

CITY OF ALBUQUERQUE

PLANNING DEPARTMENT – Development Review Services



June 20, 2014

Asa M. Nilson-Webber, P.E.
Isaacson & Arfman, P.A.
128 Monroe Street N.E.
Albuquerque, NM 87108

Richard J. Berry, Mayor

**RE: Broadstone Promenade, Tract 1, Santa Monica Place
Drainage Report, Grading & Drainage Plan
Engineer's Stamp Date 6-19-2014 (File: D18D054A)**

Dear Mrs. Weber:

Based upon the information provided in your submittal received 6-19-14, the above referenced plan is approved for Building Permit and Work Order. Please attach a copy of this approved plan in the construction sets when submitting for a building permit.

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

PO Box 1293

If you have any questions, you can contact me at 924-3695.

Albuquerque

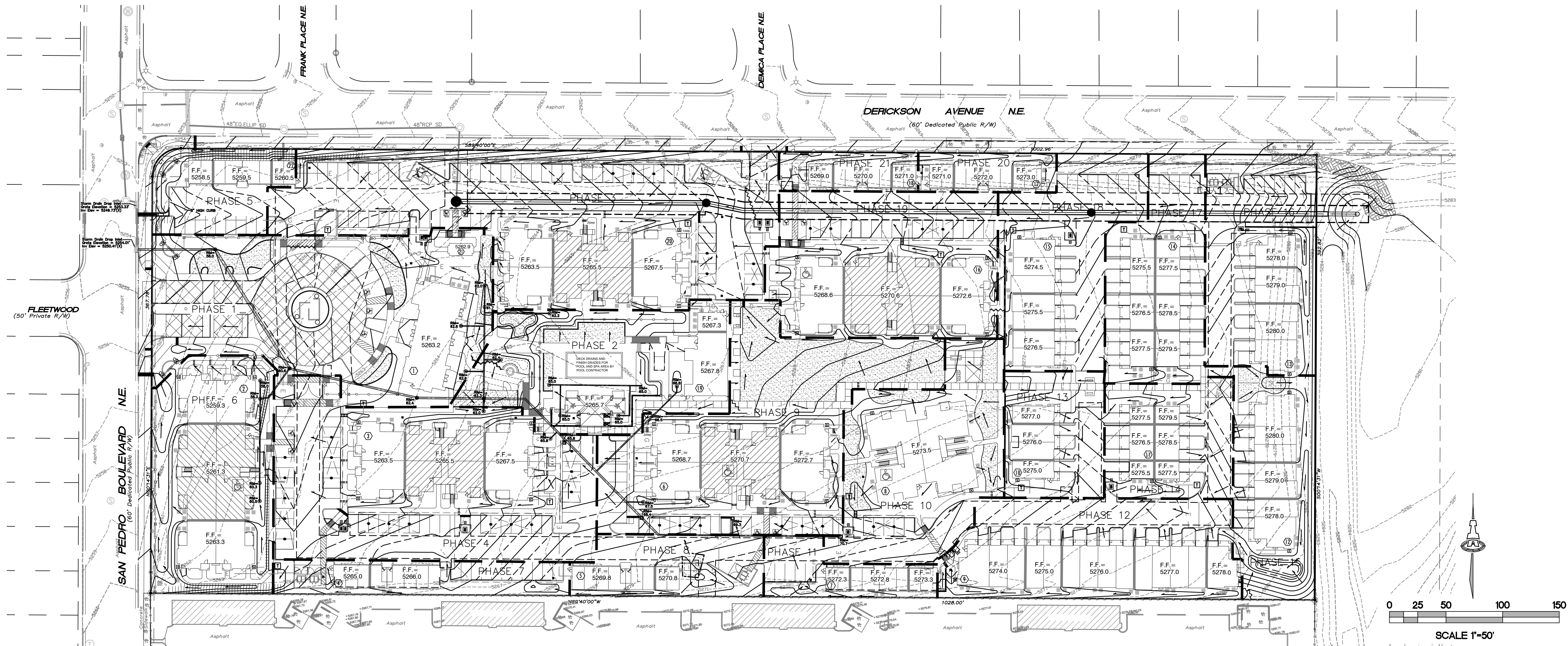
New Mexico 87103

www.cabq.gov

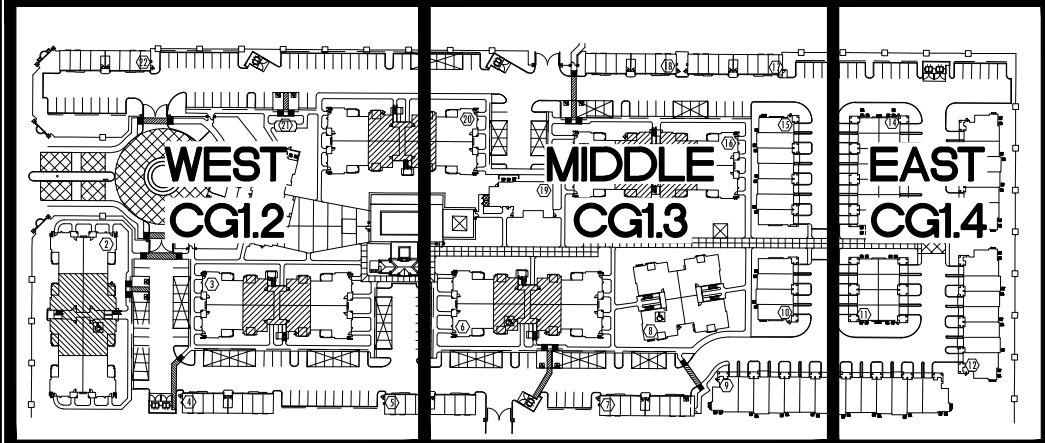
Sincerely,

Rita Harmon, P.E.
Senior Engineer, Planning Dept.
Development Review Services

Orig: Drainage file
c.pdf Addressee via Email, Tim Sims, Monica Ortiz



DRAINAGE SHEET KEY



FOR USE ON:
CG1.1, CG1.2, CG1.3, CG1.4

LEGEND

- 79— PROPOSED CONTOUR — 1' INCREMENT
- 75.5--- PROPOSED CONTOUR — 0.5' INCREMENT
- ◆78.3 PROPOSED SPOT ELEVATION
- FLOW ARROW
- F.F.=XXXXXX FINISH FLOOR ELEVATION
- ◆78.3± EXISTING ELEVATION (±) TO MATCH. PROVIDE SMOOTH TRANSITION.
- ||||| ROCK EROSION CONTROL
- ~~~~~ GRADE BREAK
- ===== PROPOSED STORM DRAIN (SEE CG5.1)
- PHASE 2 BUILDING PHASE LINE

GENERAL NOTES

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION. REPORT ALL DISCREPANCIES TO THE ARCHITECT / ENGINEER AND VERIFY THE ARCHITECT / ENGINEER'S INTENT BEFORE PROCEEDING.
 - COORDINATE WORK WITH SITE PLAN, UTILITY PLAN, PAVING PLAN, AND LANDSCAPE PLAN.
 - ALL TRASH, DEBRIS, & SURFACE VEGETATION SHALL BE CLEARED AND LEGALLY DISPOSED OF OFFSITE.
