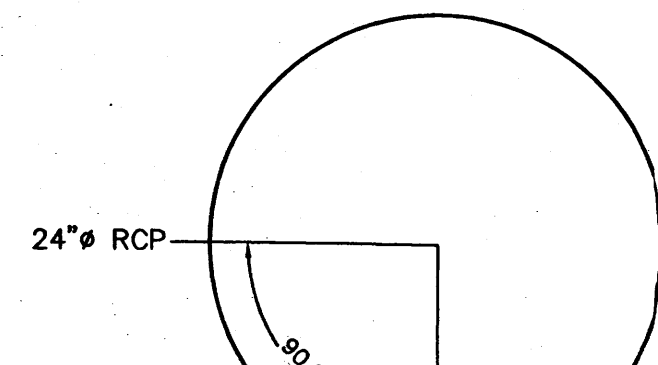
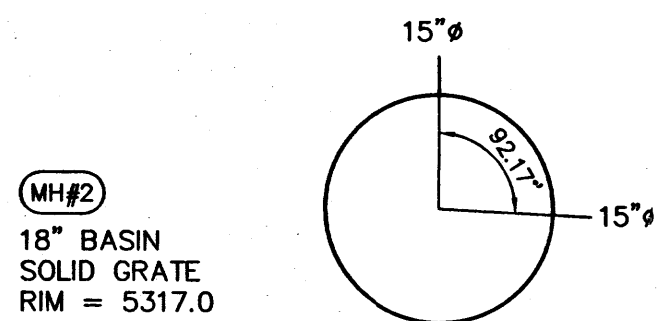


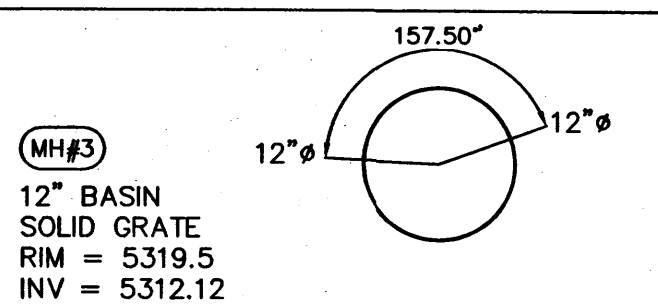
NYLOPLAST BASIN DESIGNS



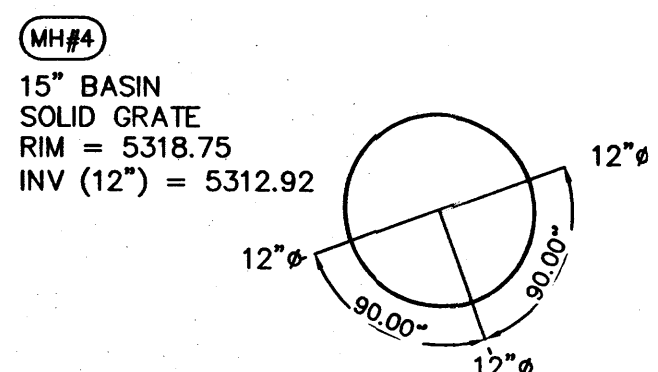
(MH#1)
30" BASIN
DOMED INLET GRATE
RIM=5311.0
INV IN (15") = 5307.6
INV OUT (24" RCP) = 5300.6



(MH#2)
18" BASIN
SOLID GRATE
RIM = 5317.0
INV = 5309.75



(MH#3)
12" BASIN
SOLID GRATE
RIM = 5319.5
INV = 5312.12



(MH#4)
15" BASIN
SOLID GRATE
RIM = 5318.75
INV (12") = 5312.92

CONC. HEADWALL AT
END OF PIPE
SEE DETAIL SHEET CG-501
INV=5306.00

TEMPORARY 24" BEND
AND 24" ADS INLINE DRAIN
WITH DOMED GRATE
(BUBBLE UP OUTLET)
RIM = 5305.0
INV=5300.0. INSTALL
15" X 1' DEEP
FRACTURED FACE ROCK
EROSION PROTECTION

(MH#1)
RIM=11.0
INV=7.56(15)

30.0 LF
24" RCP
S=2.00%

15" X 1' DEEP
FRACTURED FACE ROCK
EROSION PROTECTION

15" X 1' DEEP
FRACTURED FACE ROCK
EROSION PROTECTION

15" X 1' DEEP
FRACTURED FACE ROCK
EROSION PROTECTION

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EROSION PROTECTION

15" X 1' DEEP
FRACTURED FACE ROCK
EROSION PROTECTION

15" X 1' DEEP
FRACTURED FACE ROCK
EROSION PROTECTION

- A. ALL PRIVATE STORM DRAIN LINES AND FITTINGS SHALL BE THE FOLLOWING MATERIAL:**
- < 12" DIA. SHALL BE EITHER ADS N-12 WT PIPE OR SDR 35.
 - = 12" DIA. SHALL BE ADS MEGA GREEN WT PIPE OR SDR 35.
 - > 12" DIA. SHALL BE ADS MEGA GREEN WT PIPE.
- SCHEDULE 80 PVC WHERE NOTED
- B. INSTALL ALL STORM DRAIN INLETS AND PIPE PER MANUFACTURER'S SPECIFICATIONS.**
- C. STORM DRAIN SYSTEM WILL REQUIRE REGULAR MAINTENANCE TO ENSURE PROPER FUNCTIONING DURING STORM EVENTS. ENGINEER RECOMMENDS THAT OWNER PUT IN PLACE INSPECTION AND MAINTENANCE REQUIREMENTS SCHEDULED TO OCCUR MONTHLY AND AFTER EACH STORM EVENT.**

NYLOPLAST BASIN -
SEE BASIN DESIGN
DETAILS THIS SHEET FOR
DIAMETER, CONNECTING
PIPE SIZES, PIPE
ANGLES, RIM, AND
INVERT.

ADS NYLOPLAST BASIN MANHOLES
GENERAL DESIGN INFORMATION

SCALE: N.T.S.

- (CO)** ALL CLEANOUTS (CO) AND DOUBLE CLEANOUTS (DCO):
- 8" ADS INLINE DRAIN WITH 6" OUT.
 - 8" X 6" TEE
 - LOCKING SOLID GRATE
 - 8" WIDE X 6" DEEP CONCRETE COLLAR
- (RD-P)** ROOF DRAIN DISCHARGE TO BELOW GRADE. EXTEND PER NOTES USING FITTINGS AS REQUIRED.
- (LD#)** STORM DRAIN INLET IN NON-PAVED AREAS SHALL BE CONSTRUCTED WITH:
- 8" ADS INLINE DRAIN WITH 8" OUT
 - LOCKING DOMED GRATE
 - 8" WIDE X 6" DEEP CONCRETE COLLAR
- (MH#)** MANHOLES SHALL BE CONSTRUCTED WITH:
- ADS NYLOPLAST BASIN (*)
 - 2' SUMP
 - LOCKING GRATE (*)
 - 8" WIDE X 6" DEEP CONCRETE COLLAR
- (*SEE INDIVIDUAL BASIN DESIGNS THIS SHEET)

STORM DRAIN STRUCTURES

SCALE: N.T.S.



ÉLAN
A Senior Lifestyle

Élan-Santa Monica Place

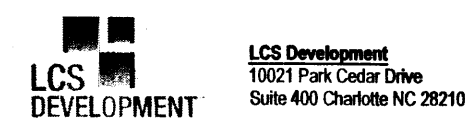
6901 San Vicente Ave. NE
Albuquerque, NM 87109

OWNER:

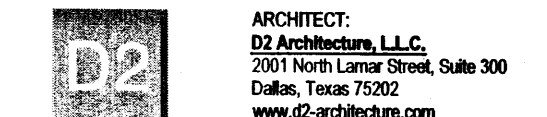


TITAN SENIOR LIVING
6300 Riverside Plaza Ln. NW #200
Albuquerque, New Mexico 87120

DEVELOPMENT CONSULTANT:



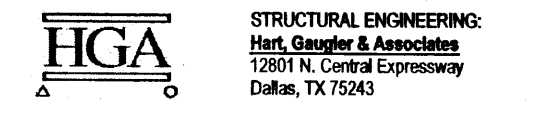
DESIGN TEAM:



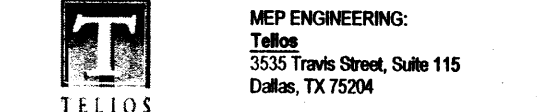
ARCHITECT:
D2 Architecture, L.L.C.
2001 North Lamar Street, Suite 300
Dallas, Texas 75202
www.d2-architecture.com



INTERIOR DESIGNER:
Direct Supply Architects
6707 N. Industrial Road
Milwaukee, WI 53223



STRUCTURAL ENGINEERING:
Hart, Douglas & Associates
12801 N. Central Expressway
Dallas, TX 75243



MEP ENGINEERING:
Telios
3535 Travis Street, Suite 115
Dallas, TX 75204



CIVIL ENGINEERING:
Hasson & Arman, P.A.
125 Monroe Street NE
Albuquerque, NM 87109

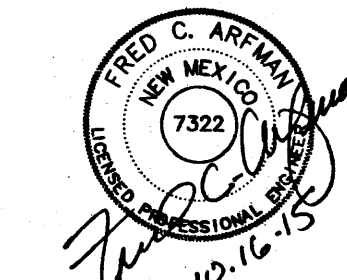


LANDSCAPE ARCHITECT:
Hilltop Landscape Architects
7703 Edin Drive
Albuquerque, NM 87104



FOOD SERVICES DESIGNER:
Direct Supply Architects
6707 N. Industrial Road
Milwaukee, WI 53223

Seal:



No. Date Revisions

1 11/11/2015 BID CLARIFICATIONS

D2 Project No: 13019.00
Stage: CONSTRUCTION DOCUMENTS
Sheet Issue Date: 11/20/15
Scale: As indicated

Dwg. Name:
STORM DRAIN DETAILS

Dwg. No.

CG-501

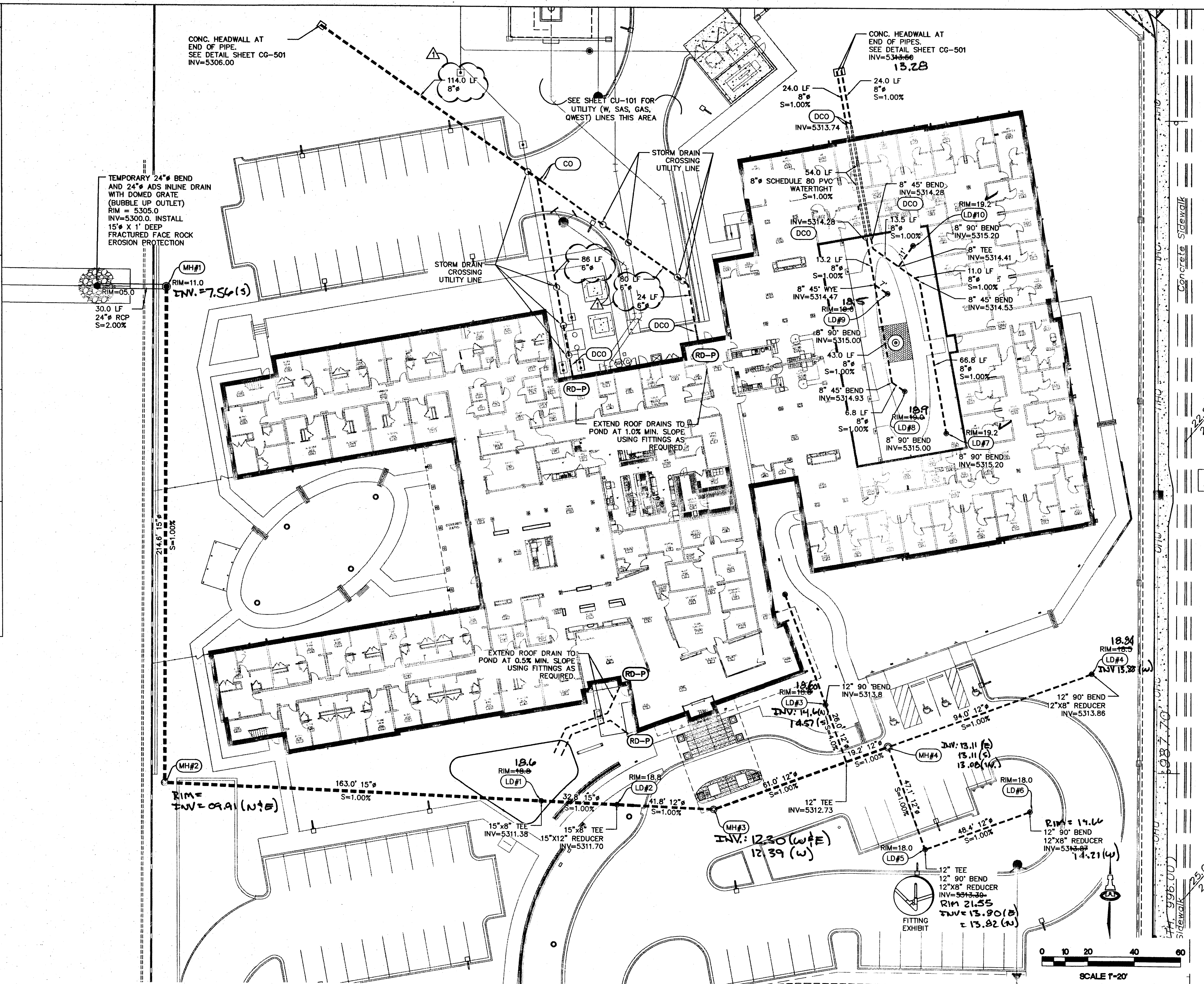
9/2/2015 5:50:23 PM

(MH#1)
 30" BASIN
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 RIM=5311.0
 INV IN (15") = 5307.6
 INV OUT (24" RCP) = 5300.6

(MH#2)
 18" BASIN
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 RIM = 5317.0
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(MH#3)
 12" BASIN
 SOLID GRATE
 RIM = 5319.5
 INV = 5312.12

(MH#4)
 15" BASIN
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 RIM = 5318.75
 INV (12") = 5312.92



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= 12" DIA. SHALL BE ADS MEGA GREEN WT PIPE OR SDR 35,
> 12" DIA. SHALL BE ADS MEGA GREEN WT PIPE.
- SCHEDULE 80 PVC WHEN NOTED
- B. INSTALL ALL STORM DRAIN INLETS AND PIPE PER MANUFACTURER'S SPECIFICATIONS.
- C. STORM DRAIN SYSTEM WILL REQUIRE REGULAR MAINTENANCE TO ENSURE PROPER FUNCTIONING DURING STORM EVENTS. ENGINEER RECOMMENDS THAT OWNER PUT IN PLACE WEEKLY AND MONTHLY MAINTENANCE REQUIREMENTS SCHEDULED TO OCCUR MONTHLY AND AFTER EACH STORM EVENT.

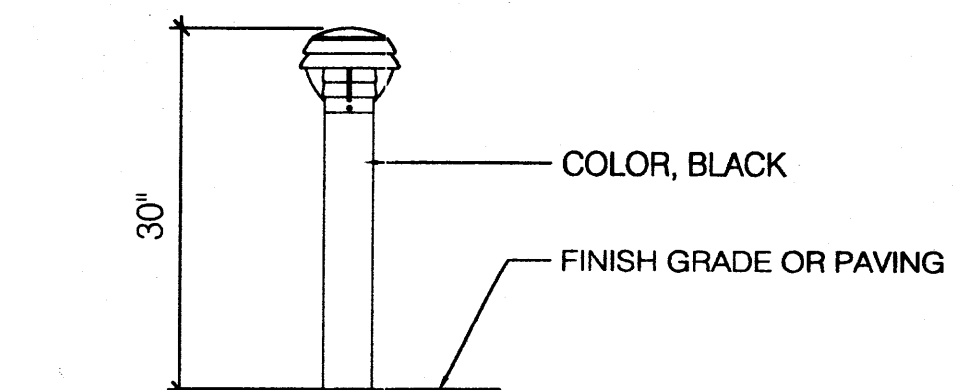
Diagram illustrating a 2' SUMP configuration. The sump is shown with a locking grate on top, which is 8" wide x 6" deep concrete collar. The basin design is shown as a sheet for connecting pipe 4, and the design is inverted per basin design.

