

CITY OF ALBUQUERQUE

PLANNING DEPARTMENT -- Development Review Services



June 1, 2015

Asa M. Nilson-Webber, P.E.
Isaacson & Arfman, P.A.
128 Monroe Street N.E.
Albuquerque, NM 87108

Richard J. Berry, Mayor

**RE: Broadstone Promenade, Tract 1, Santa Monica Place
Revised Grading & Drainage Plans
Engineer's Stamp Date 5-26-2015 (File: D18D054A)**

Dear Mrs. Weber:

Based upon the information provided in your submittal received 5-25-15, the above referenced plan is approved for Building Permit. It is understood that this revised plan shows the field change made where the storm drain ties into the Manhole in San Pedro rather than the back of the inlet. It also shows the double retaining wall along the east property edge to anticipate future development to the east.

PO Box 1293

This approved plan is the plan to use for the Engineer's Certification, which is required prior to Certificate of Occupancy release.

Albuquerque

If you have any questions, you can contact me at 924-3695.

New Mexico 87103

Sincerely,

Rita Harmon, P.E.
Senior Engineer, Planning Dept.
Development Review Services

www.cabq.gov

Orig: Drainage file
c.pdf Addressee via Email, Monica Ortiz



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Broadstone Promenade, Tract 1, Santa Monica Place Building Permit #: _____ City Drainage #: D18-D054A

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: Tract 1, Santa Monica Place

City Address: _____

Engineering Firm: Isaacson & Arfman, P.A. Contact: Åsa Nilsson-Weber

Address: 128 Monroe Street NE - Albuquerque, NM 87108

Phone#: (505) 268-8828 Fax#: _____ E-mail: asaw@iacivil.com

Owner: DRI TSM, LLC - c/o Titan Development Contact: Kurt Browning

Address: 6300 Riverside Plaza Lane NW, Suite 200 - Albuquerque, NM 87120

Phone#: (505) 998-0163 Fax#: _____ E-mail: _____

Architect: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Surveyor: Surv-Tek, Inc. Contact: Russ P. Hugg

Address: 9384 Valley View Drive - Albuquerque, NM 87114

Phone#: (505) 897-3366 Fax#: _____ E-mail: _____

Contractor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☒ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☒ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☒ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes _____ No _____ Copy Provided

DATE SUBMITTED: May 26, 2015 By: Åsa Nilsson-Weber

Isaacson & Arfman, P.A.

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

Comment to Rita: Retaining wall revisions at east property line added

Asa Nilsson-Weber

From: Harmon Rita T. <rharmon@cabq.gov>
Sent: Thursday, March 19, 2015 12:24 PM
To: 'Asa Nilsson-Weber'; Ortiz, Monica
Cc: Jim Griffin
Subject: RE: Broadstone Retaining Walls

Importance: High

Monica,

Go ahead and approve the Building Permit for Broadstone Promenade (6400 San Pedro NE). They are changing the 3' retaining wall along the western edge to a double retaining wall. Although the approved plan does not reflect the change, Asa Nilsson-Weber is going to resubmit the grading plan before submitting the Engineer's Certificate Acceptance.

Rita Harmon, P.E.
Senior Engineer
Planning Department
Development & Review Services Division
600 2nd St. NW, Suite 201
Albuquerque, NM 87102
t 505-924-3695
f 505-924-3864

From: Asa Nilsson-Weber [mailto:asaw@iacivil.com]
Sent: Wednesday, March 18, 2015 5:26 PM
To: Harmon Rita T.
Subject: RE: Broadstone Retaining Walls

Rita,

The reason is that there will be a new subdivision on the tracts to the east. During a grading study for that subdivision, we realized that we needed to increase retaining height and add a double retaining wall to make the grades across the subdivision work. Since the perimeter wall is located on the property line, and the subdivision side is higher, the retaining wall needed to be installed now, prior to the subdivision construction.

The flow line of the swale is offset from the wall, and the amount of water in the swales is minimal (~.2 cfs in each swale) during the 100-yr storm. I determined that erosion control was not necessary in this area because the flow velocity in the swales are non-erosive.

Asa Nilsson-Weber, P.E.
Principal / Vice President

 **Isaacson & Arfman, P.A.**
Consulting Engineering Associates

128 Monroe St. N.E.
Albuquerque, NM 87108
Phone: (505)268-8828
Fax: (505)268-2632
asaw@iacivil.com

CONFIDENTIALITY STATEMENT and CONTENT NOTIFICATION: This message and any accompanying attachment(s) contain information which may be confidential or privileged and is intended only for the individual or entity named above. It is prohibited to disclose, copy, or distribute the contents of this message. If you received this message in error, please notify us immediately.

Recipient acknowledges that any attached electronic files may not contain all of the information on the approved construction documents and are not intended to be relied upon as a replacement for the approved construction document(s). This information is provided to the user as a courtesy by I&A for this project only and shall not be used for any other purpose without the express written consent of Isaacson & Arfman, PA.

From: Harmon Rita T. [<mailto:rharmon@cabq.gov>]
Sent: Wednesday, March 18, 2015 4:40 PM
To: 'Asa Nilsson-Weber'
Subject: RE: Broadstone Retaining Walls

Asa,
What is the reason for the change?
Won't the runoff be running along the wall?

Rita

From: Asa Nilsson-Weber [<mailto:asaw@iacivil.com>]
Sent: Wednesday, March 18, 2015 4:28 PM
To: Harmon Rita T.
Cc: Ortiz, Monica; Jim Griffin
Subject: Broadstone Retaining Walls

Rita,

Please see attached for sheet 4 of the G&D plan showing the revised retaining wall layout in blue. We will show the wall revisions on the grading as-built.

Please let me know if you have any other questions/comments.

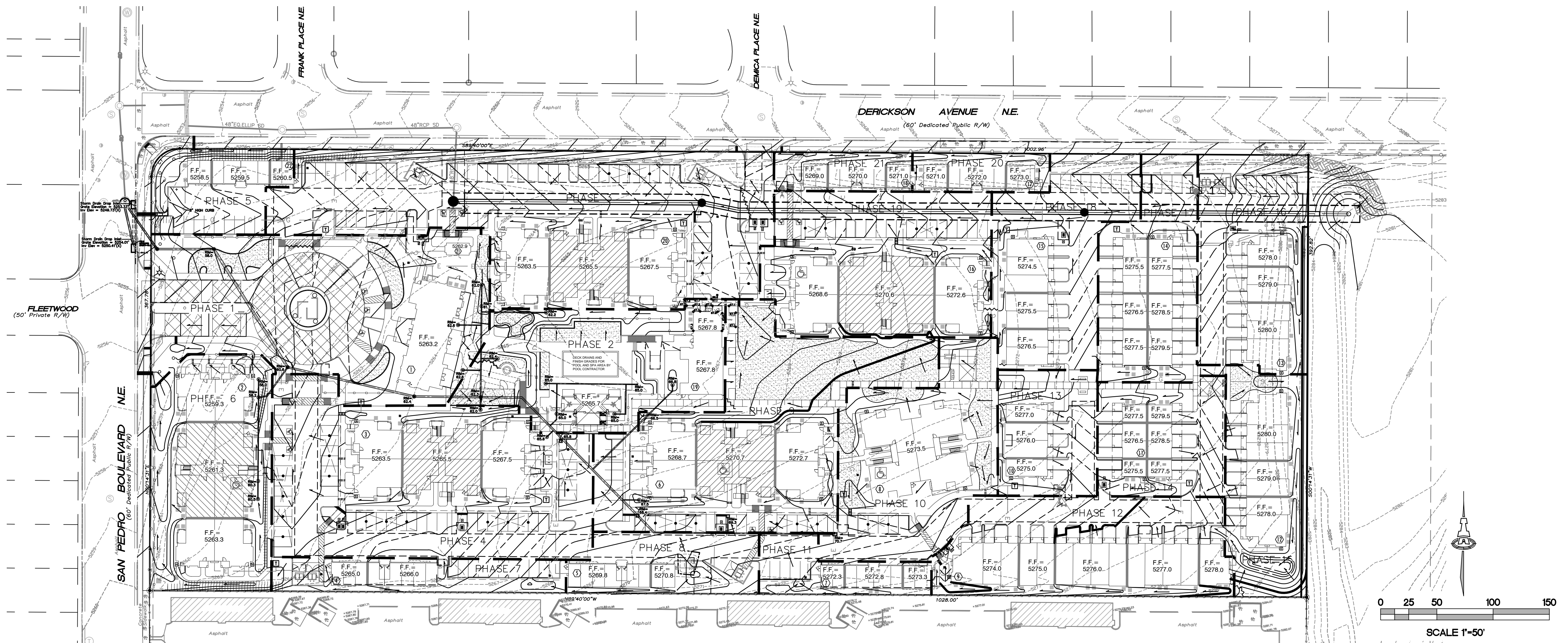
Thanks.