 - PROPOSED SPOT AND CONTOUR ELEVATIONS SHOWN REPRESENT TOP OF FINISH MATERIAL (I.E. TOP OF CONCRETE, TOP OF CONCRETE BUILDING PAD, TOP OF PAVEMENT MATERIAL, TOP OF LANDSCAPING MATERIAL, ETC.). CONTRACTOR SHALL GRADE, COMPACT SUBGRADE AND DETERMINE EARTHWORK ESTIMATES BASED ON ELEVATIONS SHOWN MINUS FINISH MATERIAL THICKNESSES.
 - EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. CONTRACTOR SHALL CONTACT NM-811 FOR UTILITY LINE SPOTS TWO WORKING DAYS PRIOR TO CONDUCTING SITE FIELD WORK. CONTRACTOR SHALL FIELD VERIFY AND LOCATE ALL UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES.
 - ALL NEW PAVEMENT SURFACES SHALL BE CONSTRUCTED WITH POSITIVE SLOPE AWAY FROM BUILDINGS. WHERE NEW GRADES ARE SHOWN AS 'MATCH' OR '±', TRANSITIONS SHALL BE SMOOTH AND ADA ACCESSIBLE.
 - SIDESLOPES > 3:1 SHALL HAVE PERMANENT EROSION CONTROL INSTALLED DURING LANDSCAPING PHASE AND WILL NOT BE INCLUDED IN ENGINEER'S CERTIFICATION FOR CERTIFICATE OF OCCUPANCY. NO SLOPE SHALL BE STEEPER THAN 1:1.
 - ENGINEER RECOMMENDS THAT OWNER INSPECT SITE YEARLY AND AFTER EACH RAINFALL TO IDENTIFY NEW AREAS OF EROSION AND INSTALL ADDITIONAL EROSION PROTECTION AS NEEDED BASED ON ACTUAL OCCURRENCES.
 - PAVEMENT GRADES IN MARKED HANDICAPPED PARKING AREAS SHALL NOT EXCEED 2.0% IN ANY DIRECTION. DESIGN GRADES ARE APPROX. 1.8% TO ALLOW FOR CONSTRUCTION TOLERANCES.
 - FOR ALL ACCESSIBLE ROUTES, MAXIMUM ALLOWABLE CROSS SLOPE IS 2.0% AND MAXIMUM LONGITUDINAL SLOPE WITHOUT RAMP IS 5.0%. FOLLOW ALL ADA ACCESSIBILITY GUIDELINES OR CITY CODES, WHICHEVER IS MORE STRINGENT.
 - IF FIELD GRADE ADJUSTMENTS ARE REQUIRED, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER.
 - ADJUST RIMS OF EXISTING UTILITY FEATURES AS NECESSARY TO MATCH NEW GRADES.
 - UTILITIES IN PAVED AREAS SHALL BE HS-25 TRAFFIC RATED..