- ## STORM DRAIN STRUCTURES

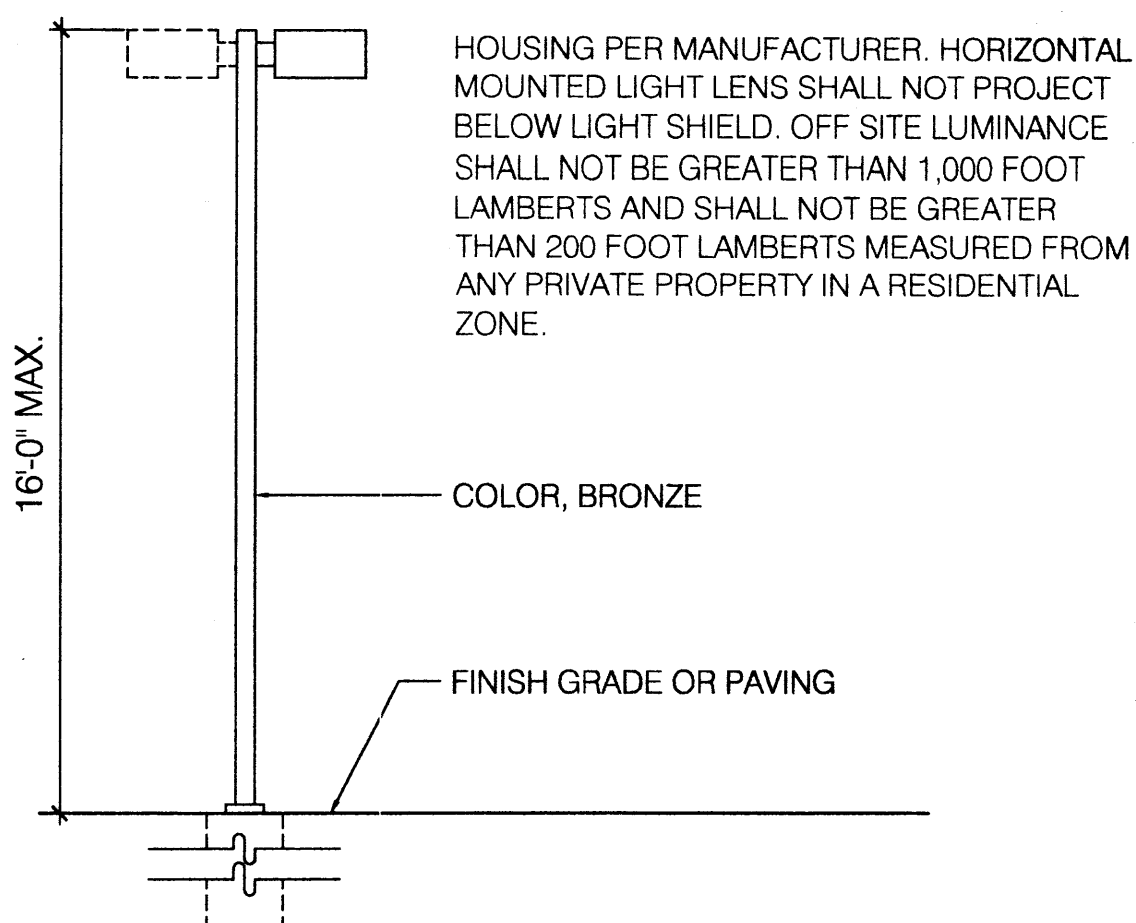
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D2 Project No:	13019.00
Stage:	CONSTRUCT
Sheet Issue Date:	11/20/15
Scale:	As indicated
Dwg. Name:	
STORM DRAIN DETAILS	
Dwg. No.	

CG-501



BOLLARD LIGHT FIXTURE DETAIL Not to Scale

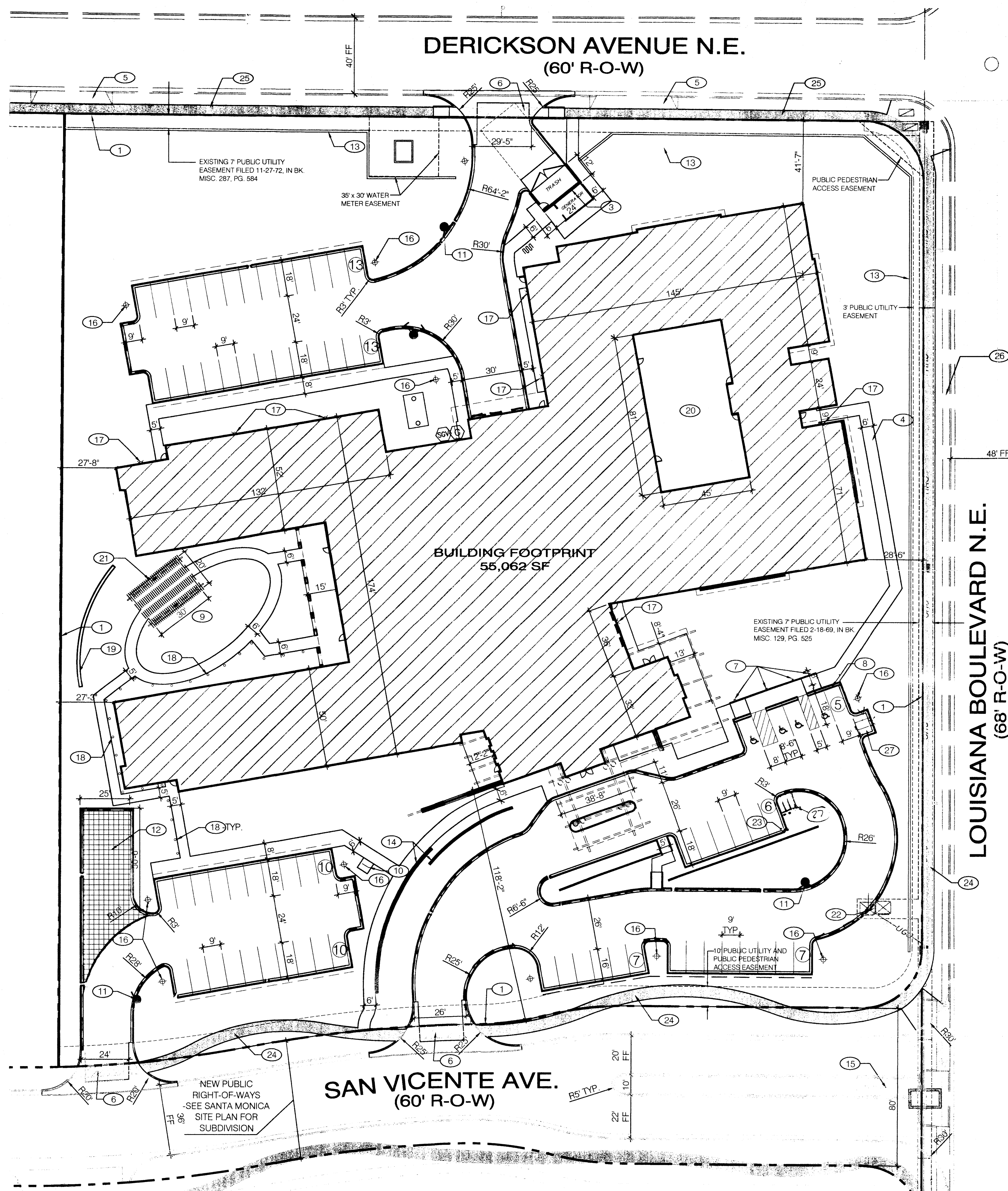


LIGHT FIXTURE DETAIL Not to Scale

- KEY NOTES
- 1 PROPERTY LINE
 - 2 RETAINING WALL (SEE GRADING/DRAINAGE SHEET)
 - 3 TRASH ENCLOSURE
 - 4 ADA ACCESSIBLE CONCRETE SIDEWALK
 - 5 DRIVEWAY TO BE REMOVED
 - 6 COLORED, TEXTURED PEDESTRIAN CROSSING, TYP
 - 7 HANDICAP SIGN, TYP. (12"x18" MOUNTED ON POLE)
 - 8 PRECAST CONCRETE WHEEL STOPS
 - 9 OUTDOOR PATIO (600 SF)
 - 10 BICYCLE RACK
 - 11 FIRE HYDRANT
 - 12 FIRE ACCESS WITH THE PERMEABLE PAVEMENT
 - 13 4' PERIMETER FENCE/WALL (SEE SITE PLAN FOR SUBDIVISION)
 - 14 DECORATIVE WINGWALL WITH PROJECT SIGNAGE (SEE BUILDING ELEVATION SHEET 9)
 - 15 SANTA MONICA PLACE MONUMENT SIGN (SEE SITE PLAN FOR SUBDIVISION)
 - 16 POLE MOUNTED LIGHT. (LOCATION IS CONCEPTUAL AND SUBJECT TO CHANGE DEPENDING ON PHOTOMETRIC PLAN)
 - 17 WALL MOUNTED LIGHT
 - 18 BOLLARD LIGHT
 - 19 DECORATIVE WINGWALL
 - 20 INTERIOR COURTYARD
 - 21 TRELLIS SHADE STRUCTURE
 - 22 TRANSFORMERS MAY BE REPLACED, RELOCATED, OR ABANDONED
 - 23 CURB OPENING FOR WATER HARVESTING PURPOSES (TYP)
 - 24 PROPOSED NEW 6' SIDEWALK
 - 25 PROPOSED NEW 5' SIDEWALK
 - 26 EXISTING SIDEWALK (TO BE REMOVED)
 - 27 MOTORCYCLE PARKING W/SIGN

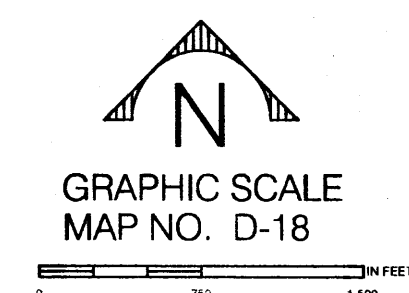
GENERAL NOTES:

1. ALL LIGHTING SHALL COMPLY WITH THE CITY COMPREHENSIVE ZONING CODE OF §14-16-3-9 AREA REGULATIONS.
2. ROOF-MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED.
3. RAINWATER HARVESTING MEASURES, SUCH AS CURB CUTS, SHALL BE PROVIDED. SEE GRADING/DRAINAGE SHEET.
4. ALL SCREENING AND VEGETATION SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS SHALL ALLOW 10 FEET OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5-6 FEET OF CLEARANCE ON THE REMAINING THREE SIDES FOR SAFE OPERATION, MAINTENANCE, AND REPAIR PURPOSES.
5. PNM COORDINATION: DEVELOPMENT SHALL ABIDE BY ALL CONDITIONS OR TERMS OF UTILITY EASEMENTS PRIOR TO DEVELOPMENT. CONTACT SHALL BE MADE TO PNM'S NEW SERVICE DELIVERY DEPARTMENT TO COORDINATE ELECTRIC SERVICE AND OPTIONS FOR THE LOCATION OF ELECTRIC SERVICE CONNECTION.
6. ALL SIDEWALKS, RAMPS (INCLUDING REQUIRED TRUNCATED DOMES) CURB CUTS, AND CURB AND GUTTER SHALL BE BUILT PER C.O.A STANDARD DRAWINGS; SIDEWALK (2430), RAMPS (2440), CURB CUTS (2426), CURB AND GUTTER (2417A).
7. CLEAR SIGHT DISTANCE: LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA. (SEE LANDSCAPE PLAN, SHEET 2, FOR SIGHT TRIANGLE).



Note: Curb opening locations (for water harvesting) are shown conceptually and shall be located and sized with final design.

VICINITY MAP



SITE DATA:
LEGAL DESCRIPTION: A PORTION OF TRACT 3, UNIT A BLOCK 18, NORTH ALBUQUERQUE ACRES.
SITE AREA: 4.60 AC.
PROPOSED LAND USE: ASSISTED LIVING AND MEMORY CARE FACILITY, INCLUDING 78 ASSISTED LIVING ROOMS AND 36 MEMORY CARE ROOMS, TOTAL OF 124 BEDS.

BUILDING AREA: 89,000 S.F.
MAXIMUM BUILDING HEIGHT: 40 FEET.
PARKING: REQUIRED MINIMUM PARKING: 1 SPACE PER 2 BEDS
TOTAL PARKING REQUIRED: 62
TOTAL PROVIDED PARKING: 72
HANDICAPPED REQUIRED: 4
HANDICAPPED PROVIDED: 4
MOTORCYCLE PARKING REQUIRED: 3
MOTORCYCLE PARKING PROVIDED: 3
BICYCLE REQUIRED: 4
BICYCLE PROVIDED: 4

--- FIRE LANE (CURB PAINTED RED; NOTED "FIRE LANE- NO PARKING")

PROJECT NUMBER: 1010144
Application Number: 14EPC-40042

This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated August 14, 2014, and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

10-29-14 Date
Traffic Engineering, Transportation Division
10-29-14 Date
ABCWUA
10-29-14 Date
Parks and Recreation Department
10-30-14 Date
City Engineer
10-14-14 Date
Solid Waste Management
10-30-14 Date
DRB Chairperson, Planning Department

ÉLAN-SANTA MONICA PLACE
(Senior Assisted Living/Memory Care)

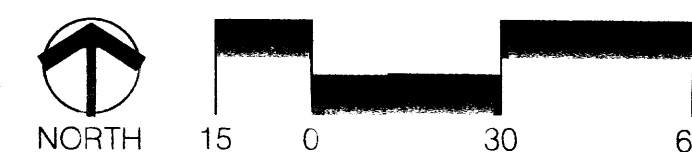
SITE PLAN FOR BUILDING PERMIT

Prepared For:
Titan Senior Living - Santa Monica
6300 Riverside Plaza Lane NW Suite 200
Albuquerque, NM 87120

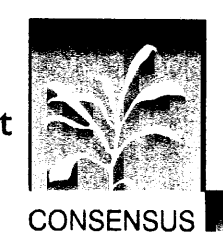
Prepared By:
Consensus Planning, Inc.
302 Eighth Street NW
Albuquerque, NM 87102

Isaacson & Arfman, P.A.
128 Monroe Street NE
Albuquerque, NM 87108

D2 Architecture
2001 North Lamar Street
Suite 450
Dallas, TX 75202

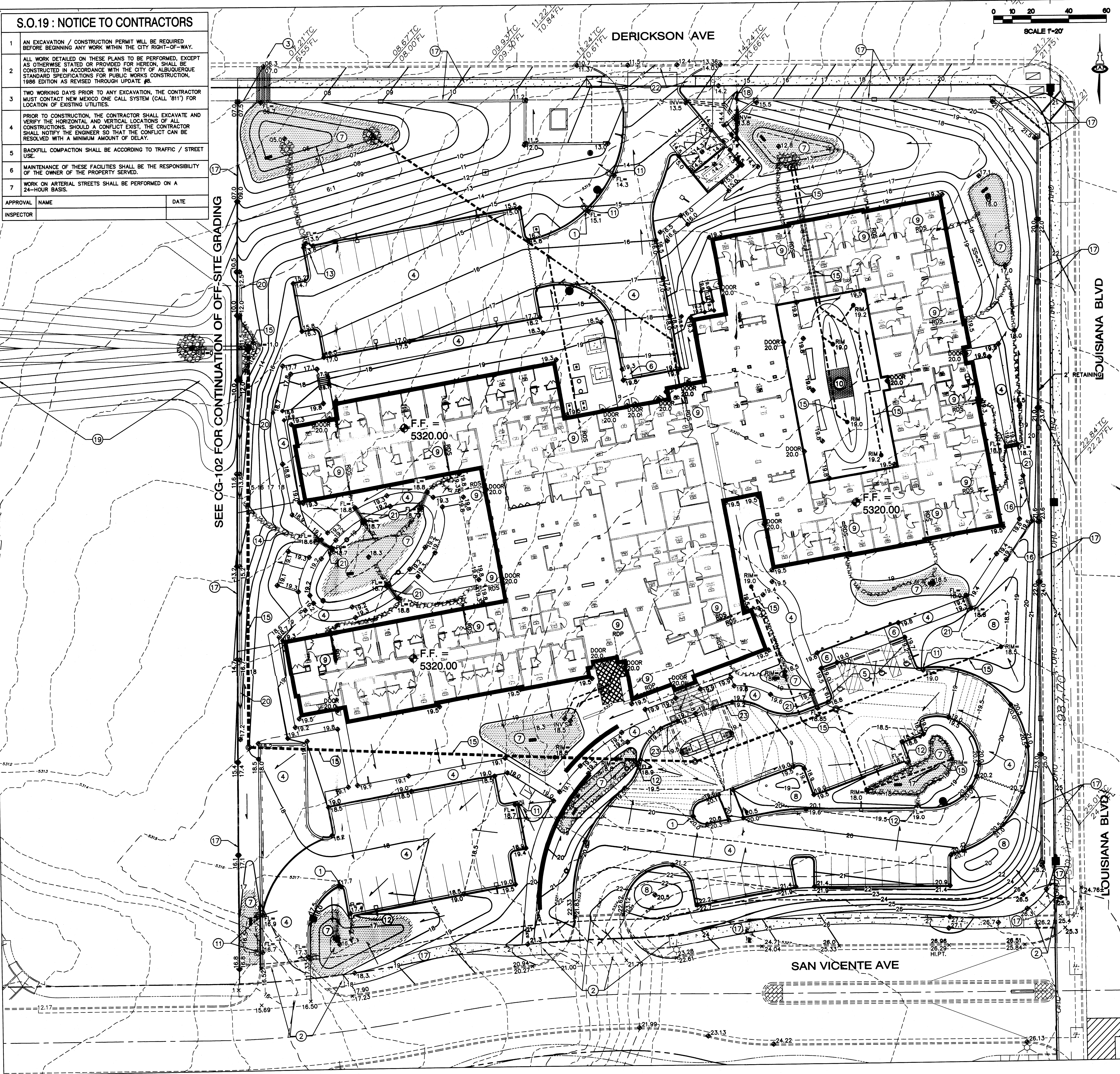


OCTOBER 14, 2014



SHEET 1 OF 9

1	AN EXCAVATION / CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY.		
2	ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY / ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS REVISED THROUGH UPDATE #8.		
3	TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (CALL '811') FOR LOCATION OF EXISTING UTILITIES.		
4	PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CITY. THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.		
5	BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC / STREET USE.		
6	MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.		
7	WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.		
APPROVAL		NAME	DATE
INSPECTOR			