Åsa Nilsson-Weber, P.E.
Principal / Vice President

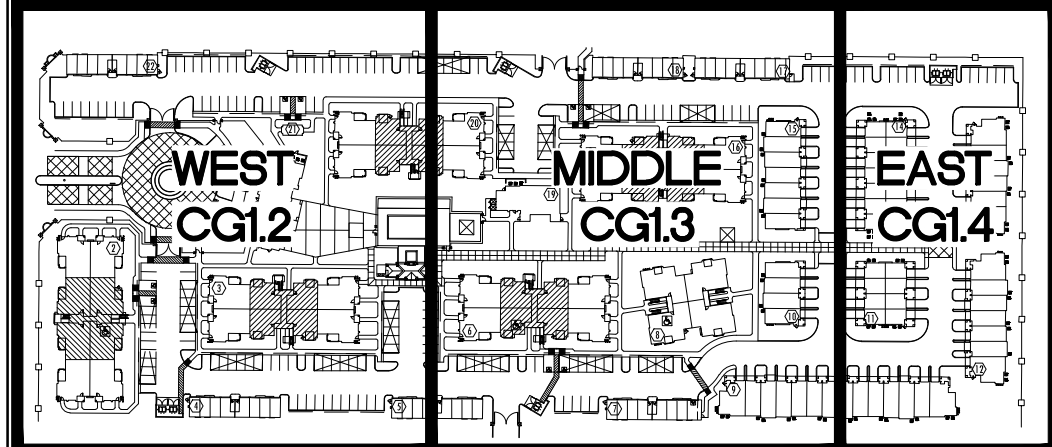


Isaacson & Arfman, P.A.
Consulting Engineering Associates
128 Monroe St. N.E.
Albuquerque, NM 87108
Phone: (505)268-8828
Fax: (505)268-2632
asaw@iacivil.com