 - ALL AREAS DISTURBED BY CONSTRUCTION (OUTSIDE PROPOSED TURF AREA) SHALL BE RESEED WITH NATIVE GRASS PER C.O.A. SPECIFICATIONS SECTION 1012 (FOR SANDY SOILS) OR AS SPECIFIED ON THE LANDSCAPE PLAN.
 - A CURRENT STORMWATER CONTROL PERMIT, INCLUDING AN EROSION SEDIMENT CONTROL PLAN (E.S.C.) FOR EROSION AND SEDIMENT CONTROL IS REQUIRED FOR ALL CONSTRUCTION, DEMOLITION, CLEARING, AND GRADING OPERATIONS THAT DISTURB THE SOIL ON ONE ACRE OR MORE OF LAND. OWNER WILL COORDINATE. A CITY-APPROVED ESC PERMIT MUST BE INCLUDED WITH THE CONTRACTOR'S SUBMITTAL FOR A ROUGH GRADING, GRADING, PAVING, BUILDING, OR WORK ORDER PERMIT.
 - POST-CONSTRUCTION MAINTENANCE FOR PRIVATE STORMWATER FACILITIES WILL BE THE RESPONSIBILITY OF THE FACILITIES OWNER. PERIODIC INSPECTION AND CERTIFICATIONS OF THE FACILITIES MAY BE REQUIRED BY THE CITY ENGINEER.
 - STORMWATER CONTROL MEASURES SHOWN ON THIS PLAN ARE REQUIRED TO PROVIDE MANAGEMENT OF 'FIRST FLUSH' (DEFINED AS THE 90TH PERCENTILE STORM EVENT OR 0.44" OF STORMWATER WHICH DISCHARGES DIRECTLY TO A PUBLIC STORM DRAINAGE SYSTEM).
- SEE GEOTECHNICAL REPORT BY WESTERN TECHNOLOGIES FOR SOIL ANALYSIS AND SPECIFIC OVEREXCAVATION AND COMPACTION REQUIREMENTS.
- SEE STRUCTURAL PLANS FOR THICKNESS OF CONCRETE BLDG. SLABS AND SUB-SURFACE BASE COURSE TO ESTABLISH PAD GRADE AT BUILDINGS.

PROJECT INFORMATION

PROPERTY: THE SITE IS A PREVIOUSLY DEVELOPED (MOBILE HOME) PROPERTY LOCATED WITHIN C.O.A. VICINITY MAP D-18. THE SITE IS BOUND TO THE SOUTH BY RECENTLY CONSTRUCTED APARTMENTS, TO THE EAST BY UNDEVELOPED PROPERTY, TO THE WEST BY SAN PEDRO DRIVE NE AND TO THE NORTH BY DERICKSON AVENUE NE.

PROPOSED IMPROVEMENTS: THE PROPOSED IMPROVEMENTS INCLUDE A 21 BUILDING APARTMENT COMPLEX (INCLUDING GARAGE / CARRIAGE UNITS, OFFICE BLDG., HEALTH FACILITY) WITH ASSOCIATED ASPHALT PAVED DRIVES, PARKING, PEDESTRIAN WALKS AND LANDSCAPING.