1. SPOT ELEVATION LABELS WITHIN GUTTER AREA REPRESENT FLOWLINE UNLESS NOTED. ADD 0.5" TYPICAL FOR TOP OF CURB / TOP OF ADJACENT WALL ELEVATIONS.
2. PROVIDE SMOOTH TRANSITIONS TO EXISTING ACCESS DRIVE, ADA RAMPS & VALLEY GUTTER.
3. CONSTRUCT THREE 24" WIDE COVERED SIDEWALK CULVERTS PER C.O.A. STD. DWG. 2236. S.O.19 PERMIT REQUIRED FOR STORM DRAIN IMPROVEMENTS WITHIN PUBLIC R.O.W. SEE S.O.19 REQUIREMENTS THIS SHEET. SEE CG-502 FOR ADDITIONAL INFORMATION.
4. CONSTRUCT ONSITE PAVING, CURB & GUTTER, AND WALKS AT ELEVATIONS SHOWN. SEE PAVING PLAN, PAVING DETAILS AND SITE DETAILS FOR ADDITIONAL INFORMATION. NOTE THAT PAVEMENT SLOPES AND CROSS-SLOPES VARY THROUGHOUT TO ACHIEVE GRADES NECESSARY TO ACHIEVE ADA COMPLIANCE. FIRST FLUSH REQUIREMENTS, PIPE COVERAGE, ETC. SEE LEGEND FOR 1', 0.5' AND 0.1' CONTOUR LINETYPES PROVIDED TO CLARIFY DRAINAGE CONCEPT.
5. SLOPES WITHIN HANDICAP PARKING AREAS TO MEET ADA REQUIREMENTS. MAX. SLOPE = 2% IN ANY DIRECTION.
6. CONSTRUCT HANDICAP ACCESS RAMP TO ADA STANDARDS. SEE SHEET CP-501 FOR DETAILS.
7. GRADE FIRST FLUSH RETENTION BASIN (F.F.BASIN) SEE SHEET CG-502 FOR FINISH GRADE FOR ELEVATION. BOTTOM ELEVATION AND VOLUME REQUIRED (SEE CG-100; GENERAL NOTE "P"). CONSTRUCT A PERCOLATION PIT WITHIN EACH F.F.BASIN. SEE CG-502 FOR DETAIL. NOTE: GRADING OF F.F.BASINS WILL BE INFERRED AS PART OF ENGINEER'S OBLIGATION FOR CERT. OF OCCUPANCY. DURING LANDSCAPING, F.F.BASINS WILL BE SMOOTHLY INTEGRATED INTO LANDSCAPING WHILE MAINTAINING REQUIRED TOP AND BOTTOM ELEVATION, VOLUME AND INLET / OVERFLOW ELEVATIONS.
8. LANDSCAPING TO BE DEPRESSED 6" TO CAPTURE STORMWATER WHEN IT FALLS ON IT. SEE LANDSCAPE PLAN. NOTE: IT IS NOT DEPRESSURED WITHIN 10' OF ANY STRUCTURE. TYPICAL
9. BUILDING ROOF DISCHARGE LOCATION TO SURFACE GRADE. CONSTRUCT F.F. ROCK SWALE INTEGRATED WITH LANDSCAPING TO RETENTION POND BOTTOM. SEE DETAIL SHEET CG-502. SEE SHEETS 14.41 AND 44.01 FOR ADDITIONAL ROOF DRAIN INFORMATION.
10. GRADES WITHIN INTERIOR COURTYARD ARE PROVIDED FOR GENERAL INFORMATION TO INDICATE POSITIVE DRAINAGE AWAY FROM BUILDING TO PROPOSED STORM DRAIN INLETS. COORDINATE WITH ARCHITECT TO RETAIN INLETS. INSTALL FOUR STORM DRAIN INLETS AT RIM ELEVATIONS SHOWN. GRADE COURTYARD TO DRAIN TO INLETS @ MIN. 1% SLOPE.
11. PROVIDE 1' WIDE CURB OPENING TO PASS FLOW. SEE DETAIL SHEET CG-502. PROVIDE 3' X 3' X 12" DEEP F.F. ROCK EROSION PROTECTION AT OUTFALL (DO NOT BLOCK FLOWLINE).
12. CONSTRUCT 2' WIDE (BOTTOM WIDTH) CONCRETE RUNDOWN. CONSTRUCT F.F. ROCK SWALE INTEGRATED WITH LANDSCAPING TO RETENTION POND BOTTOM. SEE DETAIL SHEET CG-502.
13. CONSTRUCT 3' WIDE (BOTTOM WIDTH) CONCRETE RUNDOWN. CONSTRUCT F.F. ROCK SWALE INTEGRATED WITH LANDSCAPING TO RETENTION POND BOTTOM. SEE DETAIL SHEET CG-502.
14. CONSTRUCT F.F. ROCK SWALE INTEGRATED WITH LANDSCAPING FROM POND OVERFLOW ELEVATION TO CONCRETE ALLEY GUTTER. SEE DETAIL SHEET CG-502.
15. CONSTRUCT PRIVATE STORM DRAIN SYSTEM. SEE SHEET CG-501 FOR SIZES / SLOPES / INLET INFORMATION / MATERIALS.
16. CONSTRUCT LANDSCAPE WALLS (2' MAX. RETAINING WALL) TO ACHIEVE GRADE DIFFERENCE THIS AREA. SEE LANDSCAPE PLAN FOR DESIGN.
SEE SHEETS CP-501 AND CP-502 FOR PERIMETER WALL (WEST AND EAST) AND RETAIN 2' MAX. AS SHOWN) AND PUBLIC SIDEWALK CONSTRUCTION.
17. INSTALL THREE 4" DIAMETER PIPES FROM POND THROUGH PERIMETER WALL TO DISCHARGE TO PAVEMENT THROUGH FACE OF CURB AT INVERT ELEVATIONS SHOWN. PROVIDE FITTINGS AS REQUIRED.
18. CONSTRUCT OFF-SITE DRAINAGE IMPROVEMENTS AND TEMPORARY GRADING WITHIN ADJACENT PROPERTY (SAME OWNER - PERMITTED BY PLAT). SEE CG-102.
19. CONSTRUCT 250 Lr(4") CONCRETE ALLEY GUTTER PER C.O.A. STD. DWG. 2428. PROVIDE 2% SLOPE TO RETAIN WALL AT FLOWLINE ELEVATIONS SHOWN TO CONTROL GRADE.
20. CONSTRUCT 1' WIDE COVERED SIDEWALK CULVERT PER C.O.A. STD. DWG. 2236 AT FLOWLINE ELEVATIONS SHOWN.
21. CONSTRUCT NEW PRIVATE ENTRANCE PER C.O.A. STD. DWG. 2428. SEE CP-101 AND CP-501 FOR ADDITIONAL INFORMATION.
22. TRANSITION CURB FROM FLUSH TO 6" OVER 10'.
23. CONSTRUCT CONCRETE STEPS WITH FREE-STANDING HANDRAIL EA. SIDE. SEE CP-501 FOR DETAIL.
24. CONSTRUCT ADA COMPLIANT HANDICAP ACCESS RAMP WITH FREE-STANDING HANDRAIL EA. SIDE. SEE CONCRETE STEP DETAIL IN SHEET CP-501 FOR HANDRAIL REQUIREMENTS.

— 79 — PROPOSED CONTOUR — 1' INCREMENT
 - - - 75.5 - - - PROPOSED CONTOUR — 0.5' INCREMENT
 ◆ 75.1 PROPOSED CONTOUR — 0.1' INCREMENT
 ◆ 78.3 PROPOSED SPOT ELEVATION
 → FLOW ARROW
 → RDS ROOF DISCHARGE TO SURFACE
 F.F. XXXXXX FINISH FLOOR ELEVATION
 ◆ 78.3± EXISTING ELEVATION (±) TO MATCH.
 - - - - - PROVIDE SMOOTH TRANSITION.
 [Stippled Area] ROCK EROSION CONTROL
 [Thick Solid Line] PROPOSED STORM DRAIN (SEE CG5.1)
 FL= FLOWLINE ELEVATION
 INV= INVERT ELEVATION
 [Thick Solid Line] RETAINING WALL
 [Stippled Area with Dashed Line] 'FIRST FLUSH' RETENTION BASIN

U.S. DRAWING INFORMATION: 2047 CG-101.dwg Oct 21, 2015



**6901 San Vicente Ave. NE
Albuquerque, NM 87109**

OWNER



TITAN SENIOR LIVING
6300 Riverside Plaza Ln. NW #200
Albuquerque, New Mexico 87120

DEVELOPMENT CONSULTANT:

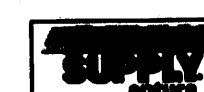


LCS Development
10021 Park Cedar Drive
Suite 400 Charlotte NC 28210

DESIGN TEAM:



ARCHITECT:
D2 Architecture, L.L.C.
2001 North Lamar Street, Suite 300
Dallas, Texas 75202
www.d2-architecture.com



INTERIOR DESIGNER:
Direct Supply Action
6767 N. Industrial Road
Milwaukee, WI 53223



STRUCTURAL ENGINEERING
Hart, Gaugler & Associates
12801 N. Central Expressway
Dallas, TX 75243



MEP ENGINEERING:
Telco
3535 Travis Street, Suite 115
Dallas, TX 75204



CIVIL ENGINEERING:
Jackson & Artman, P.A.
128 Monroe Street NE
Albuquerque, NM 87108

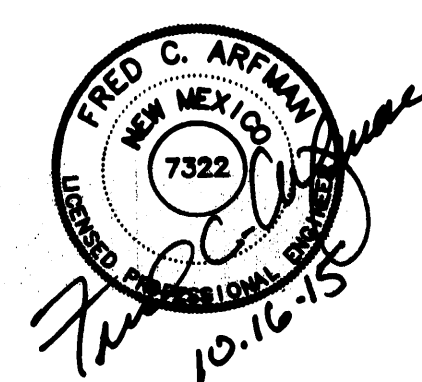


LANDSCAPE ARCHITECT:
Hilltop Landscape Architects
7909 Edith NE
Albuquerque, NM 87114



FOOD SERVICES DESIGNER
Direct Supply Aptura
6767 N. Industrial Road
Milwaukee, WI 53223

Seal:



No	Date	Revisions
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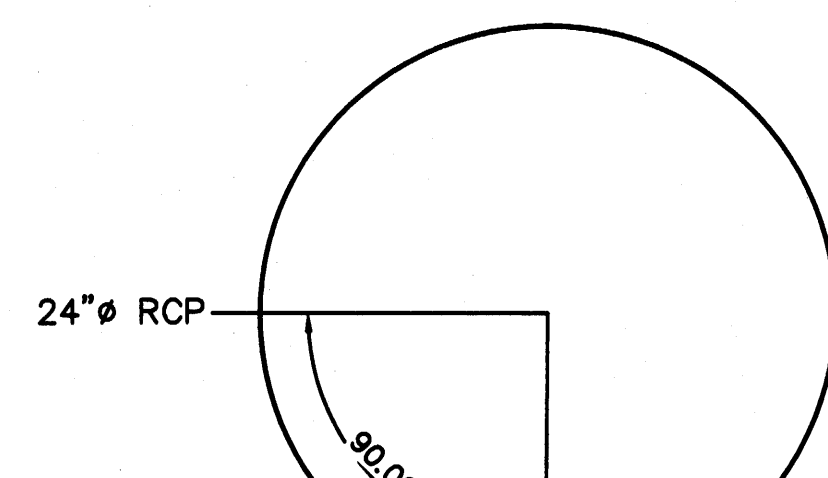
D2 Project No:	13019.00
Stage:	CONSTRUCTION DOCUMENTS
Sheet Issue Date:	10/16/15
Scale:	As indicated

Dwg. Name:
**GRADING AND
DRAINAGE PLAN**

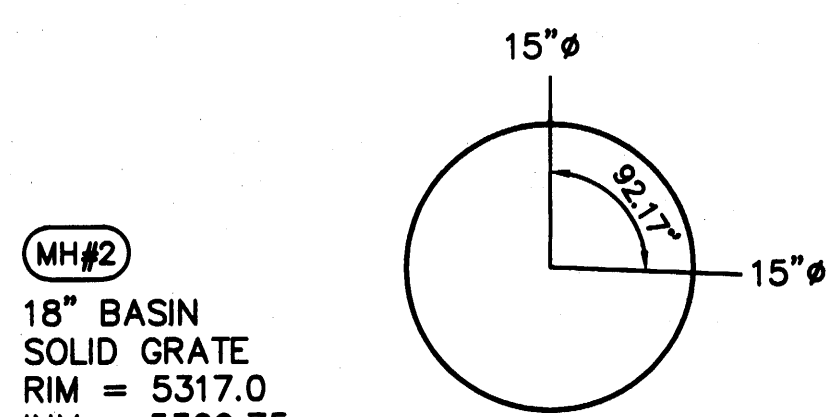
CG-101

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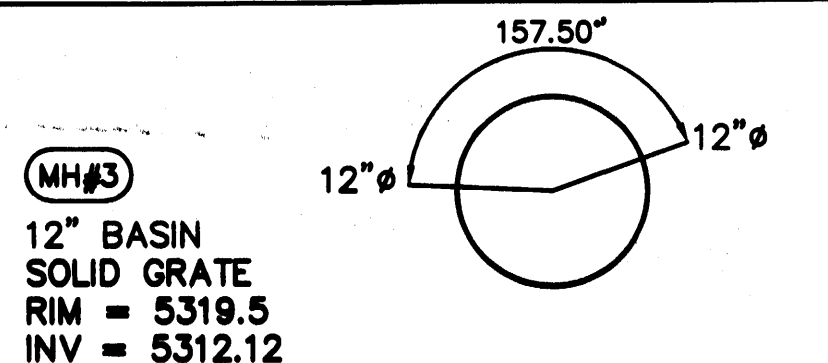
NYLOPLAST BASIN DESIGNS



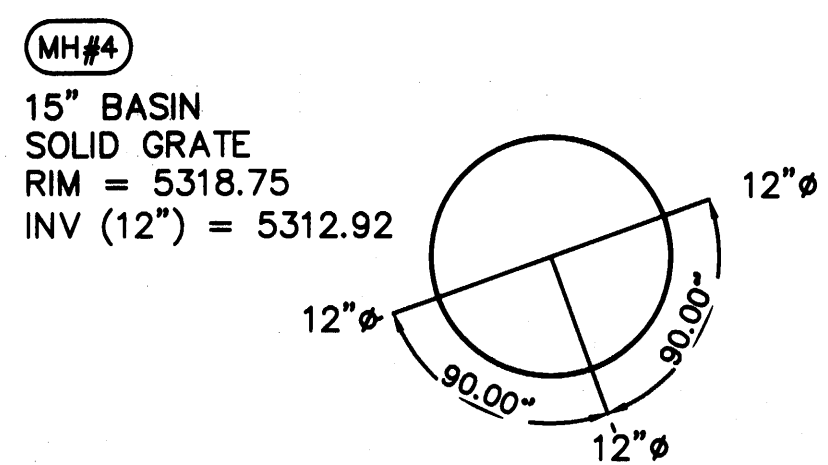
(MH#1)
30" BASIN
DOMED INLET GRATE
RIM = 5311.0
INV IN (15") = 5307.6
INV OUT (24" RCP) = 5300.6