M:\PROJECTS\2000-2099\2025\DWG\BUILDING PERMIT\2025 CG 1.1.dwg, 5/26/2015 2:40:30 PM, thc



DRAINAGE SHEET KEY



FOR USE ON:
CG1.1, CG1.2, CG1.3, CG1.4

LEGEND

- 79— PROPOSED CONTOUR — 1' INCREMENT
- 75.5--- PROPOSED CONTOUR — 0.5' INCREMENT
- ◆78.3 PROPOSED SPOT ELEVATION
- FLOW ARROW
- F.F.=XXXXXX FINISH FLOOR ELEVATION
- ◆78.3± EXISTING ELEVATION (±) TO MATCH. PROVIDE SMOOTH TRANSITION.
- ||||| ROCK EROSION CONTROL
- ~~~~~ GRADE BREAK
- ===== PROPOSED STORM DRAIN (SEE CG5.1)
- PHASE 2 BUILDING PHASE LINE

GENERAL NOTES

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION. REPORT ALL DISCREPANCIES TO THE ARCHITECT / ENGINEER AND VERIFY THE ARCHITECT / ENGINEER'S INTENT BEFORE PROCEEDING.
 - COORDINATE WORK WITH SITE PLAN, UTILITY PLAN, PAVING PLAN, AND LANDSCAPE PLAN.
 - ALL TRASH, DEBRIS, & SURFACE VEGETATION SHALL BE CLEARED AND LEGALLY DISPOSED OF OFFSITE.
 - PROPOSED SPOT AND CONTOUR ELEVATIONS SHOWN REPRESENT TOP OF FINISH MATERIAL (I.E. TOP OF CONCRETE, TOP OF CONCRETE BUILDING PAD, TOP OF PAVEMENT MATERIAL, TOP OF LANDSCAPING MATERIAL, ETC.). CONTRACTOR SHALL GRADE, COMPACT SUBGRADE AND DETERMINE EARTHWORK ESTIMATES BASED ON ELEVATIONS SHOWN MINUS FINISH MATERIAL THICKNESSES.
 - EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. CONTRACTOR SHALL CONTACT NM-811 FOR UTILITY LINE SPOTS TWO WORKING DAYS PRIOR TO CONDUCTING SITE FIELD WORK. CONTRACTOR SHALL FIELD VERIFY AND LOCATE ALL UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES.
 - ALL NEW PAVEMENT SURFACES SHALL BE CONSTRUCTED WITH POSITIVE SLOPE AWAY FROM BUILDINGS. WHERE NEW GRADES ARE SHOWN AS "MATCH" OR "±", TRANSITIONS SHALL BE SMOOTH AND ADA ACCESSIBLE.
 - SIDESLOPES > 3:1 SHALL HAVE PERMANENT EROSION CONTROL INSTALLED DURING LANDSCAPING PHASE AND WILL NOT BE INCLUDED IN ENGINEER'S CERTIFICATION FOR CERTIFICATE OF OCCUPANCY. NO SLOPE SHALL BE STEEPER THAN 1:1.
 - ENGINEER RECOMMENDS THAT OWNER INSPECT SITE YEARLY AND AFTER EACH RAINFALL TO IDENTIFY NEW AREAS OF EROSION AND INSTALL ADDITIONAL EROSION PROTECTION AS NEEDED BASED ON ACTUAL OCCURRENCES.
 - PAVEMENT GRADES IN MARKED HANDICAPPED PARKING AREAS SHALL NOT EXCEED 2.0% IN ANY DIRECTION. DESIGN GRADES ARE APPROX. 1.8% TO ALLOW FOR CONSTRUCTION TOLERANCES.
 - FOR ALL ACCESSIBLE ROUTES, MAXIMUM ALLOWABLE CROSS SLOPE IS 2.0% AND MAXIMUM LONGITUDINAL SLOPE WITHOUT RAMP IS 5.0%. FOLLOW ALL ADA ACCESSIBILITY GUIDELINES OR CITY CODES, WHICHEVER IS MORE STRINGENT.
 - IF FIELD GRADE ADJUSTMENTS ARE REQUIRED, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER.
 - ADJUST RIMS OF EXISTING UTILITY FEATURES AS NECESSARY TO MATCH NEW GRADES.
 - UTILITIES IN PAVED AREAS SHALL BE HS-25 TRAFFIC RATED..
 - ALL AREAS DISTURBED BY CONSTRUCTION (OUTSIDE PROPOSED TURF AREA) SHALL BE RESEED WITH NATIVE GRASS PER C.O.A. SPECIFICATIONS SECTION 1012 (FOR SANDY SOILS) OR AS SPECIFIED ON THE LANDSCAPE PLAN.