LEGAL: TRACT 1, SANTA MONICA PLACE, ALBUQUERQUE. NM AREA: 9.2673 ACRES

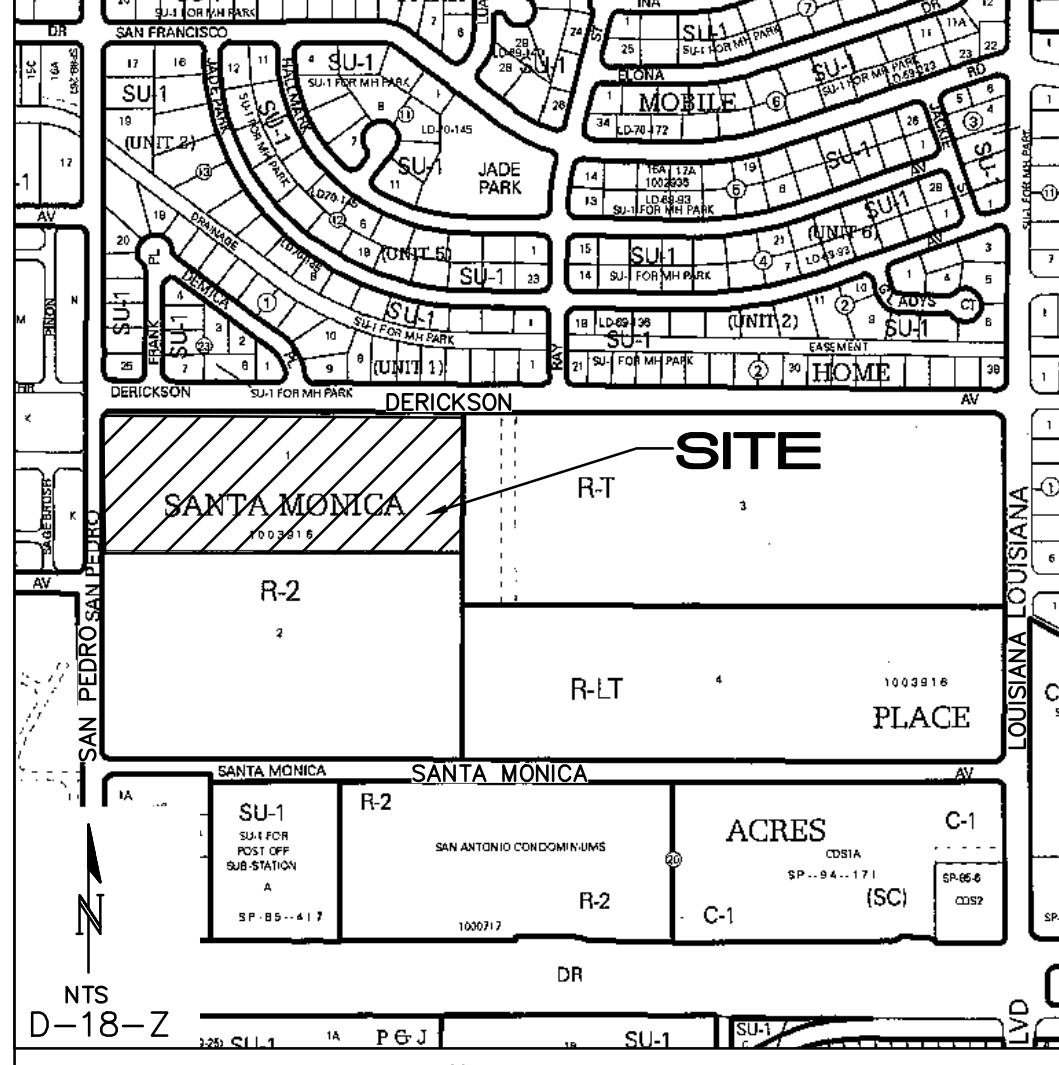
BENCHMARK: VERTICAL DATUM IS BASED UPON THE ALBUQUERQUE CONTROL SURVEY BENCHMARK "18-E18", ELEVATION = 5269.166 (NGVD88)

OFF-SITE: DRAINAGE FROM THE UNDEVELOPED TRACTS TO THE EAST (TRACTS 3 AND 4) PREVIOUSLY IMPACTING THIS PROPERTY WILL CONTINUE TO BE DETAINED IN AN EXISTING TEMPORARY DETENTION POND ON TRACT 3. THE PROPOSED 48" PUBLIC STORM DRAIN WILL BE EXTENDED EAST INTO TRACT 3 AND A TEMPORARY STANDPIPE WILL BE CONSTRUCTED WHICH WILL ACCEPT 100% OF THE DETAINED FLOW.

FLOOD HAZARD: THE SUBJECT PROPERTY LIES WITHIN ZONE "X" (AREAS DETERMINED TO BE OUTSIDE 0.2% ANNUAL CHANCE FLOOD PLAIN) IN ACCORDANCE WITH THE NATIONAL FLOOD INSURANCE PROGRAM RATE MAP NO. 35001C0137 F, EFFECTIVE DATE 11-19-03.

SURVEYOR: RUSS P. HUGG, SURV-TEK, INC., (505)897-3366, ALBUQUERQUE, NEW MEXICO.

VICINITY MAP

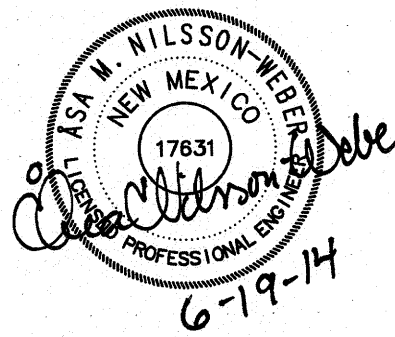


PHASING NOTE

CONSTRUCTION SEQUENCE OF BUILDINGS ARE DENOTED ON PLAN AS PHASES 1-21. ALL STORM DRAIN TRUNK LINES SHALL BE CONSTRUCTED PRIOR TO START OF BUILDING CONSTRUCTION. ALL OTHER DRAINAGE IMPROVEMENTS (AREA INLETS, SIDEWALK CULVERTS, SIDEWALK DRAIN PIPES) SHALL BE CONSTRUCTED WITH EACH BUILDING PHASE PRIOR TO CERTIFICATION.

**BROADSTONE
PROMENADE**
6400 SAN PEDRO DRIVE NE
Albuquerque, New Mexico

Office of Rich Barber
ORB
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WorldHQ@ORBArch.com



TITAN
DEVELOPMENT
ALLIANCE
RESIDENTIAL COMPANY

**ISAACSON &
AREMAN, P.A.**
Consulting Engineering Associates
Ph. 505-268-8828 www.isaacson.com
2025 CG 1.1.dwg Jun 19, 2014

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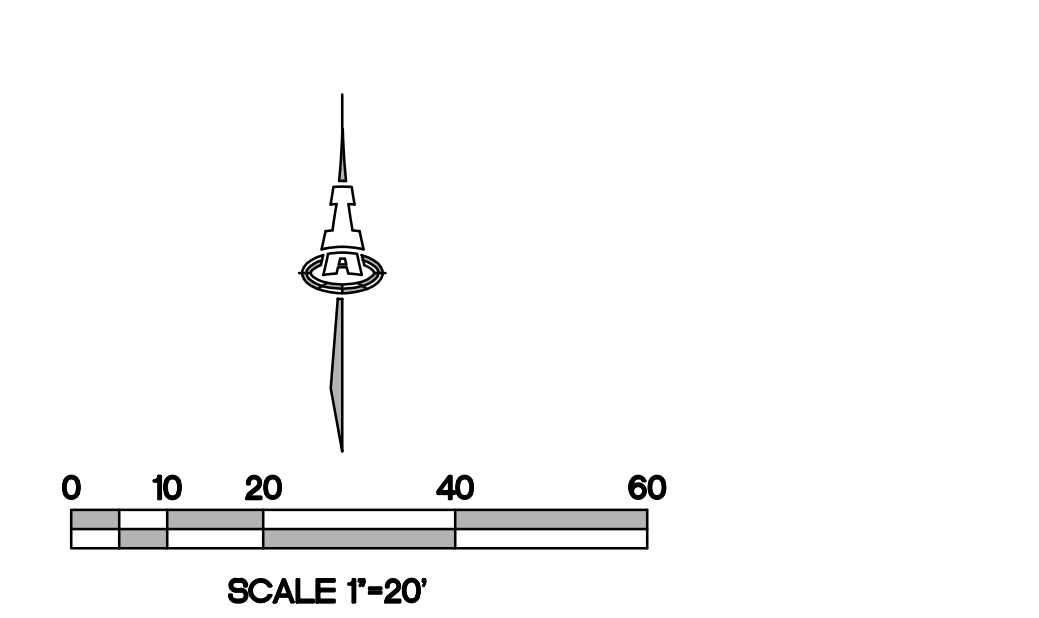