(MH#2)
18" BASIN
SOLID GRATE
RIM = 5317.0
INV = 5309.75



(MH#3)
12" BASIN
SOLID GRATE
RIM = 5319.5
INV = 5312.12



(MH#4)
15" BASIN
SOLID GRATE
RIM = 5318.75
INV (12") = 5312.92

CONC. HEADWALL AT
END OF PIPE.
SEE DETAIL SHEET CG-501
INV=5306.00

TEMPORARY 24" BEND
AND 24" ADS INLINE DRAIN
WITH DOWED GRATE
(BUBBLE UP OUTLET)
RIM = 5305.0
INV=5300.0. INSTALL
15" X 1' DEEP
FRACTURED FACE ROCK
EROSION PROTECTION

(MH#1)
RIM=11.0
30.0 LF
24" RCP
S=2.00%

(MH#2)
RIM=18.8
163.0' 15"
S=1.00%

(MH#3)
RIM=18.8
32.8' 15"
S=1.00%

(MH#4)
RIM=18.0
48.4' 12"
S=1.00%

(MH#5)
RIM=18.0
48.4' 12"
S=1.00%

(MH#6)
RIM=18.0
48.4' 12"
S=1.00%

(MH#7)
RIM=18.0
48.4' 12"
S=1.00%

(MH#8)
RIM=18.0
48.4' 12"
S=1.00%

(MH#9)
RIM=18.0
48.4' 12"
S=1.00%



- A. ALL PRIVATE STORM DRAIN LINES AND FITTINGS SHALL BE THE FOLLOWING MATERIAL:**
< 12" DIA. SHALL BE ADS N-12 WT PIPE OR SDR 35.
> 12" DIA. SHALL BE ADS MEGA GREEN WT PIPE OR SDR 35.
SCHEDULE 80 PVC WHERE NOTED
- B. INSTALL ALL STORM DRAIN INLETS AND PIPE PER MANUFACTURER'S SPECIFICATIONS.**
- C. STORM DRAIN SYSTEM WILL REQUIRE REGULAR MAINTENANCE TO ENSURE PROPER FUNCTIONING DURING STORM EVENTS. ENGINEER RECOMMENDS THAT OWNER PUT IN PLACE INSPECTION AND MAINTENANCE REQUIREMENTS SCHEDULED TO OCCUR MONTHLY AND AFTER EACH STORM EVENT.**

STORM DRAIN GENERAL NOTES

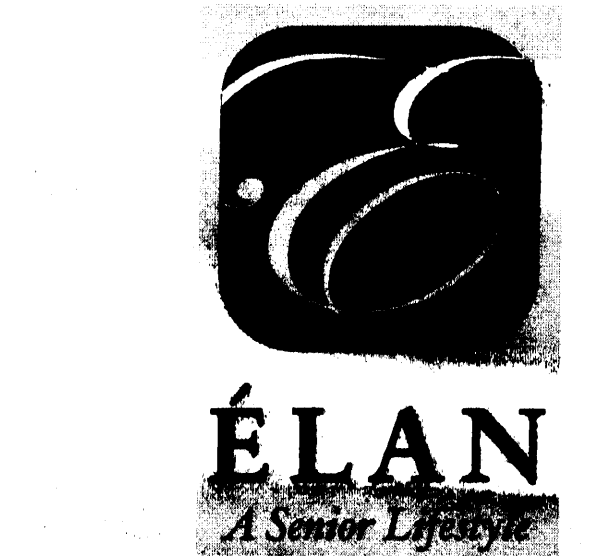
ADS NYLOPLAST BASIN MANHOLES GENERAL DESIGN INFORMATION

SCALE: N.T.S.

- (CO)** ALL CLEANOUTS (CO) AND DOUBLE CLEANOUTS (DCO):
• 6" ADS INLINE DRAIN WITH 6" OUT.
• 6"X6" TEE
• LOCKING SOLID GRATE
• 6" WIDE X 6" DEEP CONCRETE COLLAR
- (RD-P)** ROOF DRAIN DISCHARGE TO BELOW GRADE. EXTEND PER NOTES USING FITTINGS AS REQUIRED.
- (LD#)** STORM DRAIN INLET IN NON-PAVED AREAS SHALL BE CONSTRUCTED WITH:
• 6" ADS INLINE DRAIN WITH 8" OUT
• LOCKING DOMED GRATE
• 8" WIDE X 6" DEEP CONCRETE COLLAR
- (MH#)** MANHOLES SHALL BE CONSTRUCTED WITH:
• ADS NYLOPLAST BASIN (*)
• 2' SUMP
• LOCKING GRATE (*)
• 8" WIDE X 6" DEEP CONCRETE COLLAR
(*SEE INDIVIDUAL BASIN DESIGNS THIS SHEET)

STORM DRAIN STRUCTURES

SCALE: N.T.S.



Élan-Santa Monica Place

6901 San Vicente Ave. NE
Albuquerque, NM 87109

OWNER:



TITAN SENIOR LIVING
6300 Riverside Plaza Ln. NW #200
Albuquerque, New Mexico 87120

DEVELOPMENT CONSULTANT:



LCS Development
10001 Park Center Drive
Suite 400 Charlotte NC 28210

DESIGN TEAM:



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D2 Architecture, LLC
2001 North Lamar Street, Suite 300
Dallas, Texas 75202
www.d2architecture.com



INTERIOR DESIGNER:
HGA
6787 N. Industrial Road
Milwaukee, WI 53223



STRUCTURAL ENGINEERING:
HGA
12801 N. Central Expressway
Dallas, TX 75243



MFP ENGINEERING:
TEL101
1001 Trade Street, Suite 115
Dallas, TX 75204



CIVIL ENGINEERING:
TEL101
12801 N. Central Expressway
Dallas, TX 75243

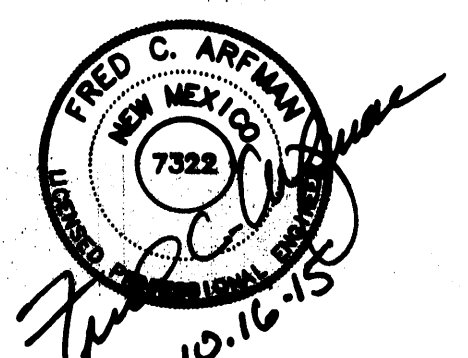


LANDSCAPE ARCHITECT:
TEL101
7900 E. 11th Ave.
Albuquerque, NM 87114



FOOD SERVICES DESIGNER:
TEL101
6787 N. Industrial Road
Milwaukee, WI 53223

Seal:



No. Date Revisions

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D2 Project No: 13019.00

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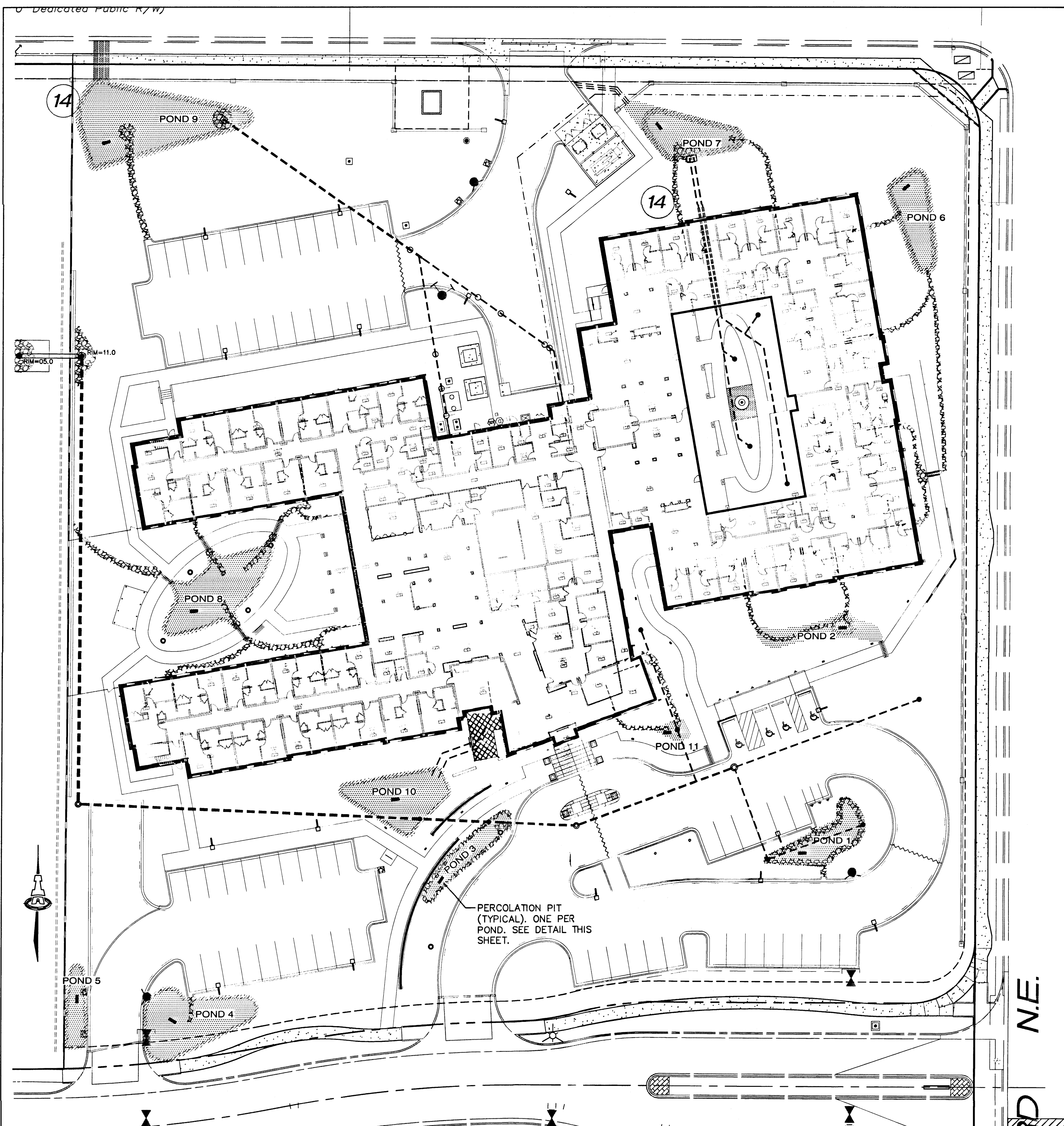
Dwg. Name:

STORM DRAIN
DETAILS

Dwg. No.

CG-501

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FOR EACH POND

POND OVERFLOW	POND BOTTOM	POND VOLUME
5318.00	5317.00	306 CF

Contour	Area	Volume
5318.90	544	116 CF
5318.50	35	116 CF
TOTAL VOL. 116 CF		

Contour	Area	Volume
5318.80	450	224 CF
5318.00	110	224 CF
TOTAL VOL. 224 CF		

Contour	Area	Volume
5317.30	1180	632 CF
5316.30	83	632 CF
TOTAL VOL. 632 CF		

Contour	Area	Volume
5316.70	330	44 CF
5316.50	106	44 CF
TOTAL VOL. 44 CF		

Contour	Area	Volume
5317.00	695	352 CF
5316.00	8	352 CF
TOTAL VOL. 352 CF		

Contour	Area	Volume
5313.80	945	613 CF
5312.80	280	613 CF
TOTAL VOL. 613 CF		

Contour	Area	Volume
5318.70	1175	288 CF
5318.30	266	288 CF
TOTAL VOL. 288 CF		

Contour	Area	Volume
5306.70	1527	1314 CF
5305.20	225	1314 CF
TOTAL VOL. 1314 CF		

Contour	Area	Volume
5318.80	948	330 CF
5318.30	370	330 CF
TOTAL VOL. 330 CF		

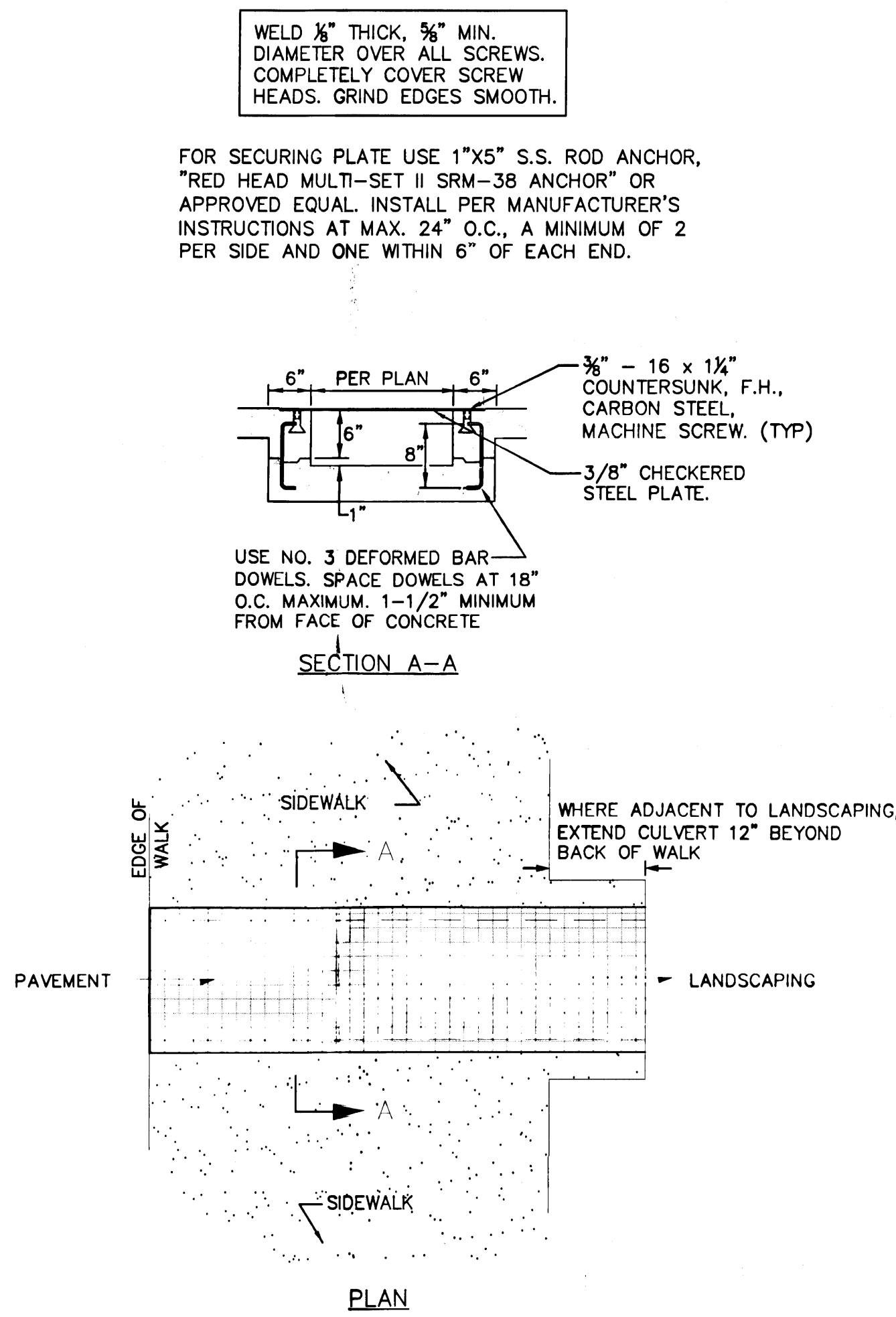
Contour	Area	Volume
5318.80	115	19 CF
5318.50	10	19 CF
TOTAL VOL. 19 CF		

TOTAL ACREAGE		4.55 ACRES
PERCENT D (IMPERVIOUS)	56%	
REQUIRED STORAGE	0.34" PER SF	
TOTAL VOLUME REQUIRED	3147 CF	
TOTAL VOLUME PROVIDED	4235 CF	

PERCOLATION PIT

SCALE: N.T.S.