 - A CURRENT STORMWATER CONTROL PERMIT, INCLUDING AN EROSION SEDIMENT CONTROL PLAN (E.S.C.) FOR EROSION AND SEDIMENT CONTROL IS REQUIRED FOR ALL CONSTRUCTION, DEMOLITION, CLEARING, AND GRADING OPERATIONS THAT DISTURB THE SOIL ON ONE ACRE OR MORE OF LAND. OWNER WILL COORDINATE. A CITY-APPROVED ESC PERMIT MUST BE INCLUDED WITH THE CONTRACTOR'S SUBMITTAL FOR A ROUGH GRADING, GRADING, PAVING, BUILDING, OR WORK ORDER PERMIT.
 - POST-CONSTRUCTION MAINTENANCE FOR PRIVATE STORMWATER FACILITIES WILL BE THE RESPONSIBILITY OF THE FACILITIES OWNER. PERIODIC INSPECTION AND CERTIFICATIONS OF THE FACILITIES MAY BE REQUIRED BY THE CITY ENGINEER.
 - STORMWATER CONTROL MEASURES SHOWN ON THIS PLAN ARE REQUIRED TO PROVIDE MANAGEMENT OF "FIRST FLUSH" (DEFINED AS THE 90TH PERCENTILE STORM EVENT OR 0.44" OF STORMWATER WHICH DISCHARGES DIRECTLY TO A PUBLIC STORM DRAINAGE SYSTEM).
- SEE GEOTECHNICAL REPORT BY WESTERN TECHNOLOGIES FOR SOIL ANALYSIS AND SPECIFIC OVEREXCAVATION AND COMPACTION REQUIREMENTS.
- SEE STRUCTURAL PLANS FOR THICKNESS OF CONCRETE BLDG. SLABS AND SUB-SURFACE BASE COURSE TO ESTABLISH PAD GRADE AT BUILDINGS.

PROJECT INFORMATION

PROPERTY: THE SITE IS A PREVIOUSLY DEVELOPED (MOBILE HOME) PROPERTY LOCATED WITHIN C.O.A. VICINITY MAP D-18. THE SITE IS BOUND TO THE SOUTH BY RECENTLY CONSTRUCTED APARTMENTS, TO THE EAST BY UNDEVELOPED PROPERTY, TO THE WEST BY SAN PEDRO DRIVE NE AND TO THE NORTH BY DERICKSON AVENUE NE.

PROPOSED IMPROVEMENTS: THE PROPOSED IMPROVEMENTS INCLUDE A 21 BUILDING APARTMENT COMPLEX (INCLUDING GARAGE / CARRIAGE UNITS, OFFICE BLDG., HEALTH FACILITY) WITH ASSOCIATED ASPHALT PAVED DRIVES, PARKING, PEDESTRIAN WALKS AND LANDSCAPING.

LEGAL: TRACT 1, SANTA MONICA PLACE, ALBUQUERQUE. NM AREA: 9.2673 ACRES

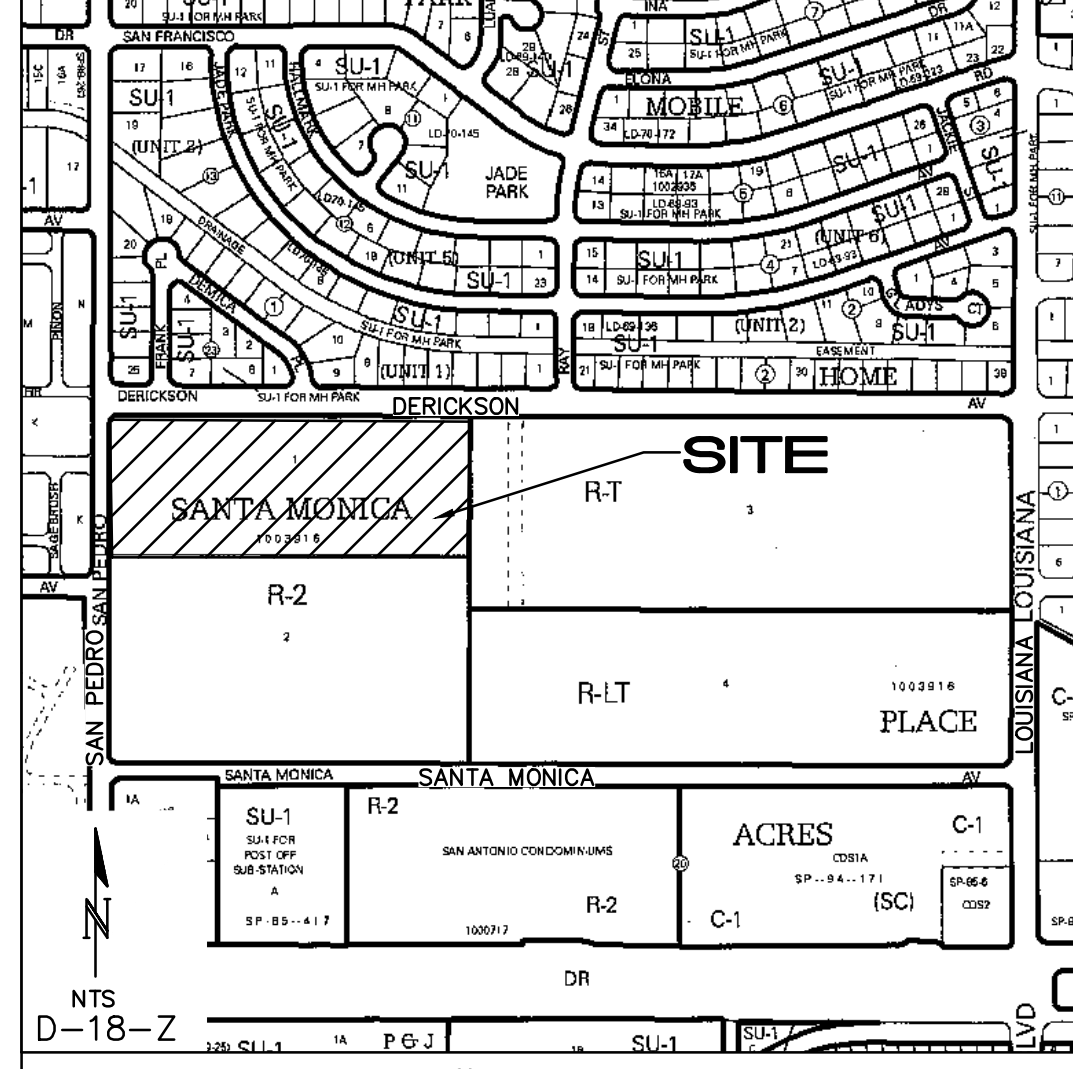
BENCHMARK: VERTICAL DATUM IS BASED UPON THE ALBUQUERQUE CONTROL SURVEY BENCHMARK "18-E18", ELEVATION = 5269.166 (NGVD88)

OFF-SITE: DRAINAGE FROM THE UNDEVELOPED TRACTS TO THE EAST (TRACTS 3 AND 4) PREVIOUSLY IMPACTING THIS PROPERTY WILL CONTINUE TO BE DETAINED IN AN EXISTING TEMPORARY DETENTION POND ON TRACT 3. THE PROPOSED 48" PUBLIC STORM DRAIN WILL BE EXTENDED EAST INTO TRACT 3 AND A TEMPORARY STANDPIPE WILL BE CONSTRUCTED WHICH WILL ACCEPT 100% OF THE DETAINED FLOW.

FLOOD HAZARD: THE SUBJECT PROPERTY LIES WITHIN ZONE "X" (AREAS DETERMINED TO BE OUTSIDE 0.2% ANNUAL CHANCE FLOOD PLAIN) IN ACCORDANCE WITH THE NATIONAL FLOOD INSURANCE PROGRAM RATE MAP NO. 35001C0137 F, EFFECTIVE DATE 11-19-03.

SURVEYOR: RUSS P. HUGG, SURV-TEK, INC., (505)897-3366, ALBUQUERQUE, NEW MEXICO.

VICINITY MAP



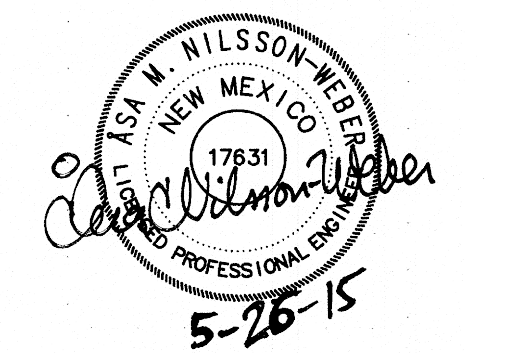
PHASING NOTE

CONSTRUCTION SEQUENCE OF BUILDINGS ARE DENOTED ON PLAN AS PHASES 1-21. ALL STORM DRAIN TRUNK LINES SHALL BE CONSTRUCTED PRIOR TO START OF BUILDING CONSTRUCTION. ALL OTHER DRAINAGE IMPROVEMENTS (AREA INLETS, SIDEWALK CULVERTS, SIDEWALK DRAIN PIPES) SHALL BE CONSTRUCTED WITH EACH BUILDING PHASE PRIOR TO CERTIFICATION.

BROADSTONE PROMENADE

6400 SAN PEDRO DRIVE NE
Albuquerque, New Mexico

Office of Rich Barber
ORB Architecture, LLC
WorldHQ@ORBArch.com



TITAN DEVELOPMENT
ALLIANCE RESIDENTIAL COMPANY

ISAACSON & AREMAN, P.A.
Consulting Engineering Associates
Ph. 505-268-8828 www.isaacson.com
2025 CG 1.1.dwg May 26, 2015