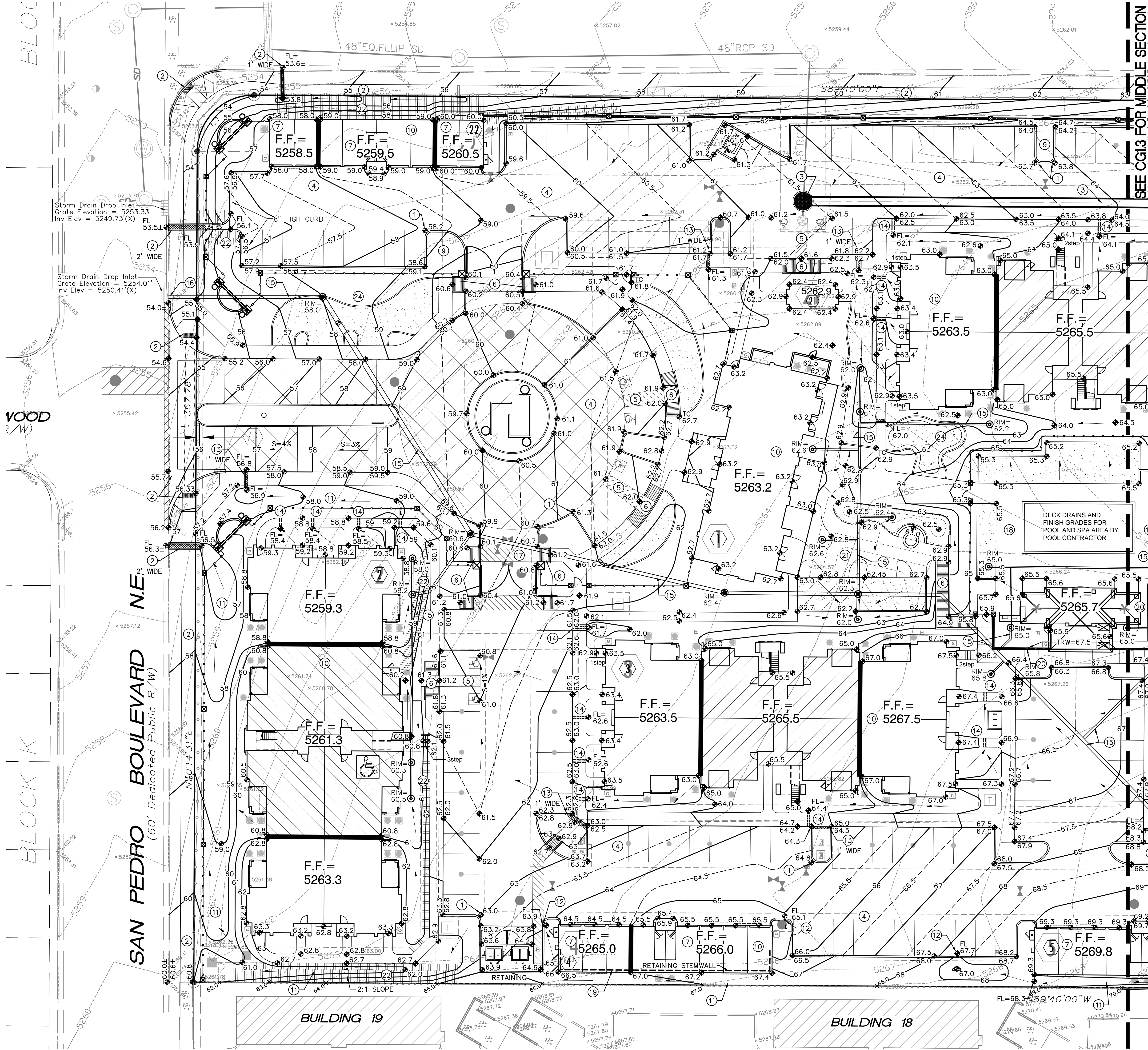
REVISIONS

NO.	DESCRIPTION	DATE

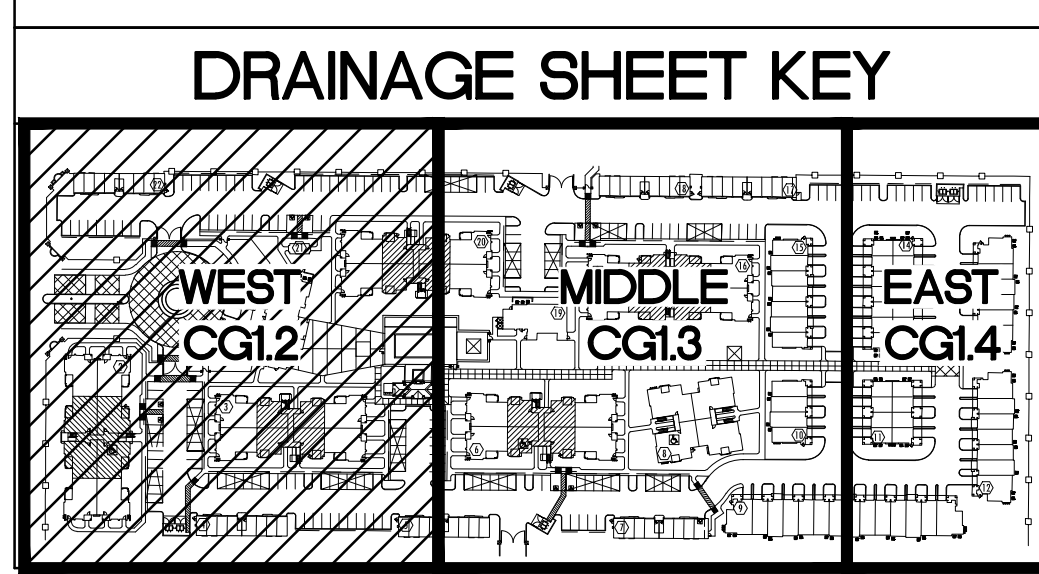
DATE: JUNE, 2014 ORB # 13-220

CG1.1

OVERALL
GRADING AND DRAINAGE PLAN



- ### KEYED NOTES
- THESE NOTES ARE REFERENCED ON SHEETS CG1.2, CG1.3 AND CG1.4. NOT ALL NOTES ARE USED ON EACH SHEET.
- SPOT ELEVATION LABELS WITHIN GUTTER AREA REPRESENT FLOWLINE UNLESS NOTED. ADD 0.5' TYPICAL FOR TOP OF CURB / TOP OF ADJACENT WALK ELEVATIONS.
 - SEE PUBLIC WORK ORDER DRAWINGS FOR CONSTRUCTION WITHIN R.O.W. INCLUDING NEW ACCESS DRIVES WITH CONCRETE VALLEY GUTTER, HANDICAP RAMPS, PUBLIC SIDEWALKS, COVERED SIDEWALK CULVERTS, CURB OPENINGS ETC. GRADES SHOWN FOR INFORMATION ONLY.
 - SEE PUBLIC WORK ORDER DRAWINGS FOR CONSTRUCTION OF PUBLIC STORM SEWER SYSTEM WITHIN PUBLIC DRAINAGE EASEMENT THIS AREA.
 - CONSTRUCT PAVING, CURBS, WALKS AT ELEVATIONS SHOWN. SEE PAVING DETAILS AND ARCHITECTURAL SITE DETAILS FOR ADDITIONAL INFORMATION. NOTE THAT PAVEMENT SLOPES AND CROSS-SLOPES VARY THROUGHOUT TO ACHIEVE GRADES NECESSARY TO ACHIEVE PEDESTRIAN ACCESS, STREET STORMWATER CAPACITIES, PIPE COVERAGE, ETC.
 - SLOPES WITHIN HANDICAP PARKING AREAS TO MEET ADA REQUIREMENTS. MAX. SLOPE = 2% IN ANY DIRECTION.
 - CONSTRUCT HANDICAP ACCESS RAMP TO ADA STANDARDS. SEE ARCHITECTURAL FOR DETAILS.
 - F.F. ELEVATION WITHIN THIS UNIT REFERENCES TOP OF CONCRETE STEP AT BACK OF GARAGE. GRADE AT GARAGE DOOR TO BE 6" BELOW F.F. TO ACCOMMODATE 4" STEP AND PAD SLOPE.
 - REGRADE THIS AREA AS SHOWN TO ACCOMMODATE TEMPORARY STORM DRAIN STANDPIPE FOR TRACT 3 AND 4 UNDEVELOPED FLOW. SEE PUBLIC WORK ORDER DRAWINGS FOR ADDITIONAL INFORMATION.
 - DEPRESS LANDSCAPING TO 6" (TYPICAL) TO COLLECT LOCALIZED STORMWATER. FLOW IN EXCESS OF AREA CAPACITY WILL OVERFLOW AT LOW POINT. NOTE: DO NOT DEPRESS LANDSCAPING WITHIN 10' OF ANY STRUCTURE.
