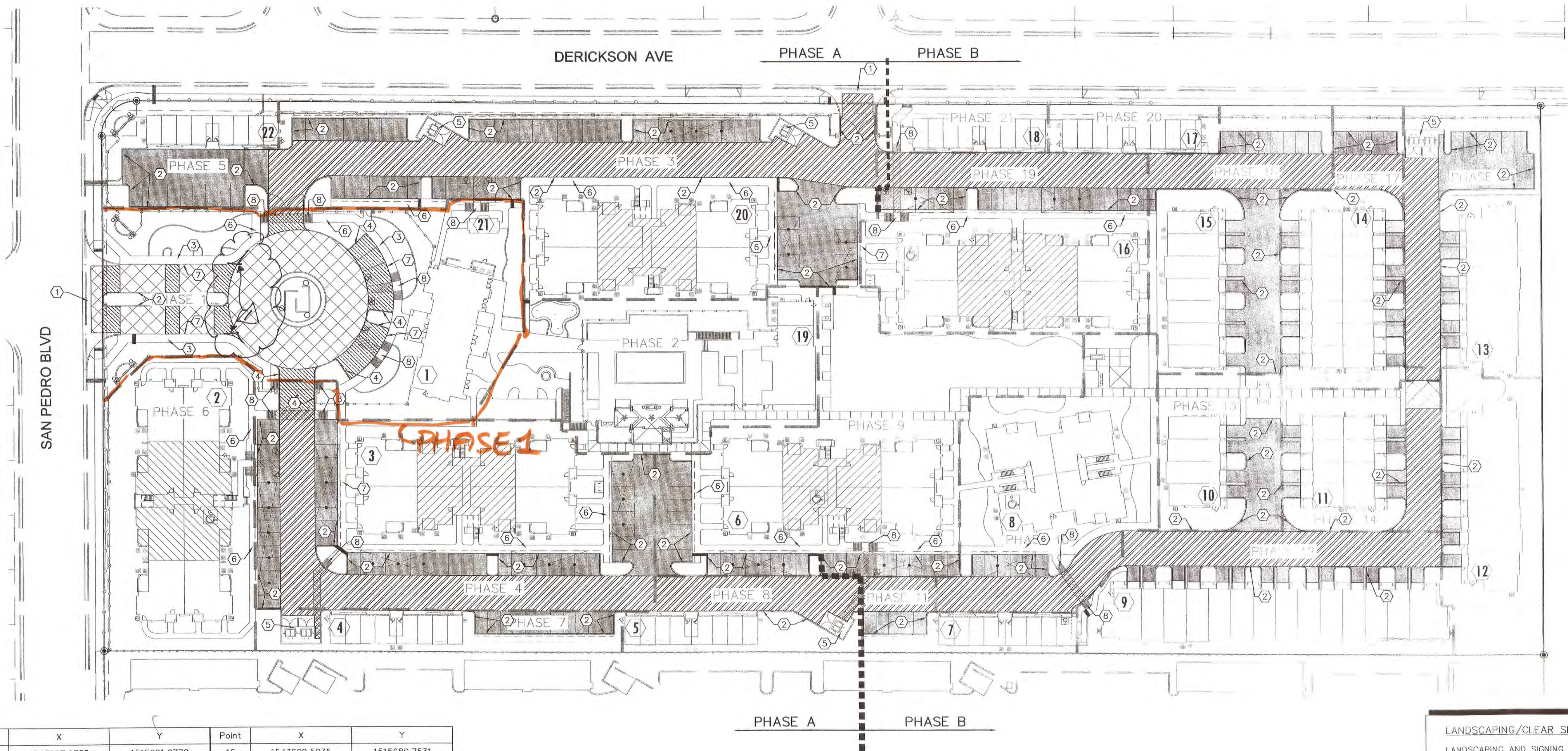
CONSTRUCTION SET

DATE: JULY 28, 2014 ORB # 13-220

CG1.2

WEST
GRADING AND DRAINAGE PLAN