Contractor must verify all dimensions at project before proceeding with this work. Do not reproduce these drawings and specifications without the expressed written permission of the Architect. The drawings and specifications are instruments of service and shall remain the property of the Architect whether the project for which they are made is executed or not. These drawings and specifications shall not be used by anyone on any other projects, for additions to this project, or for completion of this project by others except by the expressed written permission of the Architect.

© ORB Architecture, LLC 2013

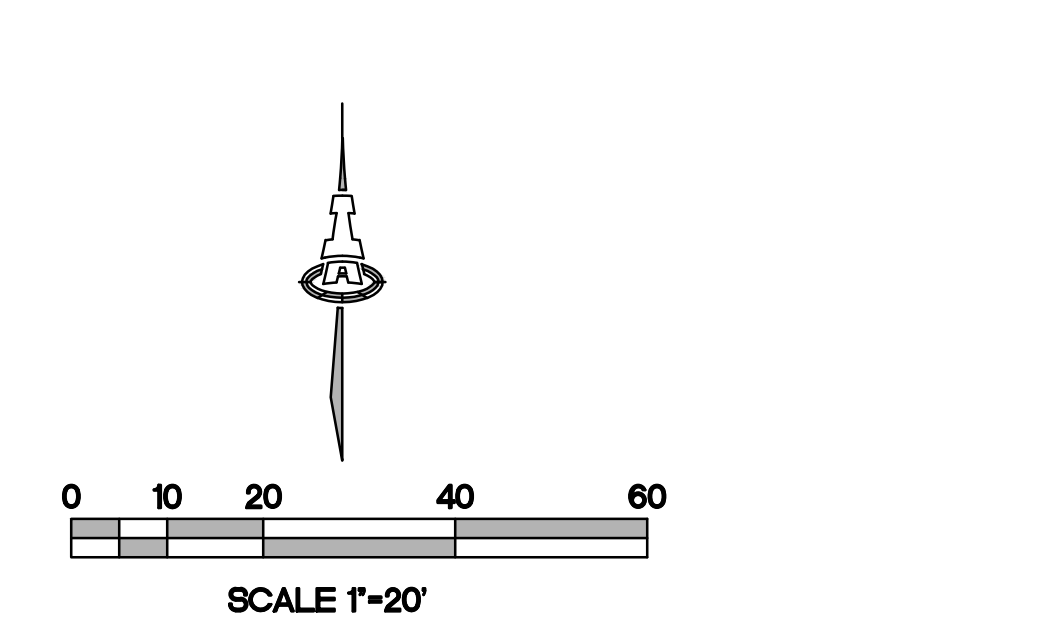
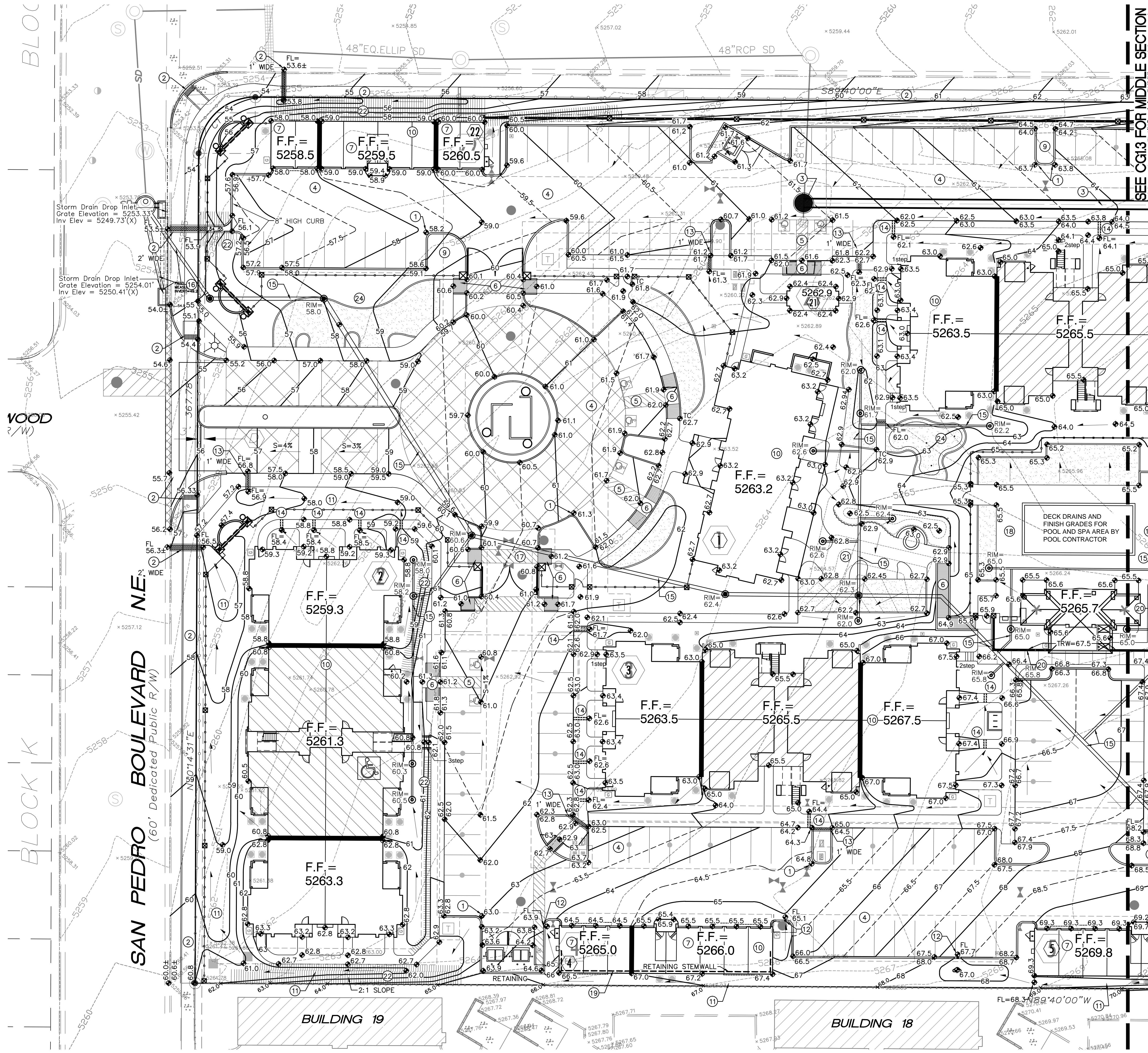
REVISIONS	
△ 6/20/14	DESIGN TEAM COORDINATION
△ 6/20/14	1ST CITY REVIEW
△ 7/9/14	2ND CITY REVIEW
△ 7/28/14	DESIGN TEAM COORDINATION

CONSTRUCTION SET
DATE: JULY 28, 2014 ORB # 13-220

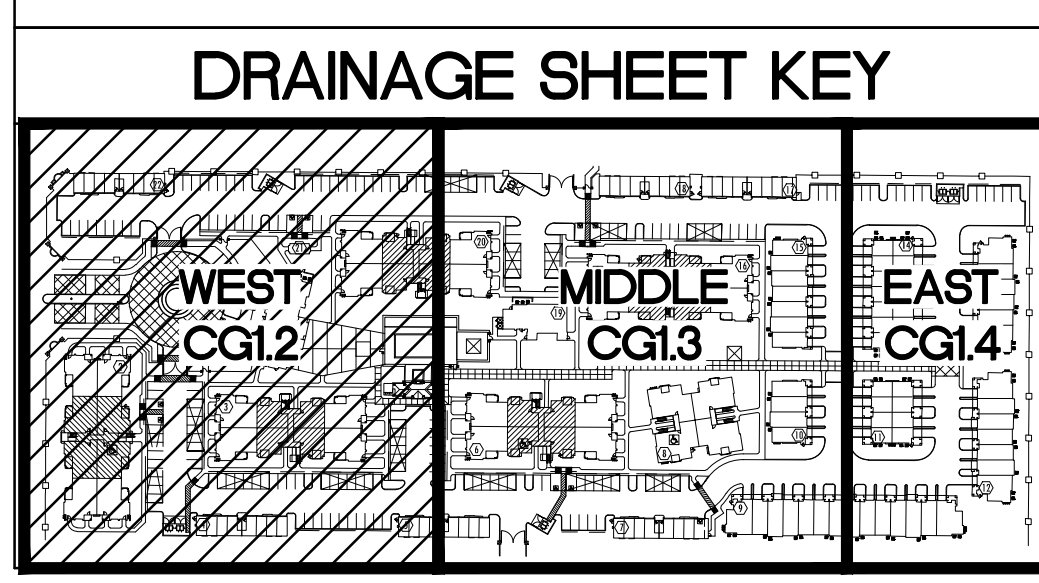
CG1.1

OVERALL
GRADING AND DRAINAGE PLAN

M:\PROJECTS\2000-2099\2025\DWG\BUILDING PERMIT\2025 CG 1.2 THRU 1.4.dwg, 5/26/2015 2:40:56 PM, thor



- ### KEYED NOTES
- THESE NOTES ARE REFERENCED ON SHEETS CG1.2, CG1.3 AND CG1.4. NOT ALL NOTES ARE USED ON EACH SHEET.
- SPOT ELEVATION LABELS WITHIN GUTTER AREA REPRESENT FLOWLINE UNLESS NOTED. ADD 0.5' TYPICAL FOR TOP OF CURB / TOP OF ADJACENT WALK ELEVATIONS.
 - SEE PUBLIC WORK ORDER DRAWINGS FOR CONSTRUCTION WITHIN R.O.W. INCLUDING NEW ACCESS DRIVES WITH CONCRETE VALLEY GUTTER, HANDICAP RAMPS, PUBLIC SIDEWALKS, COVERED SIDEWALK CULVERTS, CURB OPENINGS ETC. GRADES SHOWN FOR INFORMATION ONLY.
 - SEE PUBLIC WORK ORDER DRAWINGS FOR CONSTRUCTION OF PUBLIC STORM SEWER SYSTEM WITHIN PUBLIC DRAINAGE EASEMENT THIS AREA.
 - CONSTRUCT PAVING, CURBS, WALKS AT ELEVATIONS SHOWN. SEE PAVING DETAILS AND ARCHITECTURAL SITE DETAILS FOR ADDITIONAL INFORMATION. NOTE THAT PAVEMENT SLOPES AND CROSS-SLOPES VARY THROUGHOUT TO ACHIEVE GRADES NECESSARY TO ACHIEVE PEDESTRIAN ACCESS, STREET STORMWATER CAPACITIES, PIPE COVERAGE, ETC.
 - SLOPES WITHIN HANDICAP PARKING AREAS TO MEET ADA REQUIREMENTS. MAX. SLOPE = 2% IN ANY DIRECTION.
 - CONSTRUCT HANDICAP ACCESS RAMP TO ADA STANDARDS. SEE ARCHITECTURAL FOR DETAILS.
 - F.F. ELEVATION WITHIN THIS UNIT REFERENCES TOP OF CONCRETE STEP AT BACK OF GARAGE. GRADE AT GARAGE DOOR TO BE 6" BELOW F.F. TO ACCOMMODATE 4" STEP AND PAD SLOPE.
 - REGRADE THIS AREA AS SHOWN TO ACCOMMODATE TEMPORARY STORM DRAIN STANDPIPE FOR TRACT 3 AND 4 UNDEVELOPED FLOW. SEE PUBLIC WORK ORDER DRAWINGS FOR ADDITIONAL INFORMATION.
 - DEPRESS LANDSCAPING TO 6" (TYPICAL) TO COLLECT LOCALIZED STORMWATER. FLOW IN EXCESS OF AREA CAPACITY WILL OVERFLOW AT LOW POINT. NOTE: DO NOT DEPRESS LANDSCAPING WITHIN 10' OF ANY STRUCTURE.
 - BUILDING ROOF DISCHARGE TO BE RELEASED TO ALL SIDES. PROVIDE CONCRETE SPLASH BLOCK AT DOWNSPOUT LOCATIONS (TYPICAL).
 - PROVIDE DEFINED SWALE WITHIN LANDSCAPING THIS AREA.
 - PROVIDE 1' WIDE OPENING IN CURB TO PASS FLOW.
 - CONSTRUCT ON-SITE COVERED SIDEWALK CULVERT (WIDTH PER PLAN) PER C.O.A. STD. DWG. 2236.