 - BUILDING ROOF DISCHARGE TO BE RELEASED TO ALL SIDES. PROVIDE CONCRETE SPLASH BLOCK AT DOWNSPOUT LOCATIONS (TYPICAL).
 - PROVIDE DEFINED SWALE WITHIN LANDSCAPING THIS AREA.
 - PROVIDE 1' WIDE OPENING IN CURB TO PASS FLOW.
 - CONSTRUCT ON-SITE COVERED SIDEWALK CULVERT (WIDTH PER PLAN) PER C.O.A. STD. DWG. 2236.
 - INSTALL TWO 4" DIA. PVC PIPE DRAINS @ 2% SLOPE THROUGH SIDEWALK PER C.O.A. STD. DWG. 2235. GRADE WITHIN LANDSCAPE TO DIRECT FLOW TO OPENING.
 - CONSTRUCT PRIVATE STORM DRAIN SYSTEM. SEE SHEET CG5.1 FOR SIZES / SLOPES / INLET INFORMATION / MATERIALS.
 - CONNECTION TO PUBLIC STORM SEWER INLET TO BE CONSTRUCTED PER C.O.A. STD. DWG. 2237. SEE CG5.1 FOR ADDITIONAL INFORMATION.
 - NOTE: STORM DRAIN CROSSES PUBLIC UTILITY MAINS THIS AREA.
 - POOL AREA GRADES SHOWN FOR GENERAL INFORMATION ONLY. POOL CONTRACTOR TO PROVIDE FINAL DESIGN GRADES / DECK DRAINS ETC.
 - CONSTRUCT RETAINING STEMWALL THIS BUILDING TO ACHIEVE GRADES SHOWN. SEE ARCHITECTURAL.
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 - COORDINATE LANDSCAPING FEATURES I.E. MOW CURBS AND PUTTING GREEN WITH LANDSCAPE ARCHITECT WHILE MAINTAINING CLEAR DRAINAGE PATHS SHOWN.



BROADSTONE PROMENADE

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WorldHQ@ORBArch.com

ASA M. WILSON-WEBER
NEW MEXICO
17831
Professional Engineer
6-19-14

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Consulting Engineering Associates
Ph: 505-268-8828 www.isaacson.com
2025 CG 1.2 THRU 1.4.dwg Jun 19, 2014

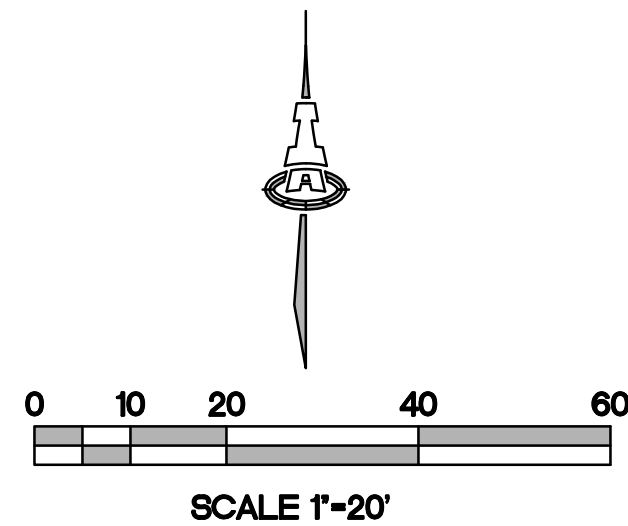
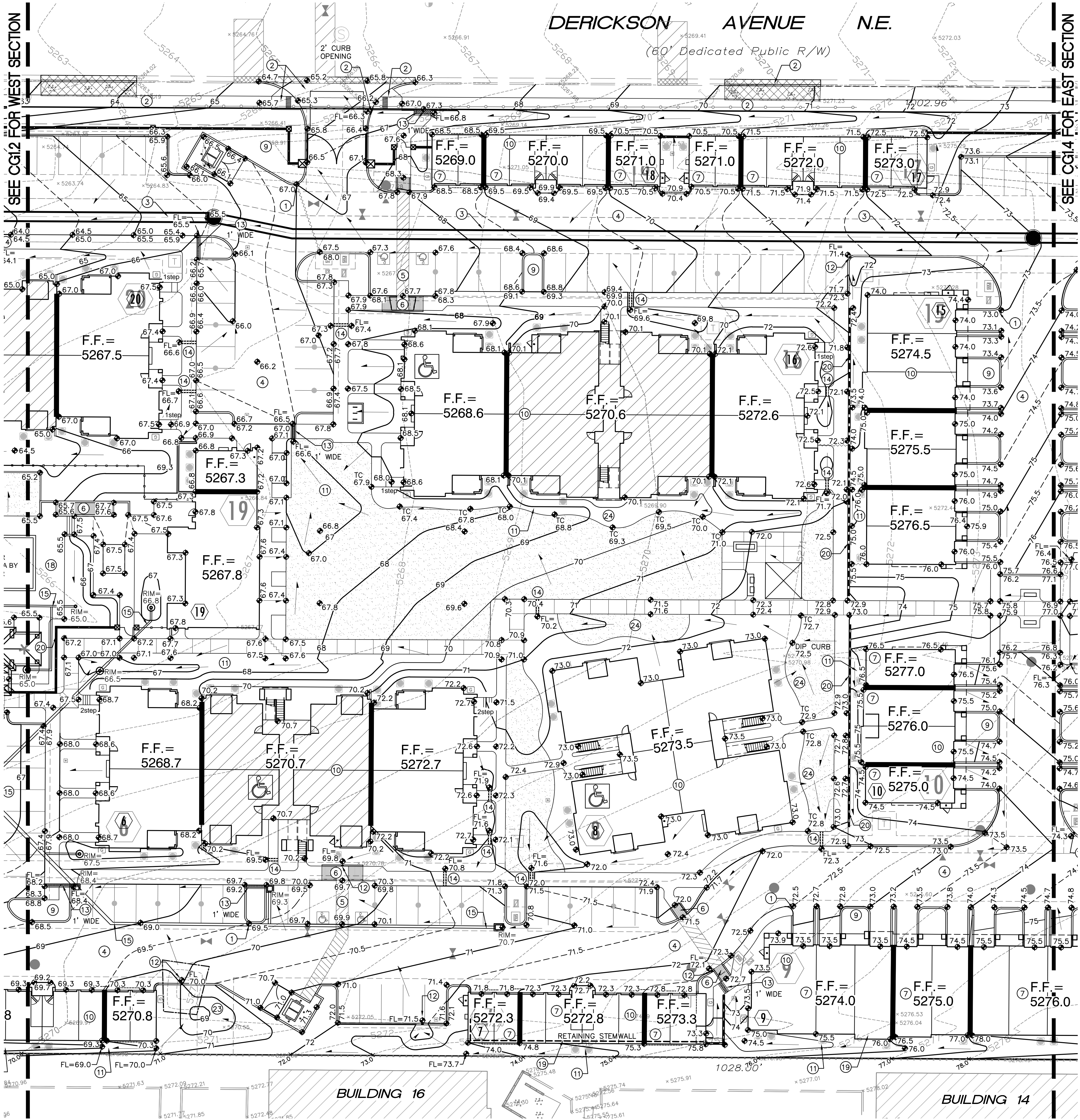
REVISIONS

NO.	DESCRIPTION	DATE

DATE: JUNE, 2014 ORB # 13-220

CG1.2

WEST
GRADING AND DRAINAGE PLAN

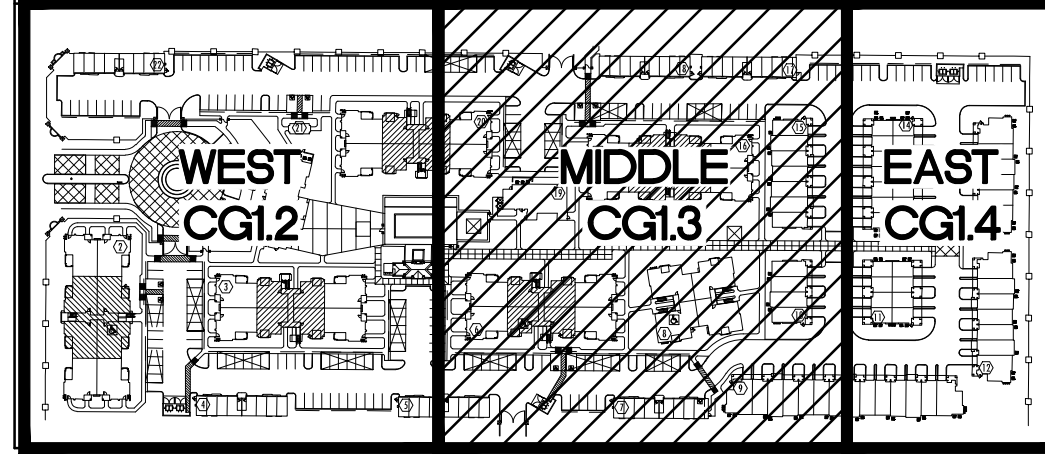


KEYED NOTES

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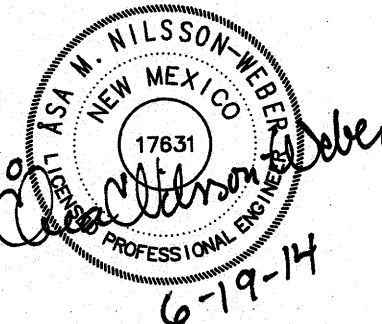