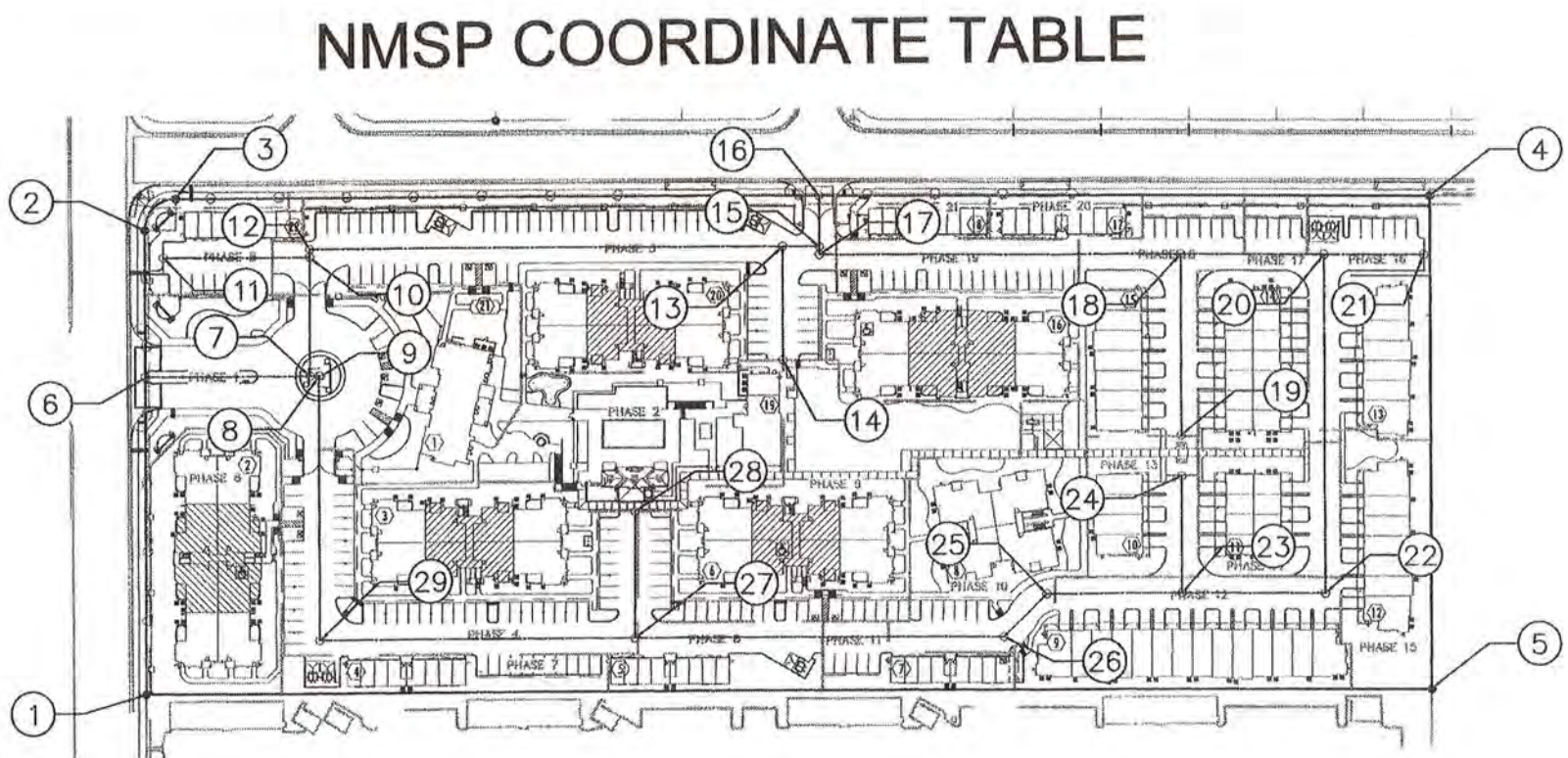
FILE: \\PROJECTS\2000-2099\2025\DWG\BUILDING PERMIT\2025 CP 1.1.dwg USER: Asa DATE: Jun, 19 2014 TIME: 11:56 am