 - INSTALL TWO 4" DIA. PVC PIPE DRAINS @ 2% SLOPE THROUGH SIDEWALK PER C.O.A. STD. DWG. 2235. GRADE WITHIN LANDSCAPE TO DIRECT FLOW TO OPENING.
 - CONSTRUCT PRIVATE STORM DRAIN SYSTEM. SEE SHEET CG5.1 FOR SIZES / SLOPES / INLET INFORMATION / MATERIALS.
 - CONNECTION TO PUBLIC STORM SEWER INLET TO BE CONSTRUCTED PER C.O.A. STD. DWG. 2237. SEE CG5.1 FOR ADDITIONAL INFORMATION.
 - NOTE: STORM DRAIN CROSSES PUBLIC UTILITY MAINS THIS AREA.
 - POOL AREA GRADES SHOWN FOR GENERAL INFORMATION ONLY. POOL CONTRACTOR TO PROVIDE FINAL DESIGN GRADES / DECK DRAINS ETC.
 - CONSTRUCT RETAINING STEMWALL THIS BUILDING TO ACHIEVE GRADES SHOWN. SEE ARCHITECTURAL.
 - CONSTRUCT RETAINING WALL TO ACHIEVE GRADE DIFFERENCE THIS AREA. STRUCTURAL / WEEP HOLE DESIGN BY OTHERS.
 - 0.1' CONTOURS WITHIN OPEN COURTYARD THIS AREA PROVIDED TO CLARIFY DRAINAGE CONCEPT. COORDINATE WITH LANDSCAPE ARCHITECT.
 - EROSION CONTROL (MIN. 6" AVG. DIA. ANGULAR FACED ROCK) TO BE INSTALLED ON ALL SIDE SLOPES > 3:1 AND AS SHOWN HATCHED.
 - CONSTRUCT DEPRESSED LANDSCAPING TO ELEVATIONS SHOWN TO COLLECT SUB-BASIN FLOW. FLOW IN EXCESS OF CAPACITY TO OVERFLOW AT ELEVATION OF 76.5 AS SHOWN. NO DETENTION SHALL OCCUR WITHIN 10' OF ANY STRUCTURE.
 - COORDINATE LANDSCAPING FEATURES I.E. MOW CURBS AND PUTTING GREEN WITH LANDSCAPE ARCHITECT WHILE MAINTAINING CLEAR DRAINAGE PATHS SHOWN.



BROADSTONE PROMENADE

6400 SAN PEDRO DRIVE NE
Albuquerque, New Mexico

Office of Rich Barber
ORB
Architecture, LLC

WorldHQ@ORBArch.com

ISAACSON & AREMAN, P.A.
Consulting Engineering Associates
Ph. 505-268-8828 www.isaacson.com
2025 CG 1.2 THRU 1.4.dwg May 26, 2015

REVISIONS

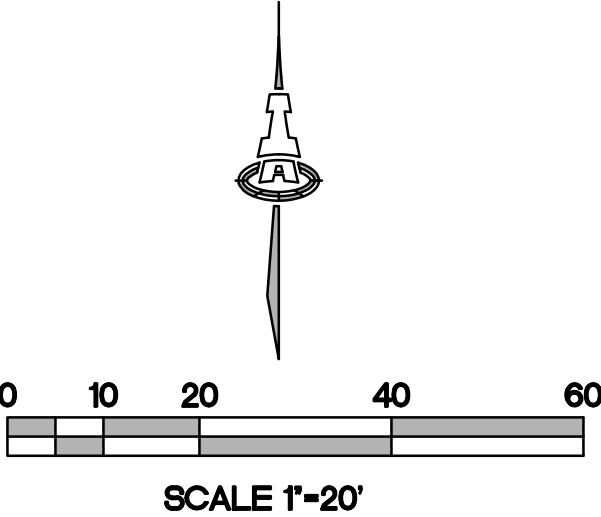
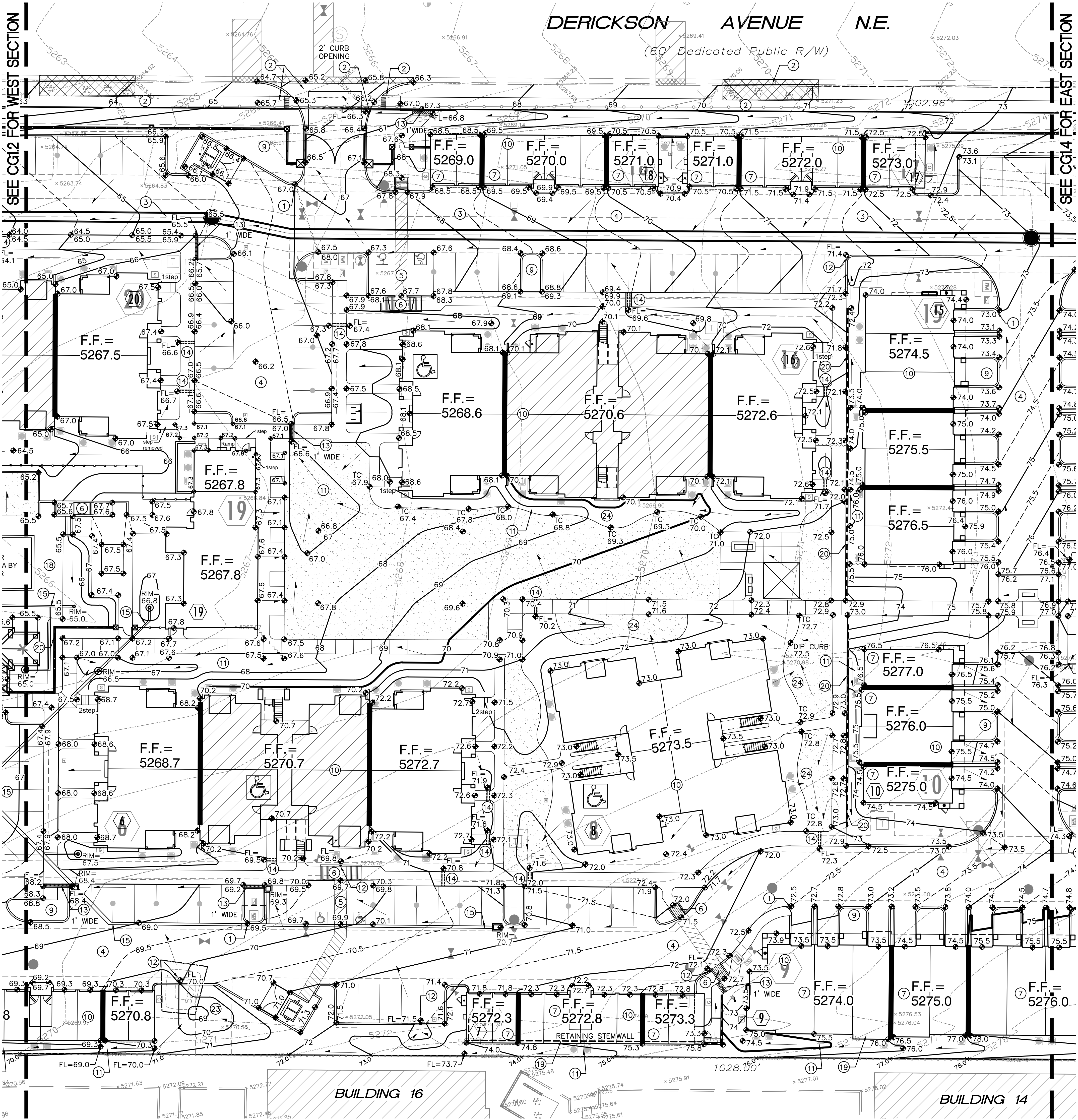
6/20/14	DESIGN TEAM COORDINATION
6/20/14	1ST CITY REVIEW
7/9/14	2ND CITY REVIEW
7/28/14	DESIGN TEAM COORDINATION

CONSTRUCTION SET

DATE: JULY 28, 2014 ORB # 13-220

CG1.2

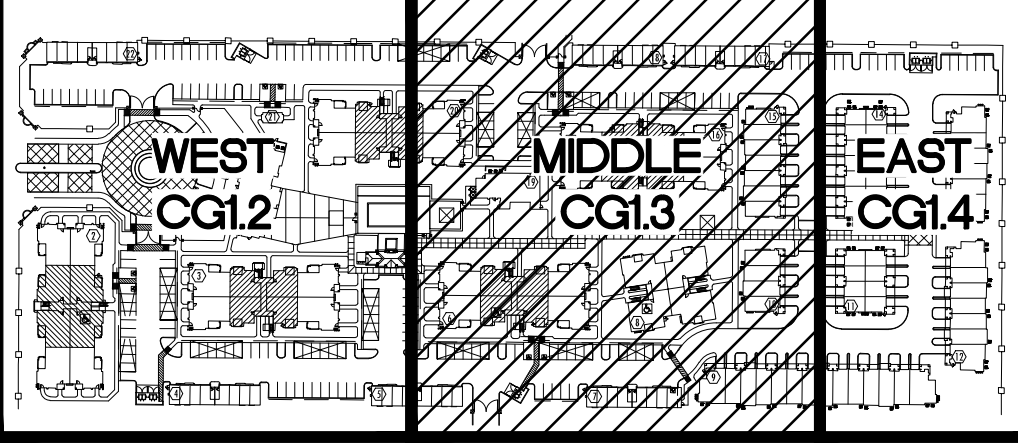
WEST
GRADING AND DRAINAGE PLAN



KEYED NOTES

- THESE NOTES ARE REFERENCED ON SHEETS CG1.2, CG1.3 AND CG1.4. NOT ALL NOTES ARE USED ON EACH SHEET.
- SPOT ELEVATION LABELS WITHIN GUTTER AREA REPRESENT FLOWLINE UNLESS NOTED. ADD 0.5' TYPICAL FOR TOP OF CURB / TOP OF ADJACENT WALK ELEVATIONS.
 - SEE PUBLIC WORK ORDER DRAWINGS FOR CONSTRUCTION WITHIN R.O.W. INCLUDING NEW ACCESS DRIVES WITH CONCRETE VALLEY GUTTER, HANDICAP RAMPS, PUBLIC SIDEWALKS, COVERED SIDEWALK CULVERTS, CURB OPENINGS ETC. GRADES SHOWN FOR INFORMATION ONLY.
 - SEE PUBLIC WORK ORDER DRAWINGS FOR CONSTRUCTION OF PUBLIC STORM SEWER SYSTEM WITHIN PUBLIC DRAINAGE EASEMENT THIS AREA.
 - CONSTRUCT PAVING, CURBS, WALKS AT ELEVATIONS SHOWN. SEE PAVING DETAILS AND ARCHITECTURAL SITE DETAILS FOR ADDITIONAL INFORMATION. NOTE THAT PAVEMENT SLOPES AND CROSS-SLOPES VARY THROUGHOUT TO ACHIEVE GRADES NECESSARY TO ACHIEVE PEDESTRIAN ACCESS, STREET STORMWATER CAPACITIES, PIPE COVERAGE, ETC.
 - SLOPES WITHIN HANDICAP PARKING AREAS TO MEET ADA REQUIREMENTS. MAX. SLOPE = 2% IN ANY DIRECTION.
 - CONSTRUCT HANDICAP ACCESS RAMP TO ADA STANDARDS. SEE ARCHITECTURAL FOR DETAILS.
 - F.F. ELEVATION WITHIN THIS UNIT REFERENCES TOP OF CONCRETE STEP AT BACK OF GARAGE. GRADE AT GARAGE DOOR TO BE 6" BELOW F.F. TO ACCOMMODATE 4" STEP AND PAD SLOPE.