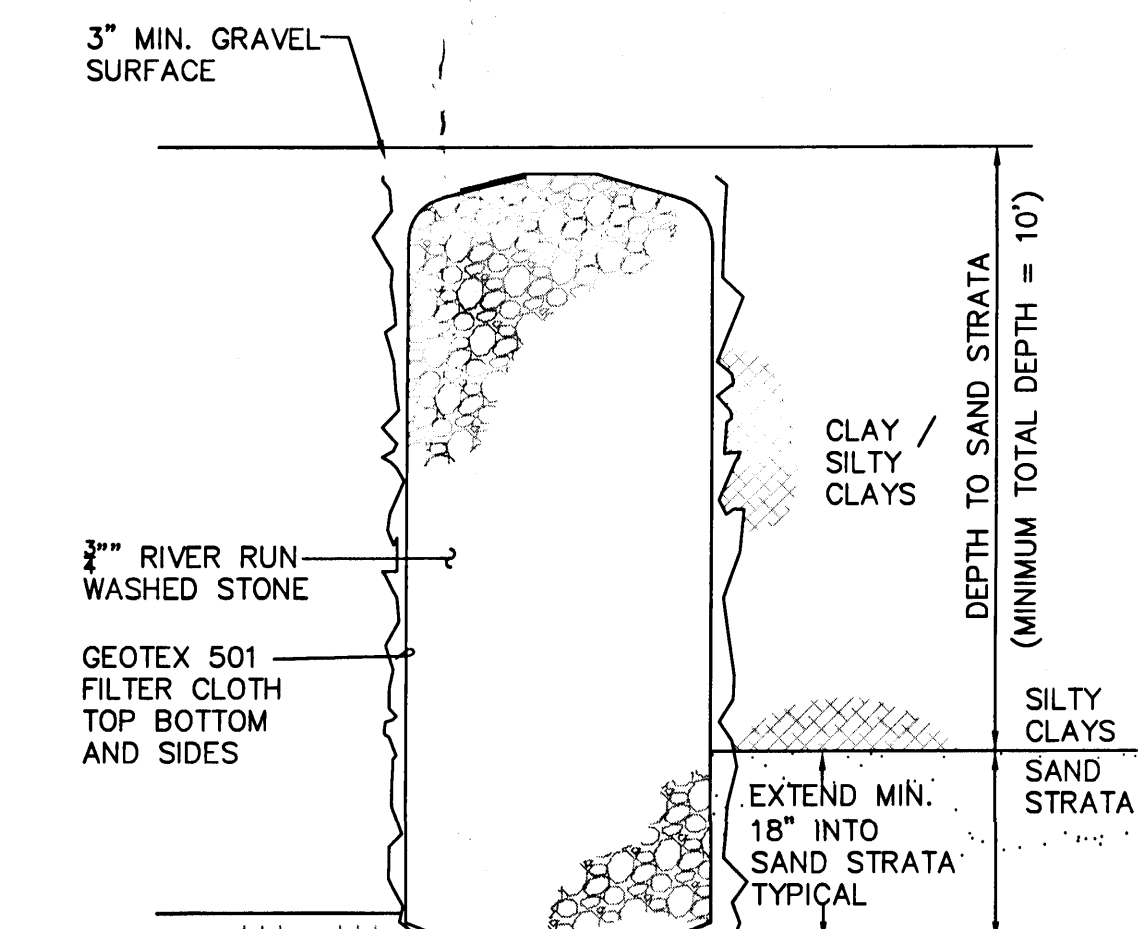
1"=30'



COVERED SIDEWALK CULVERT

SCALE: N.T.S.

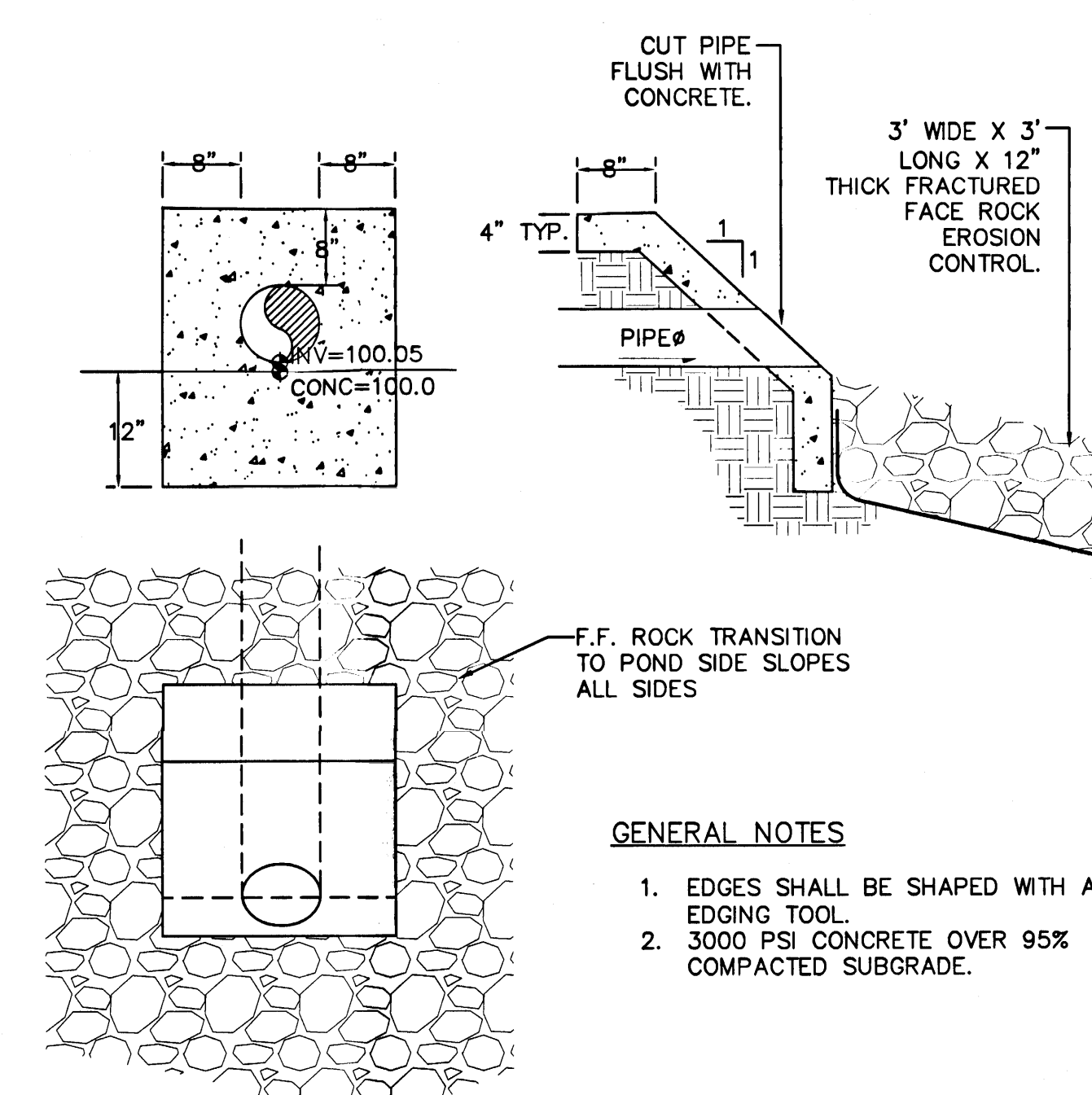
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PERCOLATION PIT

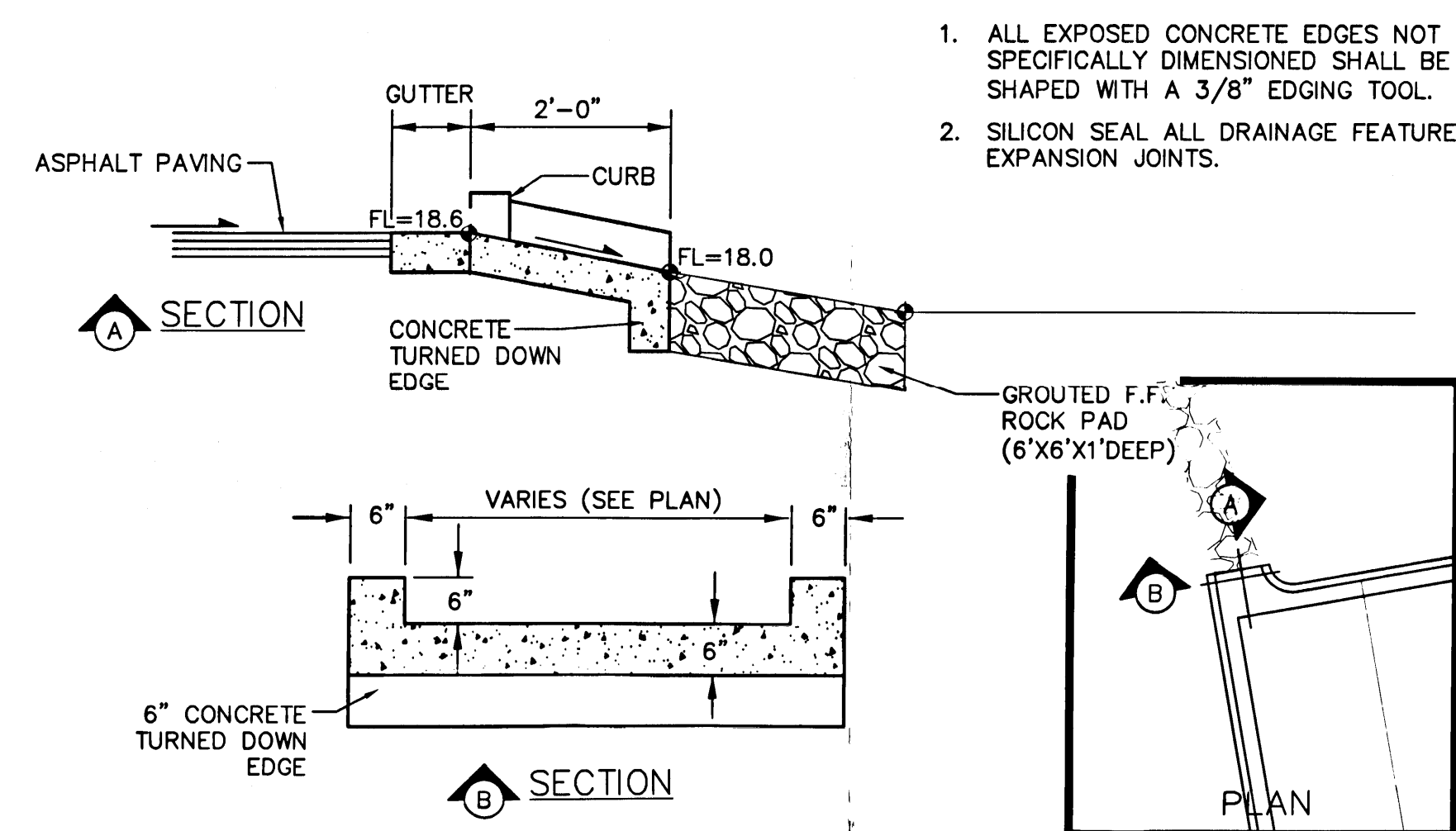
18" WIDE X 48" LONG X DEPTH SHOWN (TYPICAL)

SCALE: N.T.S.



CONCRETE HEADWALL @ ROOF DRAIN OUTLET

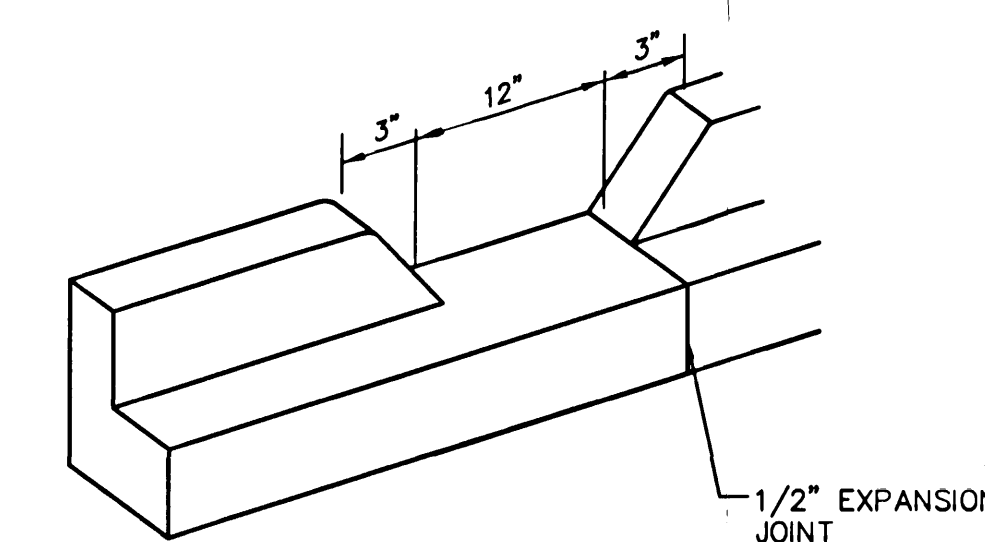
SCALE: N.T.S.



CONCRETE RUNDOWN

SCALE: N.T.S.

SCALE: N.T.S.



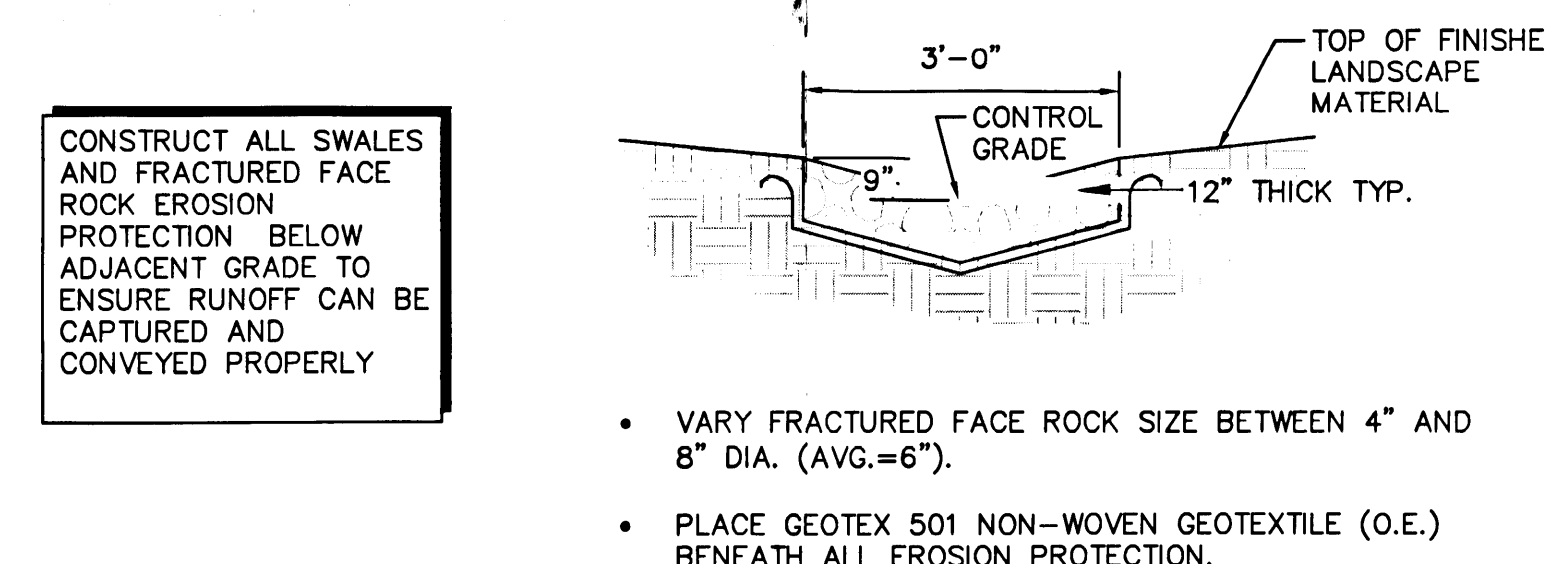
CURB OPENING

1. EDGES NOT SPECIFICALLY DIMENSIONED SHALL BE SHAPED WITH A 3/8" EDGING TOOL.

CURB OPENING

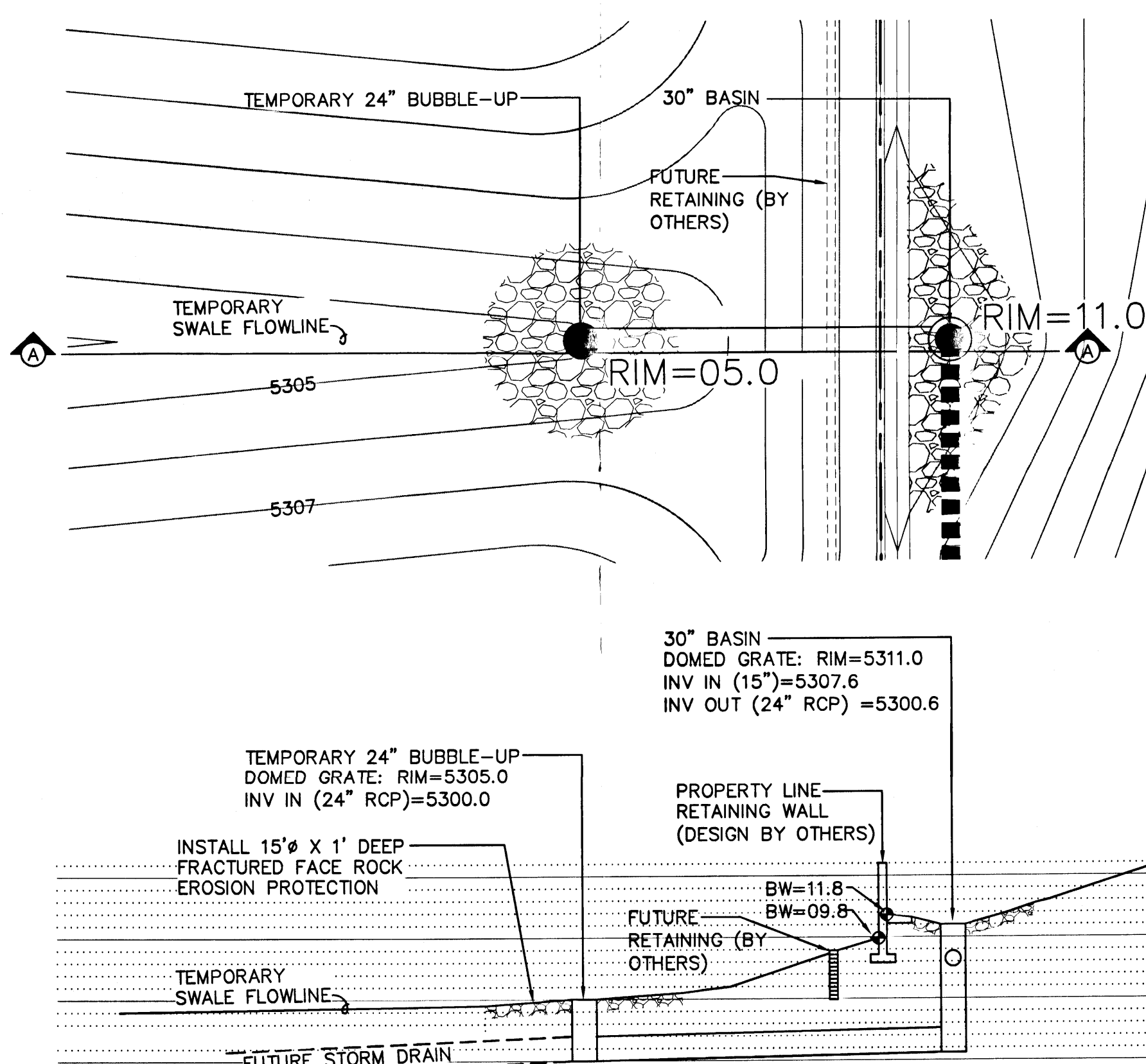
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SCALE: N.T.S.