Point	X	Y	Point	X	Y
1	1543067.9333	1515291.0778	16	1543609.5935	1515680.7531
2	1543069.4858	1515658.8550	17	1543609.3200	1515633.7538
3	1543094.6310	1515683.7491	18	1543897.8801	1515632.0750
4	1544097.5754	1515677.9141	19	1543897.2700	1515487.5503
5	1544095.9172	1515285.0971	20	1544012.3783	1515631.4089
6	1543068.9932	1515542.1587	21	1544092.3180	1515630.9438
7	1543200.6586	1515541.6030	22	1544011.2373	1515361.0911
8	1543207.6586	1515541.5734	23	1543896.6392	1515361.7578
9	1543208.8252	1515541.5685	24	1543897.1819	1515455.0504
10	1543201.0576	1515636.1291	25	1543788.9432	1515362.3843
11	1543084.4120	1515636.8077	26	1543754.7137	1515329.0829
12	1543201.0851	1515642.6291	27	1543459.7070	1515330.7992
13	1543580.1306	1515640.4238	28	1543460.2858	1515430.2975
14	1543579.6041	1515549.9254	29	1543206.7751	1515332.2707
15	1543609.3578	1515640.2538			

COORDINATE/CONTROL POINTS:

POINTS ARE SITUATED AT THE ACCESS ISLE CENTERLINE INTERSECTION, CENTERLINE INTERSECTION OR THE ENTRIES WITH THE PROJECT BOUNDARY AND AT THE DEAD-END ACCESS ISLE CENTERLINE INTERSECTION WITH THE FACE OF CURB AT THE ISLE TERMINUS



NMSP COORDINATE PAIR/BEARING-DISTANCE EXHIBIT
SCALE: 1"=150'

KEYED NOTES

- ENTRANCE VALLEY GUTTER & PAVING BY PUBLIC WORK ORDER.
- PCC PINNED CURB, SEE DETAIL SHEET CP5.1.
- 6' COLORED PCC SIDEWALK, COLOR PER ARCHITECTURAL PLANS.
- HEADER CURB (COLORED), SEE DETAIL SHEET CP5.1.
- REFUSE ENCLOSURE W/ SET PAVING PER ARCHITECTURAL.
- 6' CONCRETE SIDEWALK, SEE DETAIL SHEET CP5.1.
- 6' CONCRETE SIDEWALK W/ TURN-DOWN EDGE, PER ARCHITECTURAL.
- ADA RAMP, SEE ARCHITECTURAL PLANS.

PHASING NOTES

PHASE A PAVING, SIDEWALKS, RAMPS, DUMPSTERS SHALL BE CONSTRUCTED PRIOR TO CERTIFICATION FOR THE FOLLOWING BUILDINGS (PHASES):
BUILDING NOS. 1-5, 19-22 (PHASES 1-8)
PHASE B PAVING, SIDEWALKS, RAMPS, DUMPSTERS SHALL BE CONSTRUCTED PRIOR TO CERTIFICATION FOR THE FOLLOWING BUILDINGS (PHASES):
BUILDING NOS. 6-18 (PHASES 9-21)

LEGEND

- CONCRETE PAVERS, SEE CONCRETE PAVERS SECTION SHEET CP5.1.
- LIGHT DUTY ASPHALT, SEE PAVEMENT SECTION SHEET CP5.1.
- HEAVY DUTY ASPHALT, SEE PAVEMENT SECTION SHEET CP5.1.
- CONCRETE PAVING, SEE PCC PAVEMENT SECTION SHEET CP5.1.
- BUILDING PHASE LINE
- PHASE 2
- PAVING CONSTRUCTION PHASE LINE
- PHASE A

GENERAL NOTES

- CONTRACTOR SHALL COORDINATE WITH OWNER FOR ALLOWABLE STAGING AREAS DURING CONSTRUCTION.
- FOR DRAINAGE DETAILS, SEE CIVIL DRAWINGS AND SPECIFICATIONS.
- FOR IRRIGATION DETAILS, SEE IRRIGATION DRAWINGS AND SPECIFICATIONS.
- FOR ADDITIONAL INFORMATION ON SITE FEATURES SEE ARCHITECTURAL SITE PLAN.