 - REGRADE THIS AREA AS SHOWN TO ACCOMMODATE TEMPORARY STORM DRAIN STANDPIPE FOR TRACT 3 AND 4 UNDEVELOPED FLOW. SEE PUBLIC WORK ORDER DRAWINGS FOR ADDITIONAL INFORMATION.
 - DEPRESS LANDSCAPING TO 6" (TYPICAL) TO COLLECT LOCALIZED STORMWATER. FLOW IN EXCESS OF AREA CAPACITY WILL OVERFLOW AT LOW POINT. NOTE: DO NOT DEPRESS LANDSCAPING WITHIN 10' OF ANY STRUCTURE.
 - BUILDING ROOF DISCHARGE TO BE RELEASED TO ALL SIDES. PROVIDE CONCRETE SPLASH BLOCK AT DOWNSPOUT LOCATIONS (TYPICAL).
 - PROVIDE DEFINED SWALE WITHIN LANDSCAPING THIS AREA.
 - PROVIDE 1' WIDE OPENING IN CURB TO PASS FLOW.
 - CONSTRUCT ON-SITE COVERED SIDEWALK CULVERT (WIDTH PER PLAN) PER C.O.A. STD. DWG. 2236.
 - INSTALL TWO 4" DIA. PVC PIPE DRAINS @ 2% SLOPE THROUGH SIDEWALK PER C.O.A. STD. DWG. 2235. GRADE WITHIN LANDSCAPE TO DIRECT FLOW TO OPENING.
 - CONSTRUCT PRIVATE STORM DRAIN SYSTEM. SEE SHEET CG5.1 FOR SIZES / SLOPES / INLET INFORMATION / MATERIALS.
 - CONNECTION TO PUBLIC STORM SEWER INLET TO BE CONSTRUCTED PER C.O.A. STD. DWG. 2237. SEE CG5.1 FOR ADDITIONAL INFORMATION.
 - NOTE: STORM DRAIN CROSSES PUBLIC UTILITY MAINS THIS AREA.
 - POOL AREA GRADES SHOWN FOR GENERAL INFORMATION ONLY. POOL CONTRACTOR TO PROVIDE FINAL DESIGN GRADES / DECK DRAINS ETC.
 - CONSTRUCT RETAINING STEMWALL THIS BUILDING TO ACHIEVE GRADES SHOWN. SEE ARCHITECTURAL.
 - CONSTRUCT RETAINING WALL TO ACHIEVE GRADE DIFFERENCE THIS AREA. STRUCTURAL / WEEP HOLE DESIGN BY OTHERS.
 - 0.1' CONTOURS WITHIN OPEN COURTYARD THIS AREA PROVIDED TO CLARIFY DRAINAGE CONCEPT. COORDINATE WITH LANDSCAPE ARCHITECT.
 - EROSION CONTROL (MIN. 6" AVG. DIA. ANGULAR FACED ROCK) TO BE INSTALLED ON ALL SIDE SLOPES > 3:1 AND AS SHOWN HATCHED.
 - CONSTRUCT DEPRESS LANDSCAPING TO ELEVATIONS SHOWN TO COLLECT SUB-BASIN FLOW. FLOW IN EXCESS OF CAPACITY TO OVERFLOW AT ELEVATION OF 76.5 AS SHOWN. NO DETENTION SHALL OCCUR WITHIN 10' OF ANY STRUCTURE.
 - COORDINATE LANDSCAPING FEATURES I.E. MOW CURBS AND PUTTING GREEN WITH LANDSCAPE ARCHITECT WHILE MAINTAINING CLEAR DRAINAGE PATHS SHOWN.

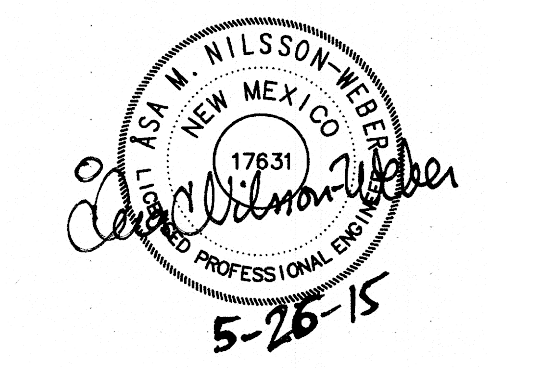
DRAINAGE SHEET KEY



BROADSTONE PROMENADE

6400 SAN PEDRO DRIVE NE
Albuquerque, New Mexico

Office of Rich Barber
ORB
Architecture, LLC
WorldHQ@ORBArch.com



TITAN
DEVELOPMENT
ALLIANCE
RESIDENTIAL COMPANY

ISAACSON & AREMAN, P.A.
Consulting Engineering Associates
Ph. 505-268-8828 www.isaacson.com
2025 CG 1.2 THRU 1.4.dwg May 26, 2015

Contractor must verify all dimensions at project before proceeding with this work.
Do not reproduce these drawings and specifications without the expressed written permission of the Architect. The drawings and specifications are instruments of service and shall remain the property of the Architect whether the project for which they are made is executed or not. These drawings and specifications shall not be used by anyone on any other projects, for additions to this project, or for completion of this project by others except by the expressed written permission of the Architect.