FRACTURED FACE ROCK SWALE AND EROSION PROTECTION

SCALE: N.T.S.



SECTION A-A: WEST 24" STORM DRAIN TO TEMPORARY BUBBLE UP

SCALE: N.T.S.



Élan-Santa Monica Place

6901 San Vicente Ave. NE
Albuquerque, NM 87109



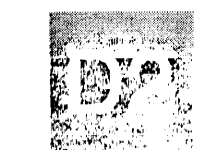
TITAN SENIOR LIVING
6300 Riverside Plaza Ln. NW #200
Albuquerque, New Mexico 87120

DEVELOPMENT CONSULTANT:



LCS Development
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DESIGN TEAM:



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Dallas, TX 75243



MEP ENGINEERING:
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Dallas, TX 75204



CIVIL ENGINEERING:
Bawson & Arfman, P.A.
128 Monroe Street NE
Albuquerque, NM 87108

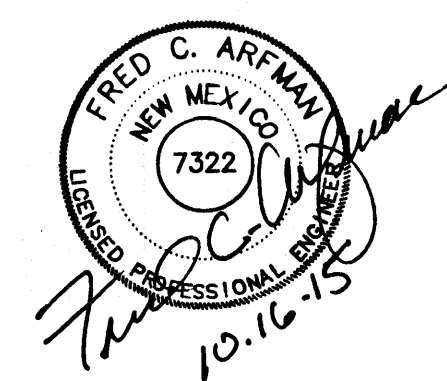


LANDSCAPE ARCHITECT:
The Hilltop Landscape Architects
7905 Edin NE
Albuquerque, NM 87184



FOOD SERVICES DESIGNER:
Direct Supply Architecture
6767 N. Industrial Road
Milwaukee, WI 53223

Seal:



No. Date Revisions

D2 Project No: 13019.00
Stage: CONSTRUCTION DOCUMENTS
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Scale: As indicated

Dwg. Name: DRAINAGE DETAILS

Dwg. No. CG-502

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GENERAL GRADING AND DRAINAGE NOTES

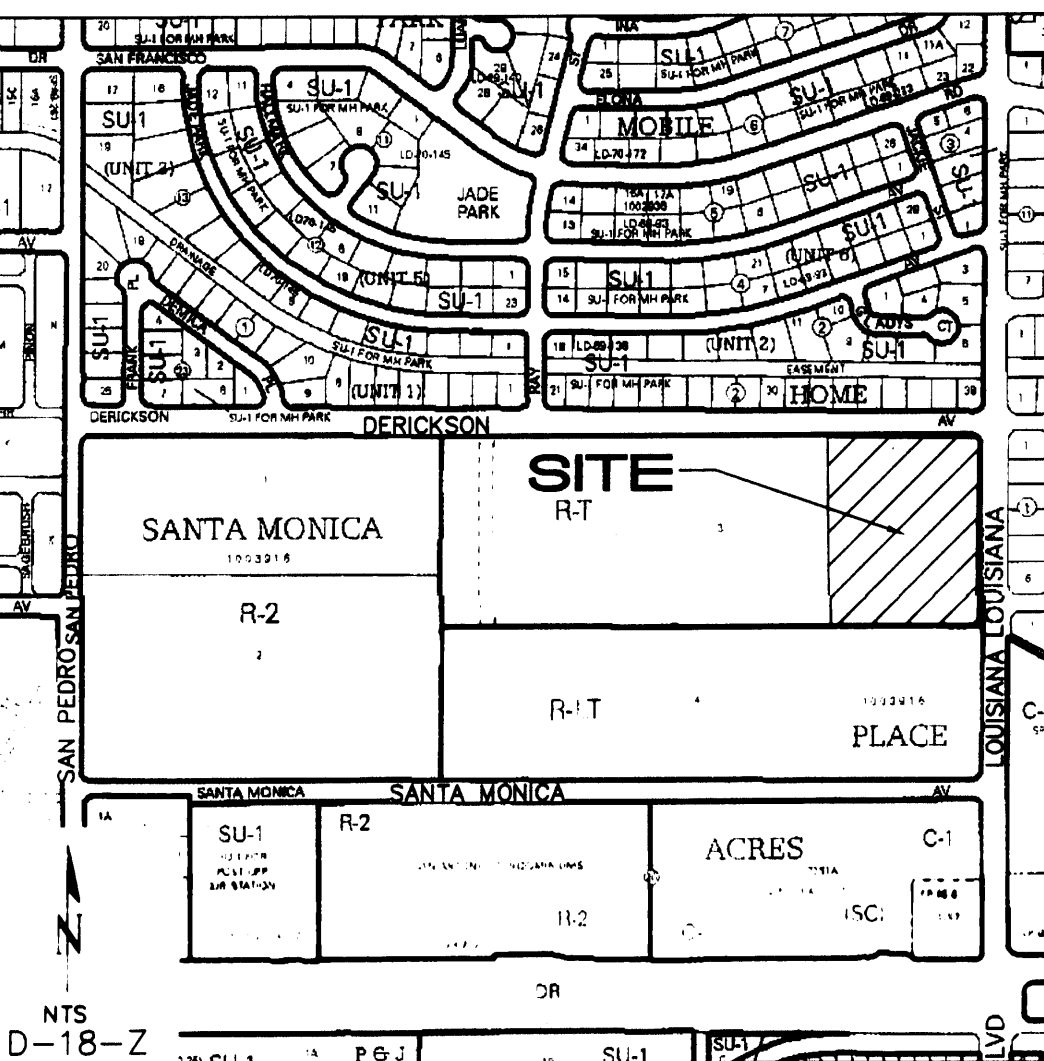
- A. ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT GEOTECHNICAL REPORT. WHERE APPLICABLE, CITY OF ALBUQUERQUE AND NMDOT STANDARDS APPLY
- B. THE CONTRACTOR SHALL ABIDE BY ALL STATE, LOCAL, AND FEDERAL LAWS, CODES, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA AND ADA REQUIREMENTS.
- C. ALL SUBGRADE, OVEREXCAVATION, BACKFILL, AND FILL SHALL BE PLACED AND / OR COMPACTED PER THE GEOTECHNICAL REPORT .
- D. THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION, OR PRIOR TO OCCUPANCY, AS APPROPRIATE. IF PERMITS ARE DELAYED OR ISSUED WITH CONDITIONS, THE CONTRACTOR SHALL NOTIFY THE OWNER AND ARCHITECT IMMEDIATELY.
- E. COORDINATE WORK WITH SITE PLAN, UTILITY PLAN, DEMOLITION PLAN, AND LANDSCAPE PLAN.
- F. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING OBSTRUCTIONS, AND CONDITION OF ALL EXISTING INFRASTRUCTURE PRIOR TO CONSTRUCTION. REPORT ALL DISCREPANCIES TO THE ARCHITECT AND VERIFY THE ARCHITECT'S INTENT BEFORE PROCEEDING.
- G. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SITE SAFETY.
- H. THE CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS ON SITE AT ALL TIMES. THE CONTRACTOR SHALL NOT SCALE DRAWINGS. ONLY WRITTEN DIMENSIONS OR KEYED NOTES SHALL BE USED.
- I. CONTRACTOR SHALL OBTAIN ALL REQUIRED INSPECTIONS OF THE WORK. CONTRACTOR SHALL REGULARLY UPDATE OWNER AND ARCHITECT REGARDING THE STATUS OF THE INSPECTIONS.
- J. CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT STRUCTURES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE. CONTRACTOR SHALL BE RESPONSIBLE FOR DOCUMENTING EXISTING CONDITIONS PRIOR TO CONSTRUCTION.
- K. CONSTRUCTION EQUIPMENT SHALL ONLY OBSTRUCT DESIGNATED TRAFFIC LANES IF APPROPRIATE BARRICADING PERMITS HAVE BEEN OBTAINED. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL IN THE RIGHT-OF-WAY.
- L. THE CONTRACTOR SHALL PROVIDE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN THAT CONFORMS TO THE LATEST EDITION OF THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD) AND LOCAL REQUIREMENTS. THE CONTRACTOR SHALL OBTAIN BARRICADING PERMITS FROM THE APPROPRIATE AUTHORITIES PRIOR TO ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
- M. THE CONTRACTOR SHALL MAINTAIN ALL BARRICADING AND CONSTRUCTION SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADING AT THE END AND BEGINNING OF EACH DAY.

- N. PAVEMENT GRADES IN MARKED HANDICAPPED PARKING AREAS SHALL NOT EXCEED 2.0% IN ANY DIRECTION. FOR ALL ACCESSIBLE ROUTES, MAXIMUM ALLOWABLE CROSS SLOPE IS 2.0% AND MAXIMUM LONGITUDINAL SLOPE WITHOUT RAMP IS 5.0%. FOLLOW ALL ADA ACCESSIBILITY GUIDELINES OR CITY CODES, WHICHEVER IS MORE STRINGENT.
- O. ALL TRASH, DEBRIS, & SURFACE VEGETATION SHALL BE CLEARED AND LEGALLY DISPOSED OF OFFSITE.
- P. PROPOSED SPOT AND CONTOUR ELEVATIONS SHOWN REPRESENT TOP OF FINISH MATERIAL (I.E. TOP OF CONCRETE, TOP OF CONCRETE BUILDING PAD, TOP OF PAVEMENT MATERIAL, TOP OF LANDSCAPING MATERIAL, ETC.). CONTRACTOR SHALL GRADE, COMPACT SUBGRADE AND DETERMINE EARTHWORK ESTIMATES BASED ON ELEVATIONS SHOWN MINUS FINISH MATERIAL THICKNESSES.
- Q. IF FIELD GRADE ADJUSTMENTS ARE REQUIRED, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER.
- R. MAXIMUM SLOPES SHALL BE 4:1. MINIMUM SLOPES SHALL BE 1% UNLESS OTHERWISE NOTED.
- S. EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. CONTRACTOR SHALL CONTACT NM-811 FOR UTILITY LINE SPOTS TWO WORKING DAYS PRIOR TO CONDUCTING SITE FIELD WORK. CONTRACTOR SHALL FIELD VERIFY AND LOCATE ALL UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF NECESSARY DRY UTILITY ADJUSTMENTS.
- T. SOIL TESTING AND INSPECTION SERVICES DURING EARTHWORK OPERATIONS ARE REQUIRED. CONTRACTOR SHALL ALLOW TESTING LABS TO INSPECT AND APPROVE COMPACTED SUBGRADES, BACKFILL, AND FILL LAYERS BEFORE FURTHER CONSTRUCTION WORK IS DONE. SHOULD COMPACTION TESTS INDICATE INADEQUATE DENSITY, CONTRACTOR SHALL PROVIDE ADDITIONAL COMPACTION AND TESTING AT THE CONTRACTOR'S SOLE EXPENSE.
- U. CONTRACTOR SHALL PROVIDE ALL OTHER CONSTRUCTION STAKING. CONTRACTOR SHALL LOCATE AND PRESERVE ALL BOUNDARY CORNERS AND REPLACE ANY LOST OR DISTURBED CORNERS AT CONTRACTOR'S SOLE EXPENSE. PROPERTY CORNERS SHALL ONLY BE RESET BY A REGISTERED LAND SURVEYOR.
- V. A CURRENT STORMWATER CONTROL PERMIT, INCLUDING AN EROSION SEDIMENT CONTROL PLAN (E.S.C.) FOR EROSION AND SEDIMENT CONTROL IS REQUIRED FOR ALL CONSTRUCTION, DEMOLITION CLEARING, AND GRADING OPERATIONS THAT DISTURB THE SOIL ON ONE ACRE OR MORE OF LAND. OWNER WILL COORDINATE.
- W. POST-CONSTRUCTION MAINTENANCE FOR PRIVATE STORMWATER FACILITIES WILL BE THE RESPONSIBILITY OF THE FACILITIES OWNER. PERIODIC INSPECTION AND CERTIFICATIONS OF THE

FACILITIES MAY BE REQUIRED BY THE CITY ENGINEER.

- X. STORMWATER CONTROL MEASURES ARE REQUIRED TO PROVIDE MANAGEMENT OF 'FIRST FLUSH' (DEFINED AS THE 90TH PERCENTILE STORM EVENT OR 0.34" [0.44" LESS 0.1" FOR INITIAL ABSTRACTION] OF STORMWATER WHICH DISCHARGES DIRECTLY TO A PUBLIC STORM DRAINAGE SYSTEM).
- Y. ADJUST RIMS OF EXISTING UTILITY FEATURES AS NECESSARY TO MATCH NEW GRADES. UTILITIES IN PAVED AREAS SHALL BE HS-25 TRAFFIC RATED.
- Z. ALL NEW PAVEMENT SURFACES SHALL BE CONSTRUCTED WITH POSITIVE SLOPE AWAY FROM BUILDINGS AND POSITIVE SLOPE TOWARD EXISTING AND/OR PROPOSED DRAINAGE PATHS. PAVING AND ROADWAY GRADES SHALL BE ±0.1' FROM PLAN ELEVATIONS. BUILDING PAD ELEVATION SHALL BE ±0.05' FROM PLAN ELEVATION.
- AA. WHERE GRADES BETWEEN NEW AND EXISTING ARE SHOWN AS 'MATCH' OR '±', TRANSITIONS SHALL BE SMOOTH.
- AB. ALL EROSION PROTECTION TO BE FRACTURED FACE ROCK (F.F. ROCK) = 6" AVG. DIA. ANGULAR FACED ROCK PLACED OVER GEOTEX 501 NON-WOVEN GEOTEXTILE (O.E.).
- AC. SIDESLOPES STEEPER THAN 4:1 BUT LESS THAN 2:1 MUST HAVE PERMANENT EROSION CONTROL (F.F. ROCK O.E.) INSTALLED. TYPICAL. NO SLOPE SHALL BE STEEPER THAN 2:1.
- AD. CONTRACTOR SHALL COMPLY WITH LOCAL REGULATIONS FOR RESEEDING OF DISTURBED AREAS.
- AE. POND DESIGN PARAMETERS (TOP OF POND, BOTTOM OF POND, SIZE OF ORIFICE, AREA OF POND, ETC.) TO BE STRICTLY ADHERED TO FOR CERTIFICATION PURPOSES. SEE DETAIL SHEET FOR ADDITIONAL INFORMATION.
- AF. ENGINEER RECOMMENDS THAT OWNER MAINTAIN EROSION PROTECTION ELEMENTS. ENGINEER RECOMMENDS THAT OWNER INSPECT SITE YEARLY AND AFTER EACH RAINFALL TO IDENTIFY NEW AREAS OF EROSION AND INSTALL ADDITIONAL EROSION PROTECTION AS NEEDED BASED ON ACTUAL OCCURRENCES.
- AG. GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
- AH. MEASURES REQUIRED FOR EROSION AND SEDIMENT CONTROL SHALL BE INCIDENTAL TO THE PROJECT COST.
- AI. ALL SITE PREPARATION, GRADING OPERATIONS, FOUNDATION CONSTRUCTION, AND PAVEMENT INSTALLATION WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT, WHICH WILL BE PROVIDED BY THE OWNER OR ARCHITECT. ALL OTHER WORK SHALL, UNLESS OTHERWISE NOTED IN THE PLANS, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATION (FIRST PRIORITY), AND/OR NMDOT STANDARD SPECIFICATIONS FOR PUBLIC WORK (SECOND PRIORITY.)