PARKING SPACE TABLE

	STANDARD	ACCESSIBLE
TOTAL PARKING SPACES REQUIRED:	331	
TOTAL PARKING SPACES PROVIDED:	357	
TOTAL BICYCLE SPACES REQUIRED:	90	
TOTAL BICYCLE SPACES PROVIDED:	120	

LANDSCAPING/CLEAR SIGHT NOTE:

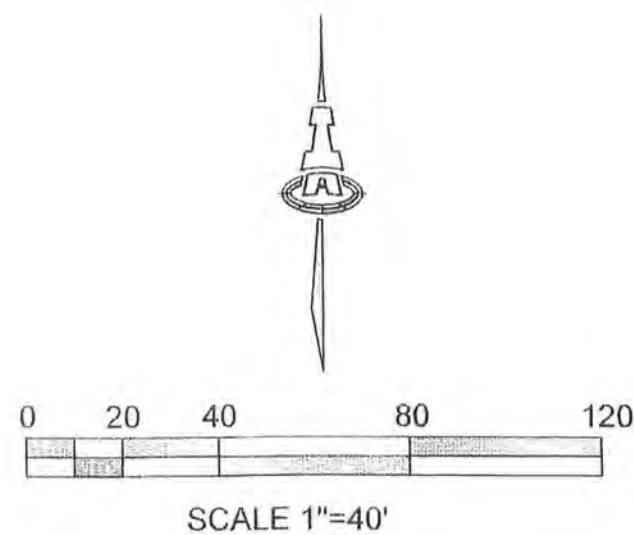
LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.

TRAFFIC CIRCULATION LAYOUT APPROVED

CS 20 Jun 14
Signed Date

ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.

Public Infrastructure shown on these plans for information only and not part of approval. Separate DRC/Permit approval and Work Order required.



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ASA M. NILSSON-WEISS
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Professional Engineer
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2025 CP 1.1.dwg Jun 19, 2014

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DATE: JUN 19, 2014 ORB # 13-226