© ORB Architecture, LLC 2013

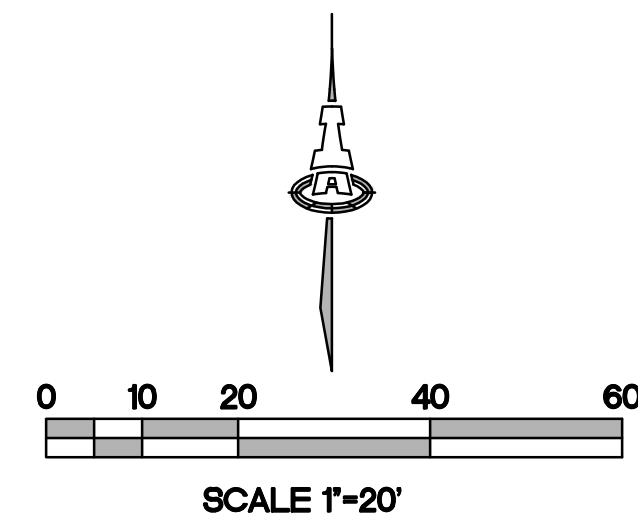
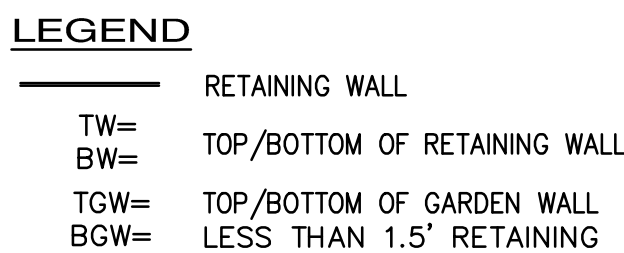
REVISIONS	
6/20/14	DESIGN TEAM COORDINATION
6/20/14	1ST CITY REVIEW
7/9/14	2ND CITY REVIEW
7/28/14	DESIGN TEAM COORDINATION

CONSTRUCTION SET

DATE: JULY 28, 2014 ORB # 13-220

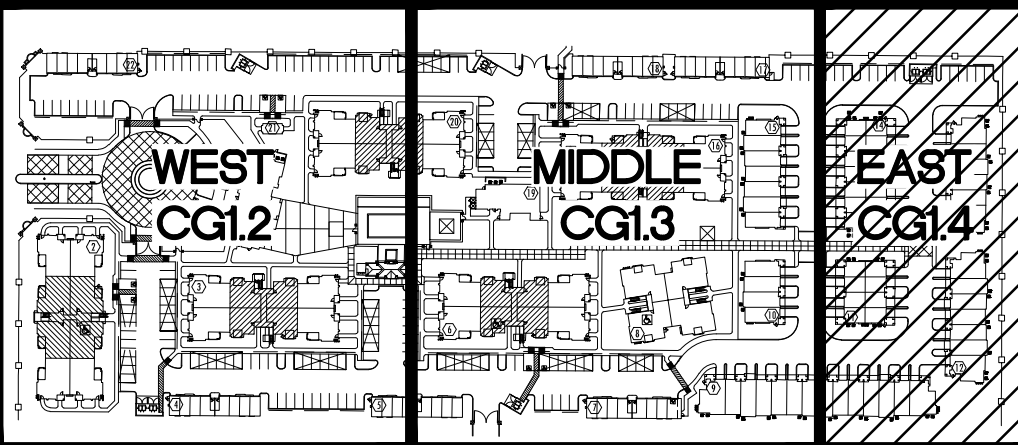
CG1.3

MIDDLE
GRADING AND DRAINAGE PLAN



THESE NOTES ARE REFERENCED ON SHEETS CG1.2, CG1.3 AND CG1.4. NOT ALL NOTES ARE USED ON EACH SHEET.

- ## DRAINAGE SHEET KEY



6400 SAN PEDRO DRIVE NE
Albuquerque, New Mexico

WorldHQ@ORBArch.com



Contractor must verify all dimensions at project before proceeding with this work.

Do not reproduce these drawings and specifications without the expressed written permission of the Architect. The drawings and specifications are instruments of service and shall remain the property of the Architect whether the project for which they are made is executed or not. These drawings and specifications shall not be used by anyone on any other projects, in addition to the project, or for completion of this project by others except by the expressed written permission of the Architect.

© ORB Architecture, LLC 2013

1	6/20/14	DESIGN TEAM COORDINATION
2	6/20/14	1ST CITY REVIEW
3	7/9/14	2ND CITY REVIEW
4	7/28/14	DESIGN TEAM COORDINATION

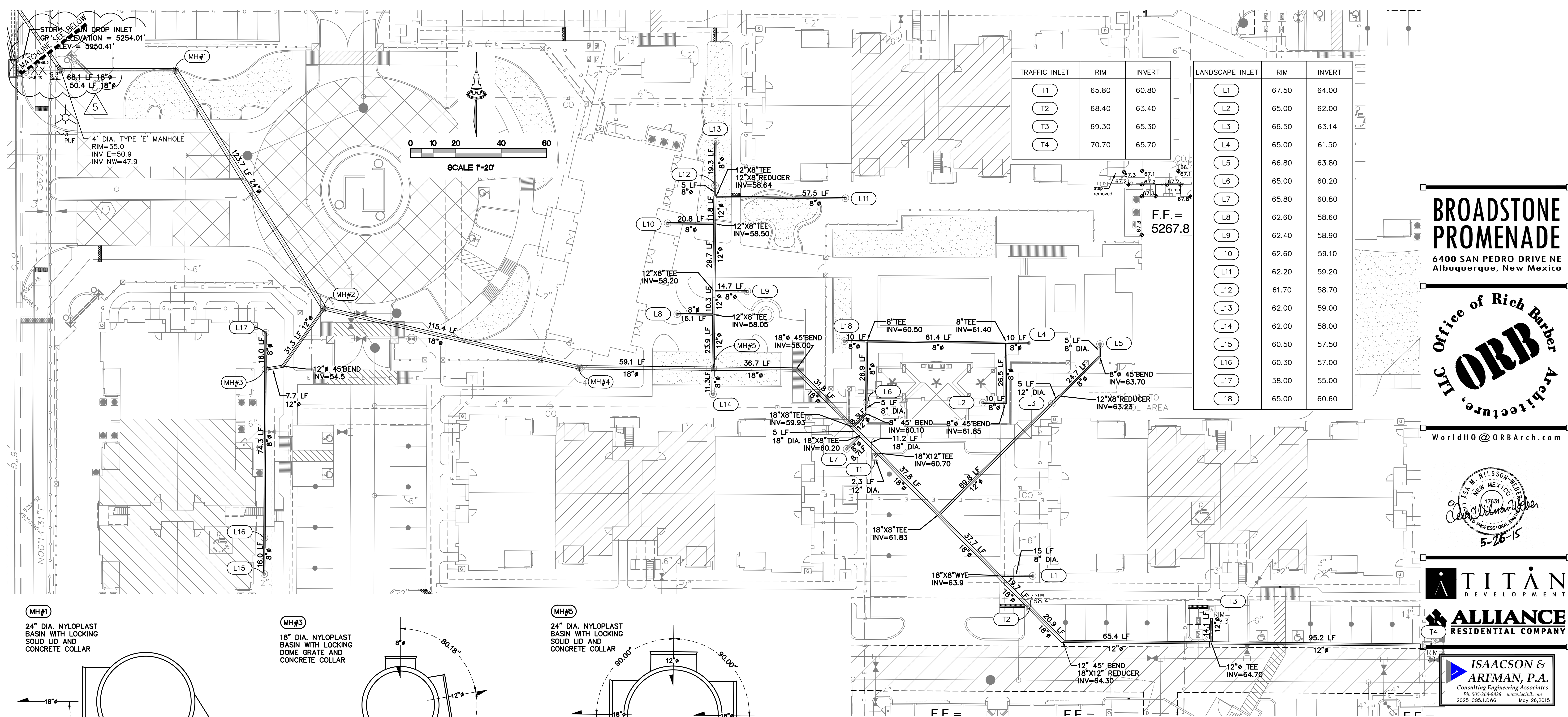
CONSTRUCTION SET

DATE: JULY 28, 2014 ORB # 13-220

CG1.4

EAST GRADING AND DRAINAGE PLAN

M:\PROJECTS\2000-2099\2025\DWG\BUILDING PERMIT\2025 CG5.1.DWG, 5/28/2015 2:41:47 PM, thor



BROADSTONE PROMENADE
6400 SAN PEDRO DRIVE NE
Albuquerque, New Mexico

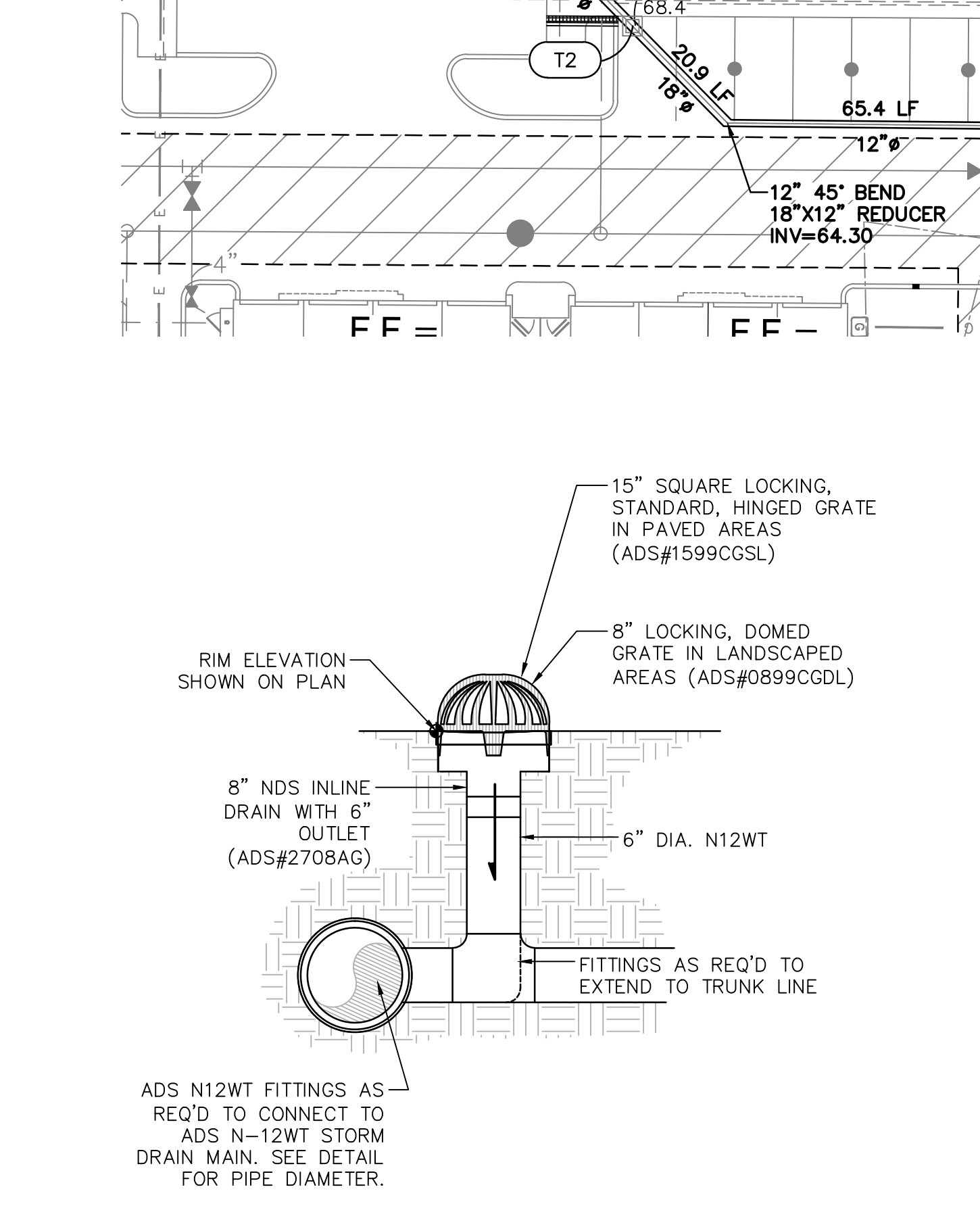
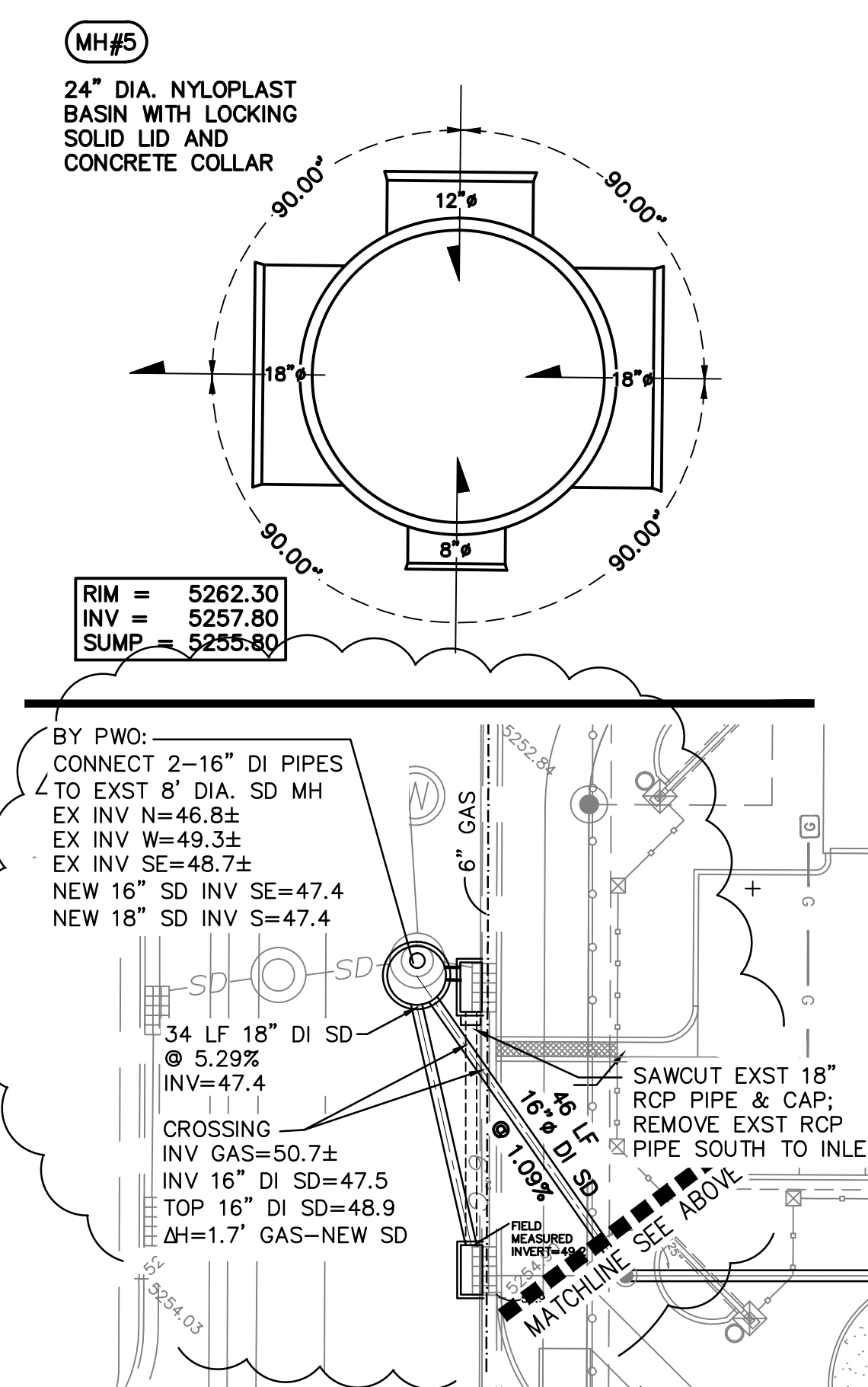
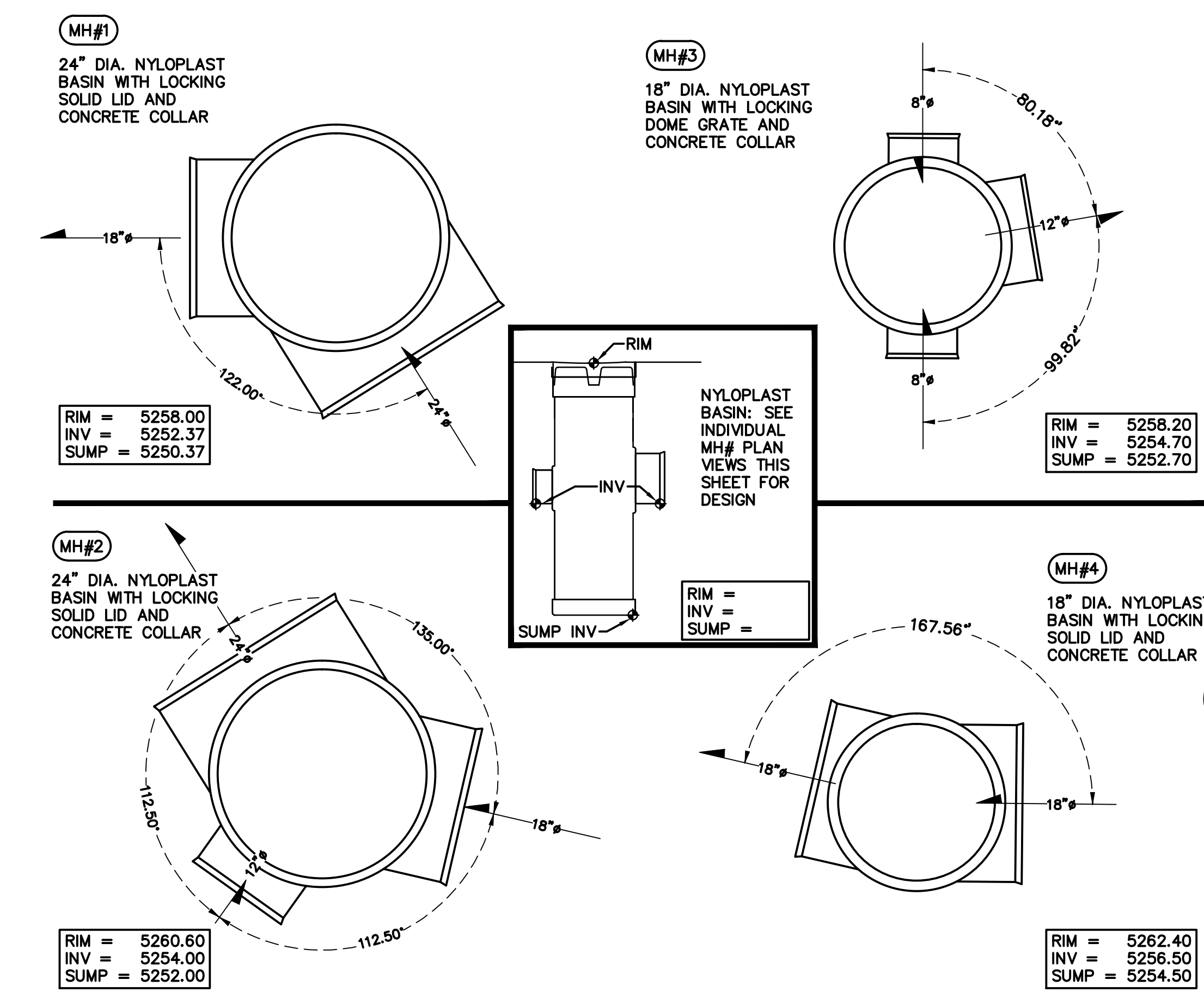
Office of Rich Barber
ORB
Architecture, LLC
WorldHQ@ORBArch.com

NEW MEXICO
17831
Professional Engineer
5-26-15

TITAN
DEVELOPMENT

ALLIANCE
RESIDENTIAL COMPANY

ISAACSON & AREMAN, P.A.
Consulting Engineering Associates
Ph. 505-268-8828 www.isaacson.com
2025 CG5.1.DWG May 26, 2015



LEGEND	
T#	2'X3' TRAFFIC RATED NYLOPLAST INLET.
L#	LANDSCAPE AREA INLET. 8" DIA. ADS INLINE DRAIN WITH 8" DOMED GRATE. EXTEND TO STORM DRAIN USING TEE'S SIZED AS REQUIRED.
MH#	NYLOPLAST BASIN. SEE DETAIL: ADS NYLOPLAST BASIN MANHOLES THIS SHEET FOR SIZES, PIPE INVERT(S), SUMP INVERT, GRATE TYPE, ETC.

GENERAL NOTES	
A.	INSTALL ALL STORM DRAIN INLETS AND PIPE PER MANUFACTURER'S SPECIFICATIONS.
B.	ALL STORM DRAIN LINES AND FITTINGS TO BE ADS N-12WT WATERTIGHT.
C.	STORM DRAIN SYSTEM WILL REQUIRE REGULAR MAINTENANCE TO ENSURE PROPER FUNCTIONING DURING STORM EVENTS. ENGINEER RECOMMENDS THAT PROPERTY OWNER PUT IN PLACE INSPECTION AND MAINTENANCE CRITERIA SCHEDULED TO ON A REGULAR BASIS AND AFTER EACH STORM EVENT.

REVISIONS	
6/20/14	DESIGN TEAM COORDINATION
6/20/14	1ST CITY REVIEW
7/9/14	2ND CITY REVIEW
7/28/14	DESIGN TEAM COORDINATION
3/10/15	STORM DRAIN REVISION

CONSTRUCTION SET	
DATE: JULY 28, 2014	ORB # 13-220
CG5.1	
STORM DRAIN DETAILS	

ADS NYLOPLAST BASIN MANHOLES
DESIGN INFORMATION

SCALE: N.T.S.
5 REVISIONS DUE TO GAS LINE CONFLICT AT INLET

SCALE: N.T.S.