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DRAINAGE SHEET KEY



BROADSTONE PROMENADE

6400 SAN PEDRO DRIVE NE
Albuquerque, New Mexico



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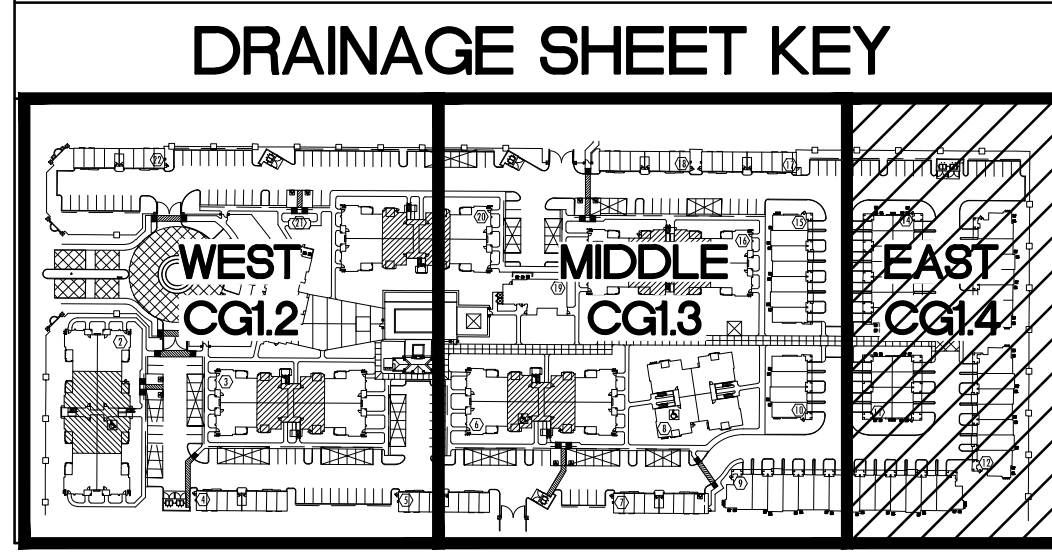
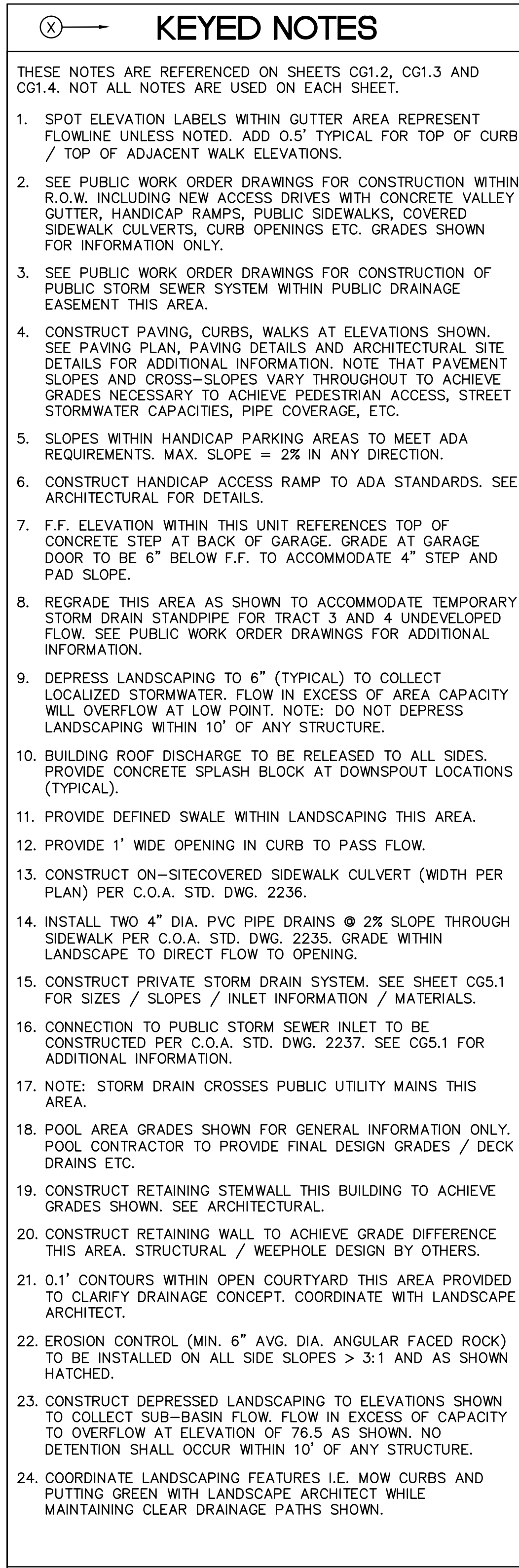
REVISIONS

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DATE: JUNE, 2014 ORB # 13-220

CG1.3

MIDDLE
GRADING AND DRAINAGE PLAN



The image displays a professional engineer's seal for Isaacson & Arfman, P.A., a Consulting Engineering Associates firm. The seal is circular, featuring the text "ISAACSON & ARFMAN, P.A." around the top inner edge, "NEW MEXICO" at the top, "197631" in the center, and "PROFESSIONAL ENGINEER" around the bottom inner edge. A signature, "Isaacson & Arfman", is written across the seal, and the date "6-19-14" is written below it. Below the seal are the logos for "TITAN DEVELOPMENT" and "ALLIANCE RESIDENTIAL COMPANY". The "TITAN DEVELOPMENT" logo consists of a stylized figure icon and the text "TITAN DEVELOPMENT". The "ALLIANCE RESIDENTIAL COMPANY" logo features a stylized diamond icon and the text "ALLIANCE RESIDENTIAL COMPANY". At the bottom is the logo for "ISAACSON & ARFMAN, P.A. Consulting Engineering Associates", which includes a stylized blue triangle icon and the text "ISAACSON & ARFMAN, P.A. Consulting Engineering Associates". Below this is the contact information: "Ph. 505-268-8828 www.isaacson.com" and "2025 CG 1.2 THRU 1.4.dwg Jun 19,2014".

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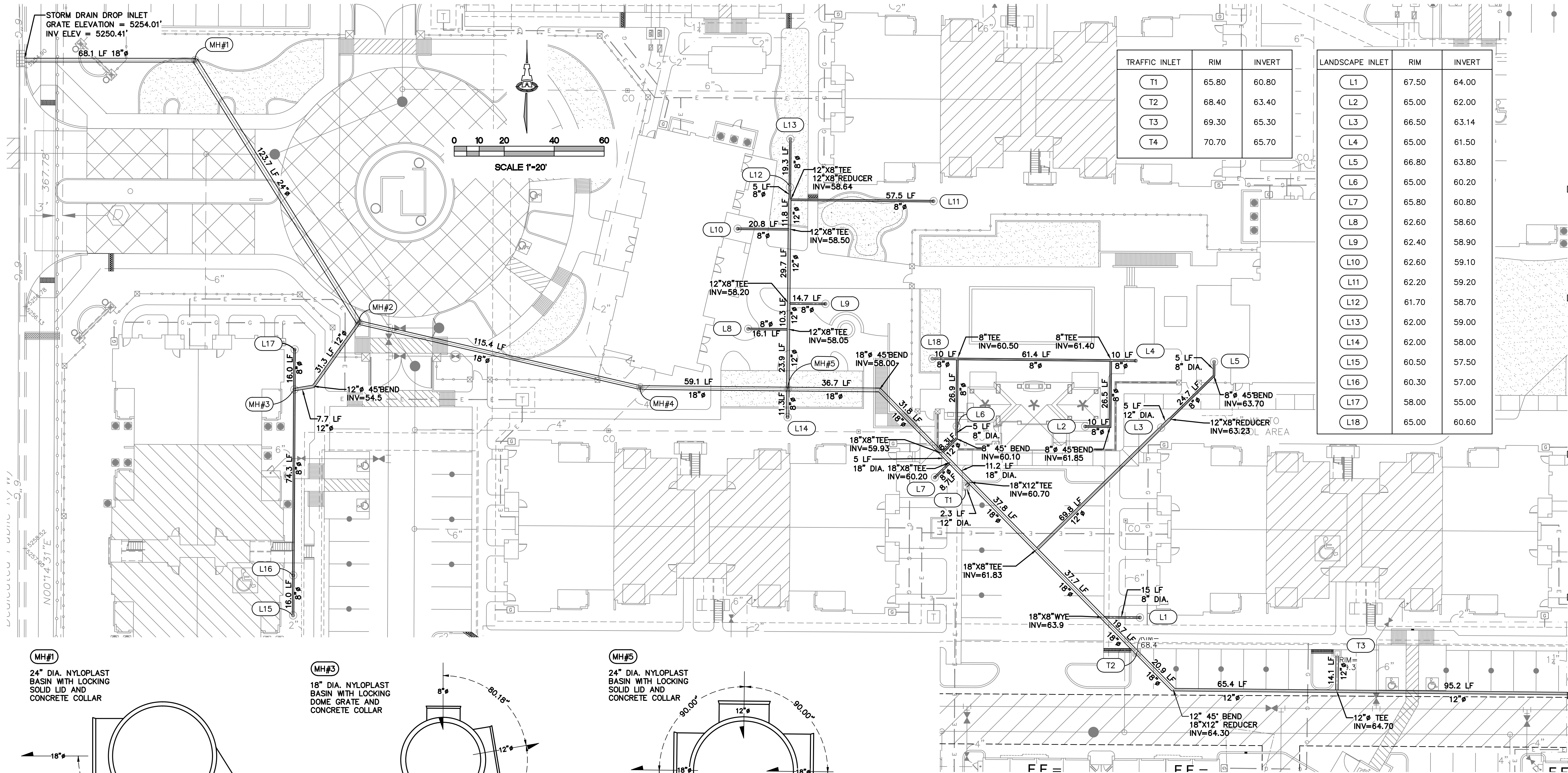
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DATE: JUNE, 2014 ORB # 13-220

CG1.4

EAST
GRADING AND DRAINAGE PLAN

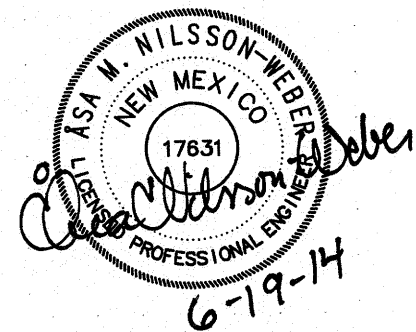


TRAFFIC INLET	RIM	INVERT
(T1)	65.80	60.80