VICINITY MAP



PROJECT DATA

PROPERTY: THE SITE IS A PREVIOUSLY DEVELOPED MOBILE HOME PROPERTY LOCATED WITHIN C.O.A. VICINITY MAP D-18. THE SITE IS BOUND TO THE SOUTH BY SAN VICENTE AVE. NE, TO THE WEST BY UNDEVELOPED RESIDENTIAL, TO THE EAST BY LOUISIANA BLVD. AND TO THE NORTH BY DERICKSON AVE.

PROPOSED IMPROVEMENTS: THE PROPOSED IMPROVEMENTS INCLUDE AN APPROXIMATELY 49,688 SF (FOOTPRINT) BUILDING, ASSOCIATED ASPHALT PAVED DRIVES, PARKING, PEDESTRIAN WALKS AND LANDSCAPING.

LEGAL: TRACT 3-B, SANTA MONICA PLACE, ALBUQUERQUE, NM

AREA: 4.55± ACRES

BENCHMARK: VERTICAL DATUM IS BASED UPON THE ALBUQUERQUE CONTROL SURVEY BENCHMARK "18-E18", ELEVATION = 5269.166 (NGVD88)

OFF-SITE: NO OFF-SITE DRAINAGE IMPACTS THIS PROPERTY.

FLOOD HAZARD: THE SUBJECT PROPERTY LIES WITHIN ZONE X (AREAS DETERMINED TO BE OUTSIDE 0.2% ANNUAL CHANCE FLOOD PLAIN) IN ACCORDANCE WITH THE NATIONAL FLOOD INSURANCE PROGRAM RATE MAP NO. 35001C0137 F, EFFECTIVE DATE 11-19-03.

SURVEYOR: RUSS P. HUGG, SURV-TEK, INC., (505)897-3366, ALBUQUERQUE, NEW MEXICO.

ENGINEER: FRED C. ARFMAN P.E., ISAACSON & ARFMAN P.A., (505)268-8828, ALBUQUERQUE, NEW MEXICO.

ENGINEER'S CERTIFICATION REQUIRED

CONTRACTOR SHALL PROVIDE AN AUTOCAD FORMAT AS-BUILT SURVEY PREPARED BY A LICENSED SURVEYOR WHICH INCLUDES:

- AS-BUILT SPOT ELEVATIONS AT EACH DESIGN SPOT ELEVATION SHOWN ON THE APPROVED PLAN;
- TOP AND BOTTOM ELEVATIONS AS REQUIRED TO DEFINE THE PERIMETER OF PONDS (TO BE USED BY ENGINEER TO CALCULATE AS-BUILT VOLUME PROVIDED);
- POND OVERFLOW ELEVATION

ALL CONSTRUCTION, INCLUDING DRAIN INLETS, PIPES AND PONDS SHOWN ON THIS PLAN MUST BE CONSTRUCTED IN SUBSTANTIAL COMPLIANCE WITH THE APPROVED PLAN IN ORDER TO RECEIVE ENGINEER'S CERTIFICATION.

POST-CONSTRUCTION MAINTENANCE FOR PRIVATE STORMWATER FACILITIES WILL BE THE RESPONSIBILITY OF THE FACILITIES' OWNER. PERIODIC INSPECTION AND CERTIFICATION OF THE FACILITIES MAY BE REQUIRED BY THE CITY ENGINEER.

DRAINAGE CONCEPT

PER THE APPROVED MASTER DRAINAGE REPORT FOR TRACTS 3-A, 3-B, 4-A AND 4-B, SANTA MONICA PLACE UPDATED FEBRUARY 2012, THIS TRACT (3-B) IS PERMITTED TO DISCHARGE AT THE FOLLOWING RATES CALCULATED USING AHYMO BASED ON NOAA ATLAS 14 RAINFALL DATA:

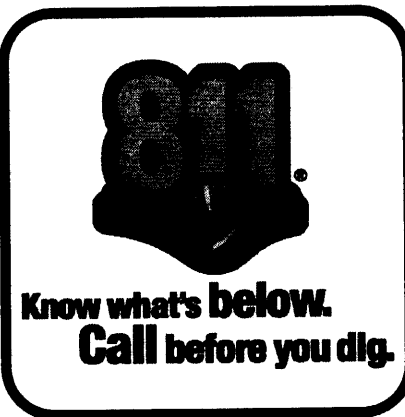
- 6.8 CFS IS PERMITTED TO DISCHARGE TO DERICKSON AVE. N.E.
- 8.2 CFS IS PERMITTED TO DISCHARGE WEST TO THE INTERIM CHANNEL (FUTURE IMPROVEMENTS WITHIN THE ADJACENT TRACT WILL ACCEPT THESE STORMWATERS INTO A PRIVATE STORM DRAIN SYSTEM.)
- 1.3 CFS IS PERMITTED TO DISCHARGE TO SAN VICENTE AVE. N.E.

AS NOTED IN THE REPORT: "WHEN TRACT 3-B DEVELOPS, AN OUTFALL STRUCTURE SHALL BE CONSTRUCTED TO CONVEY FLOWS TO THE WEST AT THE FUTURE ROADWAY ALIGNMENT IN TRACT 3-A. AN INTERIM CHANNEL SHALL BE GRADED TO CONVEY FLOWS TO THE POND." SEE SHEET CG-501 FOR INTERIM CHANNEL GRADES.

SEE SUPPLEMENTAL INFORMATION PACKET FOR ADDITIONAL CALCULATIONS AND DRAINAGE BASIN ANALYSIS.

STORMWATER CONTROL MEASURES ARE REQUIRED TO PROVIDE MANAGEMENT OF 'FIRST FLUSH' (DEFINED AS THE 90TH PERCENTILE STORM EVENT OR 0.34" [0.44" LESS 0.1" FOR INITIAL ABSTRACTION] OF STORMWATER WHICH DISCHARGES DIRECTLY TO A PUBLIC STORM DRAINAGE SYSTEM).

THERE ARE 'FIRST FLUSH' RETENTION BASIN AREAS THROUGHOUT THE SITE (HATCHED AREAS). STORM WATER FROM THE IMPERVIOUS AREAS SHALL BE DIRECTED TO THESE BASINS.



COMMUNITY/PROJECT SITE:



ÉLAN
A Senior Lifestyle

Élan-Santa
Monica Place

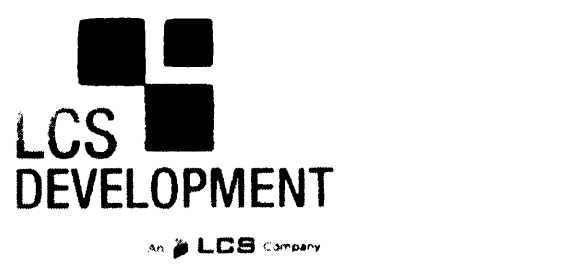
6901 San Vicente Ave. NE
Albuquerque, NM 87109

OWNER:



TITAN SENIOR LIVING
6300 Riverside Plaza Ln, NW #200
Albuquerque, New Mexico 87120

DEVELOPMENT CONSULTANT



LCS Development
10021 Park Cedar Drive
Suite 400 Charlotte NC 28210

DESIGN TEAM:



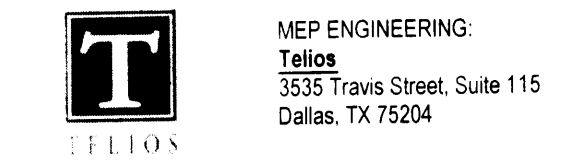
ARCHITECT:
D2 Architecture, L.L.C.
2001 North Lamar Street, Suite 300
Dallas, Texas 75202
www.d2-architecture.com



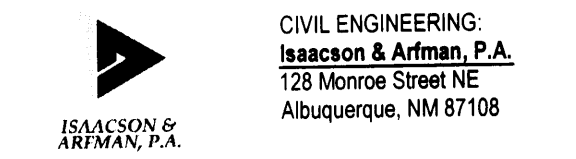
INTERIOR DESIGNER:
Direct Supply Astoria
6767 N. Industrial Road
Milwaukee, WI 53223



MECHANICAL ENGINEERING:
12801 N. Central Expressway
Dallas, TX 75243



MEP ENGINEERING:
Tallies
3535 Travis Street, Suite 115
Dallas, TX 75204



CIVIL ENGINEERING:
Isaacson & Arfman, P.A.
128 Monroe Street NE
Albuquerque, NM 87108

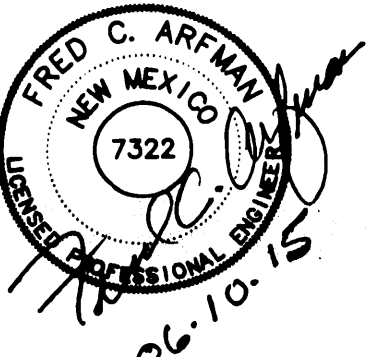


LANDSCAPE ARCHITECT:
Hilltop Landscape Architects
7905 Edin NE
Albuquerque, NM 87184



FOOD SERVICES DESIGNER:
Direct Supply Astoria
6767 N. Industrial Road
Milwaukee, WI 53223

Seal:



No.

Date

Revisions

D2 Project No:

13019.00

Stage:

Sheet Issue Date:

June 3, 2015

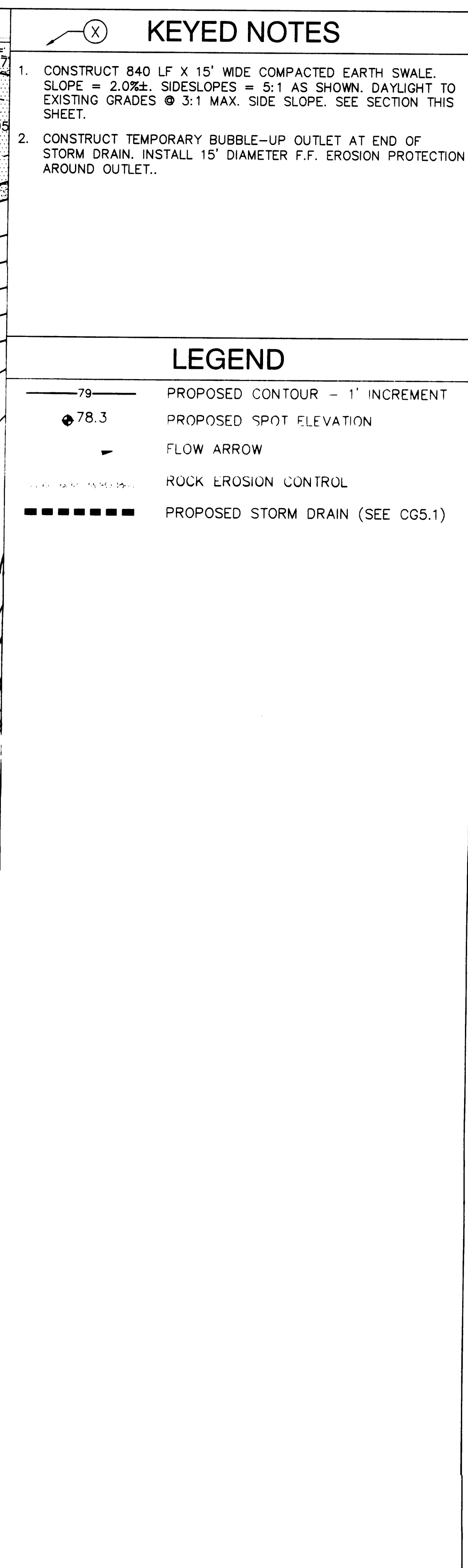
Scale:

Dwg. Name:

GRADING AND DRAINAGE
NOTES


Dwg. No.

CG-100




Élan-Santa
Monica Place

OWNER:

 TITAN

DEVELOPMENT CONSULTANT


**LCS
DEVELOPMENT**
• LCS •

LCS Development
10021 Park Cedar Drive
Suite 400 Charlotte NC 28210

DESIGN TEAM:

D2 <https://doi.org/10.1016/j.dcl.2020.100511>

ARCHITECT
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www.d2-architecture.com

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INTERIOR DESIGNER:
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Milwaukee, WI 53223

STRUCTURAL ENGINEERING
Hart, Gaugler & Associates
 12801 N. Central Expressway
 Dallas, TX 75243

T

MEP ENGINEERING:
Tellos
3535 Travis Street, Suite 115
Dallas, TX 75204

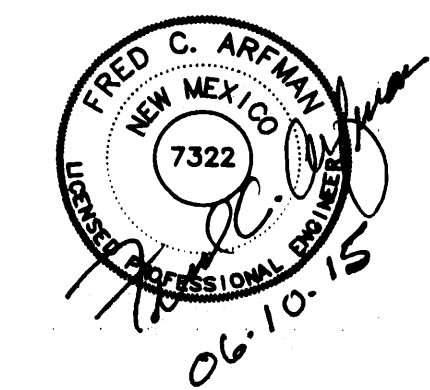
CIVIL ENGINEERING:
Isaacson & Arfman, P.A.
128 Monroe Street NE
Albuquerque, NM 87108

The Hilltop
LANDSCAPE ARCHITECT:
Hilltop Landscape Architects
7909 Edith NE
Albuquerque, NM 87184

DIRECT SUPPLY
aptura

FOOD SERVICES DESIGNER:
Direct Supply Aptura
6767 N. Industrial Road
Milwaukee, WI 53223

Seal: _____

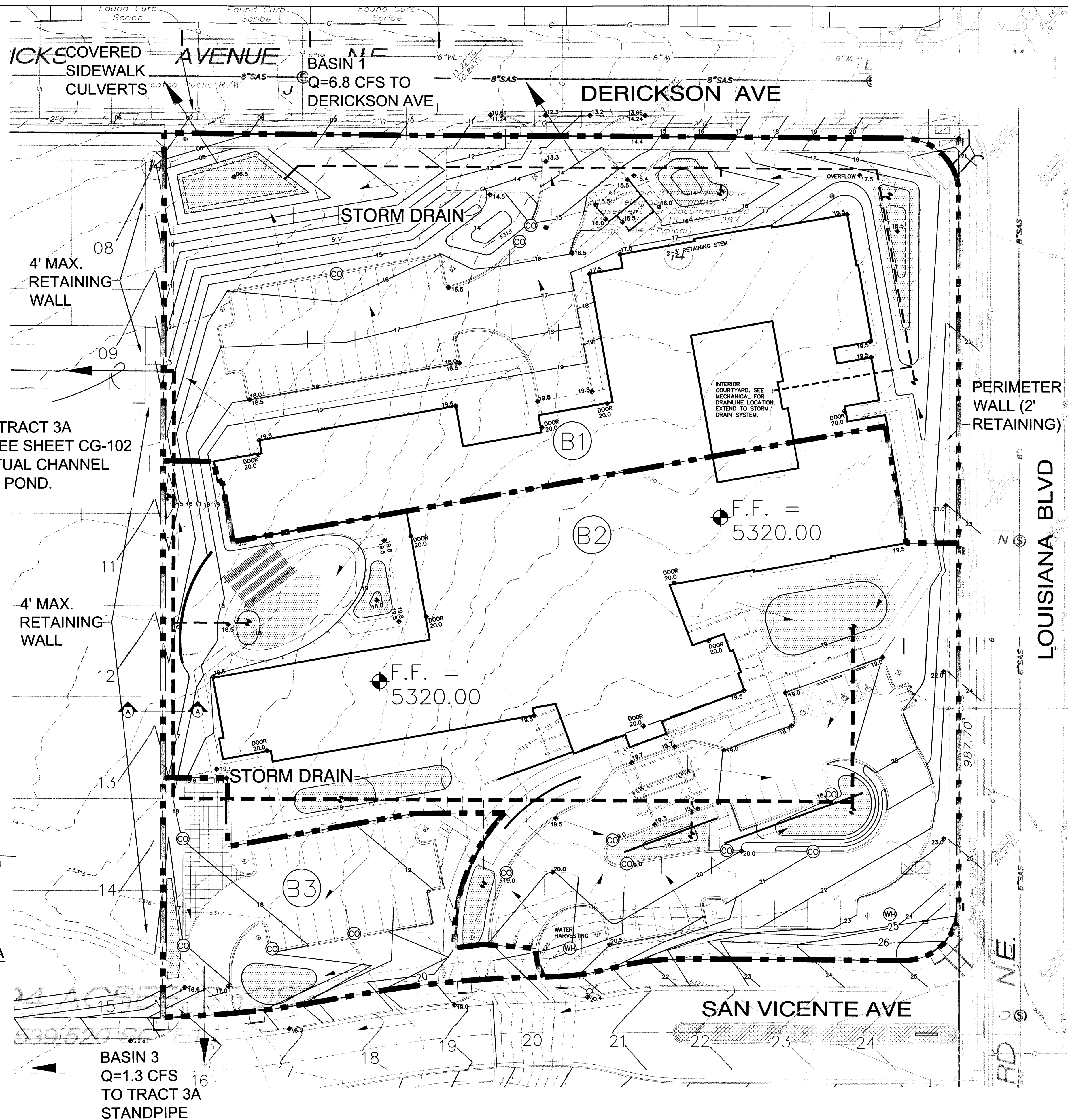
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D2 Project No:	13019.00
Stage:	-
Sheet Issue Date:	June 3, 2015
Scale:	-

OFF-SITE GRADING AND DRAINAGE PLAN

Dwg. No. _____

CG-102



BASIN 2
Q=8.2 CFS TO TRACT 3A
STANDPIPE--SEE SHEET CG-102
FOR CONCEPTUAL CHANNEL
AND EXISTING POND.