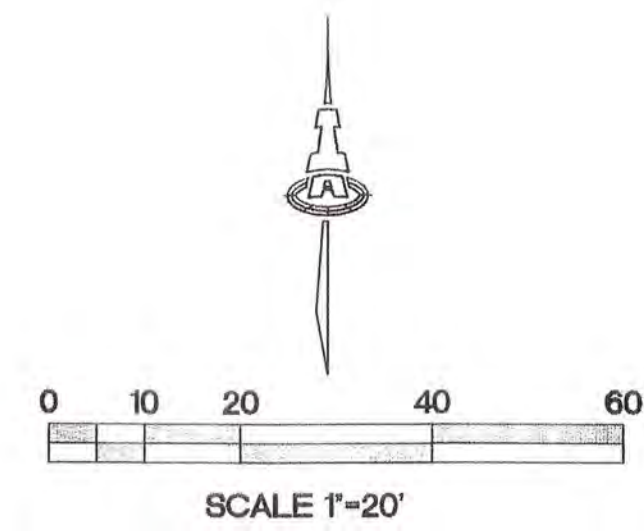
CP1.1

RECEIVED
JUN 19 2014
LAND DEVELOPMENT SECTION

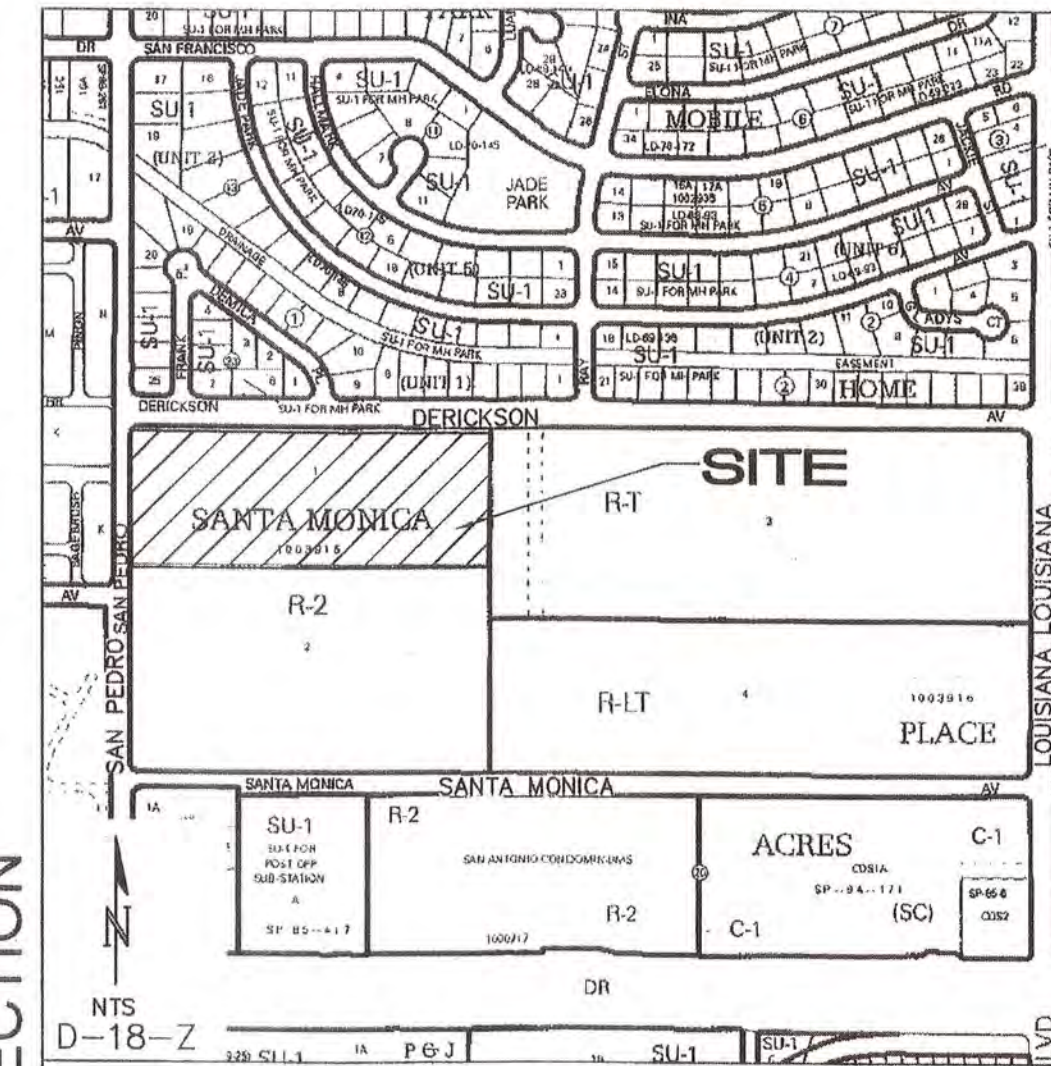
SITE PAVING PLAN

SAN PEDRO DR NE

DERICKSON AVE NE



VICINITY MAP



BROADSTONE PROMENADE
6400 SAN PEDRO DRIVE NE
Albuquerque, New Mexico

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2025 CP 1.2 THRU 1.4.dwg Jun 19, 2014

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SEE CP1.3 FOR MIDDLE SECTION