(T2)	68.40	63.40
(T3)	69.30	65.30
(T4)	70.70	65.70

LANDSCAPE INLET	RIM	INVERT
(L1)	67.50	64.00
(L2)	65.00	62.00
(L3)	66.50	63.14
(L4)	65.00	61.50
(L5)	66.80	63.80
(L6)	65.00	60.20
(L7)	65.80	60.80
(L8)	62.60	58.60
(L9)	62.40	58.90
(L10)	62.60	59.10
(L11)	62.20	59.20
(L12)	61.70	58.70
(L13)	62.00	59.00
(L14)	62.00	58.00
(L15)	60.50	57.50
(L16)	60.30	57.00
(L17)	58.00	55.00
(L18)	65.00	60.60

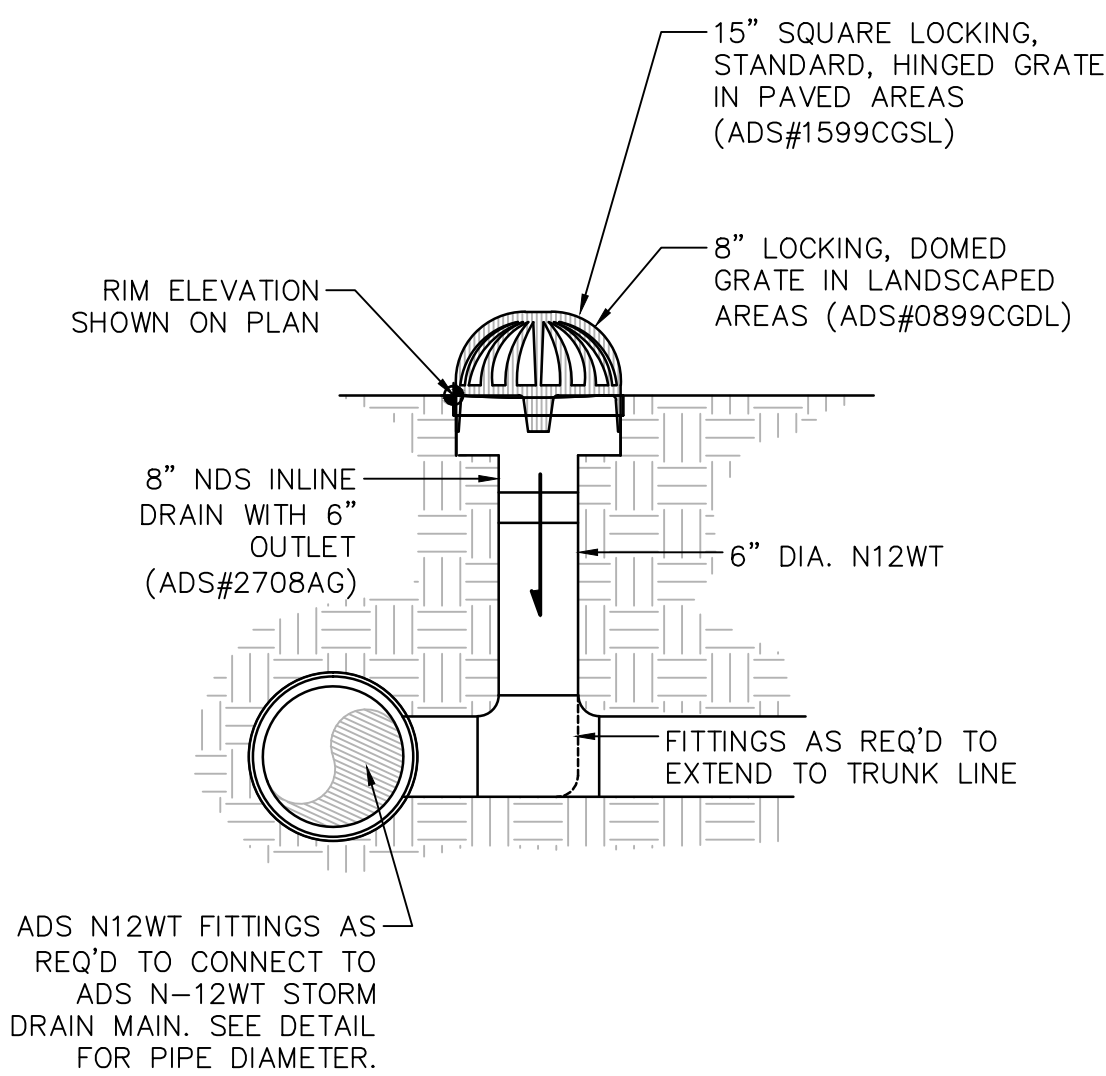
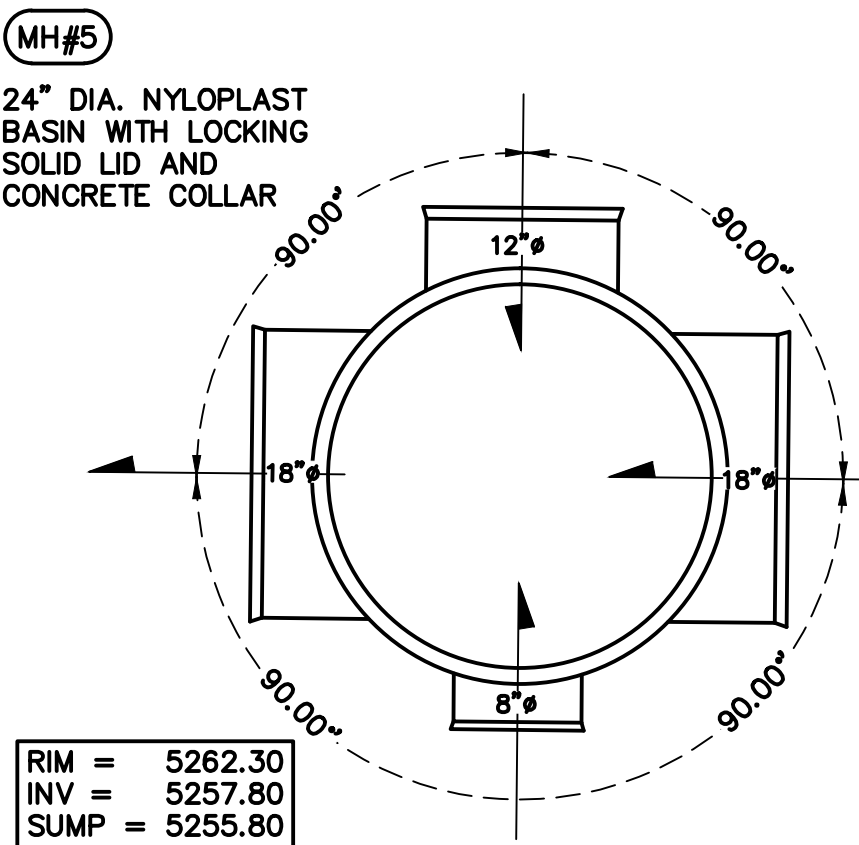
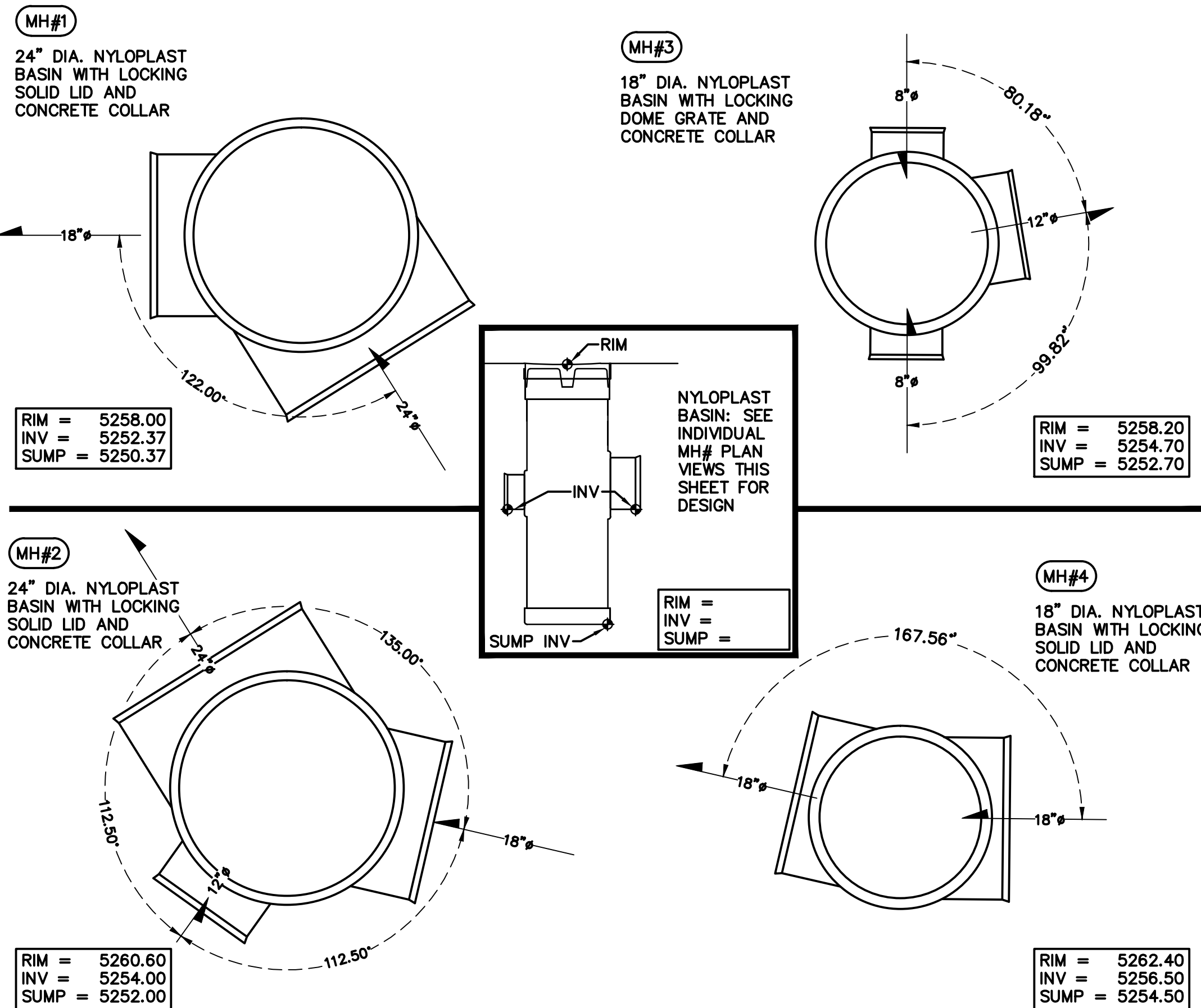
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**ISAACSON &
AREMAN, P.A.**
Consulting Engineering Associates
Ph. 505-268-8828 www.isaacson.com
2025 CG5.1.DWG May 22, 2014



LEGEND

- (T#) 2'X3' TRAFFIC RATED NYLOPLAST INLET.
- (L#) LANDSCAPE AREA INLET. 8" DIA. ADS INLINE DRAIN WITH 8" DOMED GRATE. EXTEND TO STORM DRAIN USING TEE'S SIZED AS REQUIRED.
- (MH#) NYLOPLAST BASIN. SEE DETAIL: ADS NYLOPLAST BASIN MANHOLES THIS SHEET FOR SIZES, PIPE INVERT(S), SUMP INVERT, GRATE TYPE, ETC.

GENERAL NOTES

- A. INSTALL ALL STORM DRAIN INLETS AND PIPE PER MANUFACTURER'S SPECIFICATIONS.
- B. ALL STORM DRAIN LINES AND FITTINGS TO BE ADS N-12WT WATERTIGHT.
- C. STORM DRAIN SYSTEM WILL REQUIRE REGULAR MAINTENANCE TO ENSURE PROPER FUNCTIONING DURING STORM EVENTS. ENGINEER RECOMMENDS THAT PROPERTY OWNER PUT IN PLACE INSPECTION AND MAINTENANCE CRITERIA SCHEDULED TO ON A REGULAR BASIS AND AFTER EACH STORM EVENT.

Contractor must verify all dimensions at project before proceeding with this work.
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REVISIONS

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DATE: JUNE, 2014 ORB # 13-220

CG5.1

STORM DRAIN
DETAILS

ADS NYLOPLAST BASIN MANHOLES
DESIGN INFORMATION

IN-LINE DRAIN

SEE STORM DRAIN EXHIBIT (L#)

SCALE: N.T.S.

SCALE: N.T.S.