GENERAL NOTES

- BASIS OF BEARINGS: PLAT OF LOTS 1-4, SANTA MONICA PLACE; (BK. 2012C, PG. 0002; REC: 01-06-2012).
- COORDINATE PAIRS ARE NEW MEXICO STATE PLANE COORDINATES, CENTRAL ZONE.
- SEE ARCHITECTURAL DETAIL SHEET, A1.20 FOR SITE STRIPING AND ACCESSIBILITY DETAILS.
- ALL STANDARD PARKING SPACES ARE 9'-0" WIDE BY 16'-0" DEEP UNLESS OTHERWISE NOTED.
- ALL ACCESSIBLE PARKING STALLS ARE 11'-0" WIDE BY 18'-0" DEEP.
- ALL DIMENSIONING IS TO FACE OF CURB/EDGE OF TURNDOWN SIDEWALKS/ENTRANCE OF PARKING STALLS.
- REMOVE ALL UNUSED CURB CUTS WITHIN THE PUBLIC ROW AND REPLACE WITH COA STD CURB & GUTTER AND PCC SIDEWALKS AS SHOW ON THE PUBLIC WORK ORDER DRAWINGS.
- ALL IMPROVEMENTS SHOWN IN THE PUBLIC ROW TO BE CONSTRUCTED PER PUBLIC WORK ORDER DRAWINGS.
- ALL ONSITE SIDEWALKS ARE 4' IN WIDTH UNLESS OTHERWISE NOTED/DIMENSIONED.

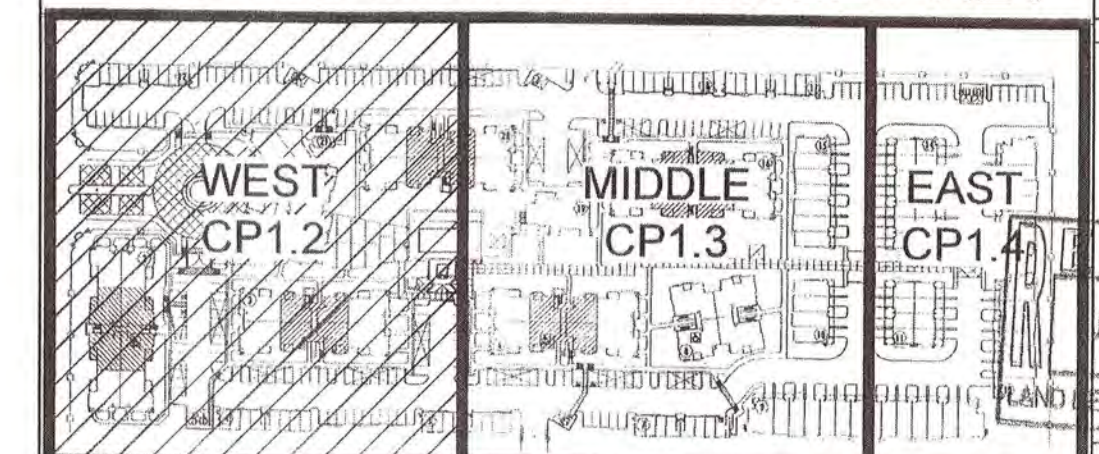
KEYED NOTES

- PAVED AREAS, SEE PAVING PLAN FOR LIMITS AND TYPE OF PAVING.
- ADA RAMP, SEE DETAIL ON ARCHITECTURAL PLANS.
- ACCESSIBLE PARKING SIGN, SEE DETAIL ON ARCHITECTURAL PLANS.
- ACCESSIBLE PARKING STALL, SEE DETAILS ON ARCHITECTURAL PLANS.
- SINGLE TRASH ENCLOSURE.
- DOUBLE TRASH ENCLOSURE.
- ADA ACCESSIBLE RAMP WITH TRUNCATED DOME MATS, SEE PUBLIC WORK ORDER DRAWINGS.

LEGEND

- //// 4" WIDE PAINTED (BLUE) PARKING STRIPES, 3' ON CENTER.
- PAINT CURB RED & STENCIL WHITE TEXT "FIRE LANE NO PARKING", 4" HIGH LETTERS, 1/2" STROKE.

TRAFFIC CONTROL SHEET KEY



REVISIONS	
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DATE: JUNE 2014 ORB # 13-220

CP1.2

JUN 19 2014
WEST TRAFFIC CONTROL LAYOUT
LAND DEVELOPMENT SECTION