SECTION A-A
SCALE: 1"=5'

BASIN 3
Q=1.3 CFS
TO TRACT 3A
STANDPIPE

DRAINAGE CONCEPT

THE DRAINAGE MASTER PLAN (DMP) BY ISAACSON & ARFMAN, P.A. DATED OCTOBER 9, 2014, OUTLINED DRAINAGE REQUIREMENTS FOR EACH TRACT WITHIN SANTA MONICA PLACE (TRACTS 3A, 3B, 4A & 4B). THIS PROPERTY IS TRACT 3B WITH LAND TREATMENTS 18%B, 30%C AND 52% D.

PER THE DMP, TRACT 3B WILL DISCHARGE 16.3 CFS.

BASIN 1: 6.8 CFS TO DERICKSON AVE VIA SIDEWALK CULVERTS

BASIN 2: 8.2 CFS WEST VIA A RUNDOWN TO THE FUTURE STREET AND STORM DRAIN SYSTEM ON TRACT 3A CONNECTING TO THE DERICKSON AVE. STORM DRAIN

BASIN 3: 1.3 CFS TO SAN VICENTE AVE (TO FUTURE STORM DRAIN SYSTEM).

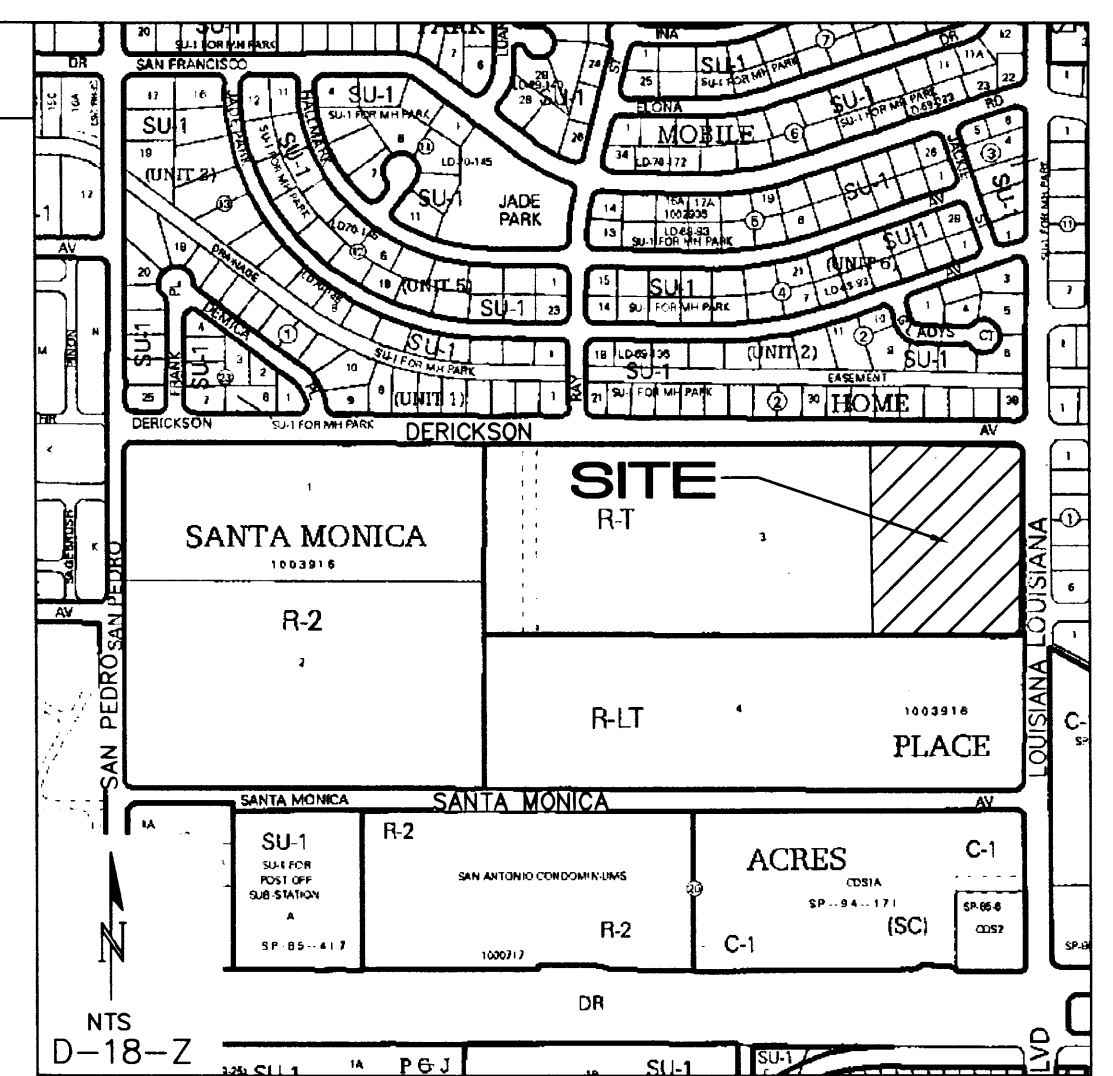
IN THE INTERIM CONDITION, PRIOR TO CONSTRUCTION OF THE TRACT 3A STORM DRAIN SYSTEM, THE 8.2 CFS SHALL BE DIRECTED TO THE EXISTING POND AT THE NORTHWEST CORNER OF TRACT 3A VIA A NEW INTERIM EARTHEN CHANNEL. THE 1.3 CFS IN SAN VICENTE AVE. SHALL BE DIRECTED TO THE RUNDOWN NORTH OF THE ROUNDABOUT (TO BE CONSTRUCTED BY PUBLIC WORK ORDER) AND BE DIRECTED TO THE EXISTING POND VIA AN EXISTING CHANNEL. AN INTERIM STANDPIPE CONNECTING TO THE DERICKSON STORM DRAIN SYSTEM WILL BE CONSTRUCTED IN THE EXISTING POND AT THE NORTHWEST CORNER OF TRACT 3A WITH CPN 689984.

THE PROPOSED ON-SITE PRIVATE STORM DRAIN SYSTEM WILL BE ANALYZED AND SIZED AS PART OF THE BUILDING PERMIT PLANS SUBMITTAL.

STORMWATER CONTROL MEASURES ARE REQUIRED TO PROVIDE MANAGEMENT OF 'FIRST FLUSH' (DEFINED AS THE 90TH PERCENTILE STORM EVENT OR 0.34" [0.44" LESS 0.1" FOR INITIAL ABSTRACTION] OF STORMWATER WHICH DISCHARGES DIRECTLY TO A PUBLIC STORM DRAINAGE SYSTEM). THE PONDING VOLUME REQUIRED IS 0.34" * TYPE 'D' AREA: $0.34/12 * .52 * 4.55 \text{ AC} * 43560 = 2,920 \text{ CF}$

THERE ARE 'FIRST FLUSH' RETENTION BASIN AREAS THROUGHOUT THE SITE (HATCHED AREAS). STORM WATER FROM THE IMPERVIOUS AREAS SHALL BE DIRECTED TO THESE BASINS VIA CURB OPENINGS (LABELED CO). INLETS THAT ARE PLACED IN THE BASINS SHALL BE RAISED AND HAVE THE TOP OF GRATE LOCATED AT THE 'FIRST FLUSH' WATER SURFACE ELEVATION.

THE 'FIRST FLUSH' BASIN VOLUMES SHALL BE ANALYZED AND SIZED AS PART OF THE BUILDING PERMIT PLANS SUBMITTAL. CURB OPENING LOCATIONS ARE SHOWN CONCEPTUALLY AND SHALL BE LOCATED AND SIZED WITH FINAL DESIGN.



PROJECT DATA

PROPERTY: THE SITE IS A PREVIOUSLY DEVELOPED (MOBILE HOME) PROPERTY LOCATED WITHIN C.O.A. VICINITY MAP D-18. THE SITE IS BOUND TO THE SOUTH BY UNDEVELOPED PROPERTY, TO THE WEST BY APARTMENTS, TO THE EAST BY LOUISIANA BLVD. AND TO THE NORTH BY DERICKSON AVE.

PROPOSED IMPROVEMENTS: THE PROPOSED IMPROVEMENTS INCLUDE AN APPROXIMATELY 59,500 SF SENIOR LIVING FACILITY WITH ASSOCIATED ASPHALT PAVED DRIVES, PARKING, PEDESTRIAN WALKS AND LANDSCAPING.

EXISTING LEGAL: THE EASTERN PORTION OF TRACT 3, SANTA MONICA PLACE, ALBUQUERQUE, NM

PROPOSED LEGAL: TRACT 3B, SANTA MONICA PLACE, ALBUQUERQUE, NM

AREA: 4.55 ACRES

BENCHMARK: VERTICAL DATUM IS BASED UPON THE ALBUQUERQUE CONTROL SURVEY BENCHMARK "18-E18", ELEVATION = 5269.166 (NGVD88)

OFF-SITE: NO OFF-SITE DRAINAGE IMPACTS THIS PROPERTY.

FLOOD HAZARD: THE SUBJECT PROPERTY LIES WITHIN ZONE "X" (AREAS DETERMINED TO BE OUTSIDE 0.2% ANNUAL CHANCE FLOOD PLAIN) IN ACCORDANCE WITH THE NATIONAL FLOOD INSURANCE PROGRAM RATE MAP NO. 35001C0137 F, EFFECTIVE DATE 11-19-03.

SURVEYOR: RUSS P. HUGG, SURV-TEK, INC., (505)897-3366, ALBUQUERQUE, NEW MEXICO.

LEGEND

- DRAINAGE BASIN
- CONCEPTUAL STORM DRAIN
- PROPOSED 'FIRST FLUSH' RETENTION BASIN
- PROPOSED FLOW DIRECTION
- F.F.= PROPOSED FINISH FLOOR ELEVATION
- WH PROPOSED WATER HARVESTING
- CO PROPOSED CURB OPENING

ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108
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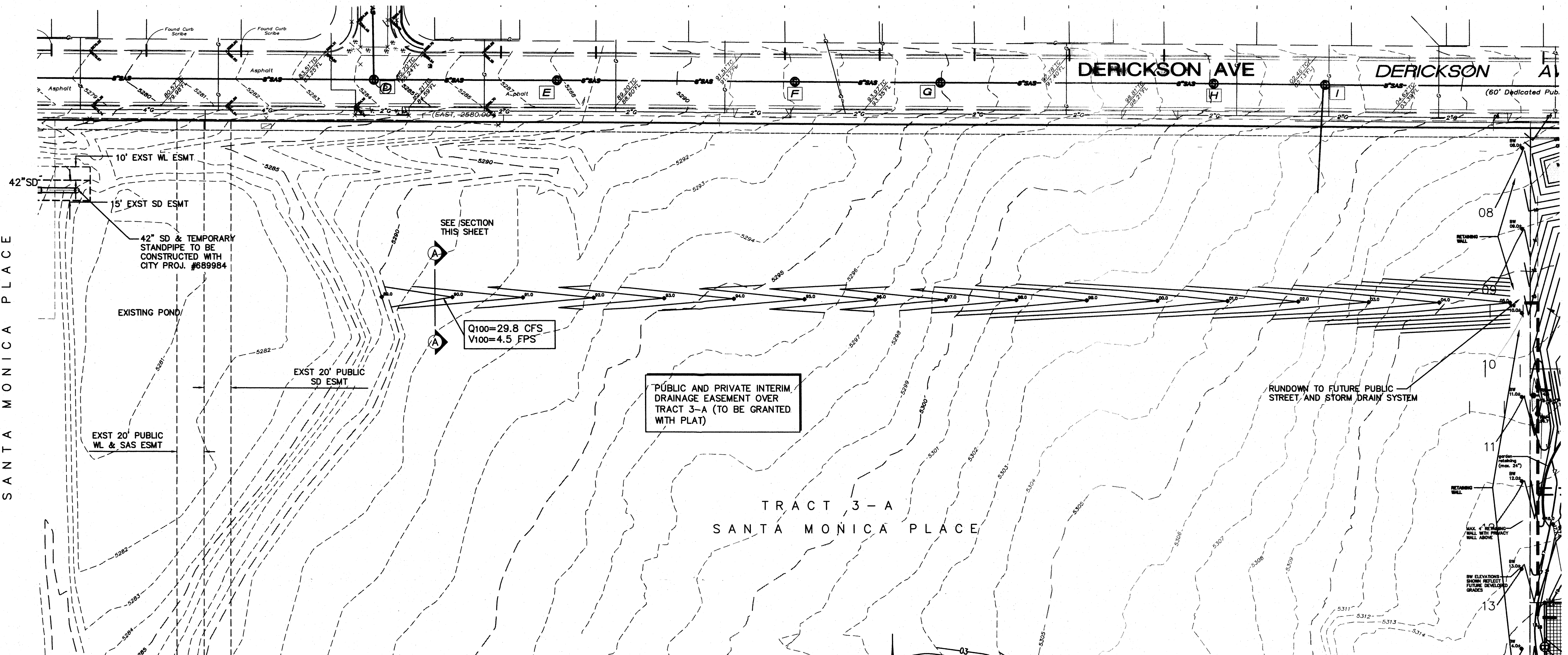
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ELAN - Santa Monica Place
(Senior Assisted Living/Memory Care)

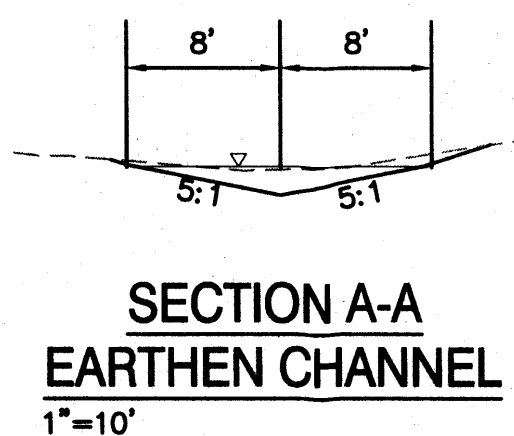
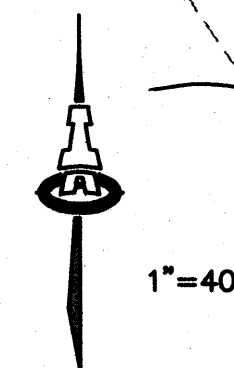
CONCEPTUAL GRADING & DRAINAGE PLAN

Date:	No.	Revision:	Date:	Job No.
9/10/14				2047
Drawn By:				CG-101
Ckd By:				SH1 OF 2

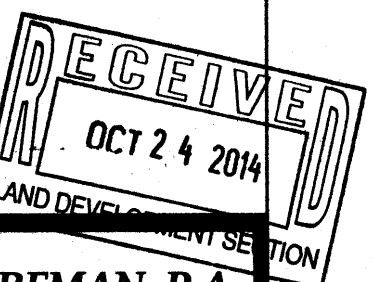
TRACT 1
SANTA MONICA PLACE



OFFSITE DRAINAGE CHANNEL TO EXISTING POND



SECTION A-A
EARTHEN CHANNEL
1"=10'



ISAACSON & ARFMAN, P.A.
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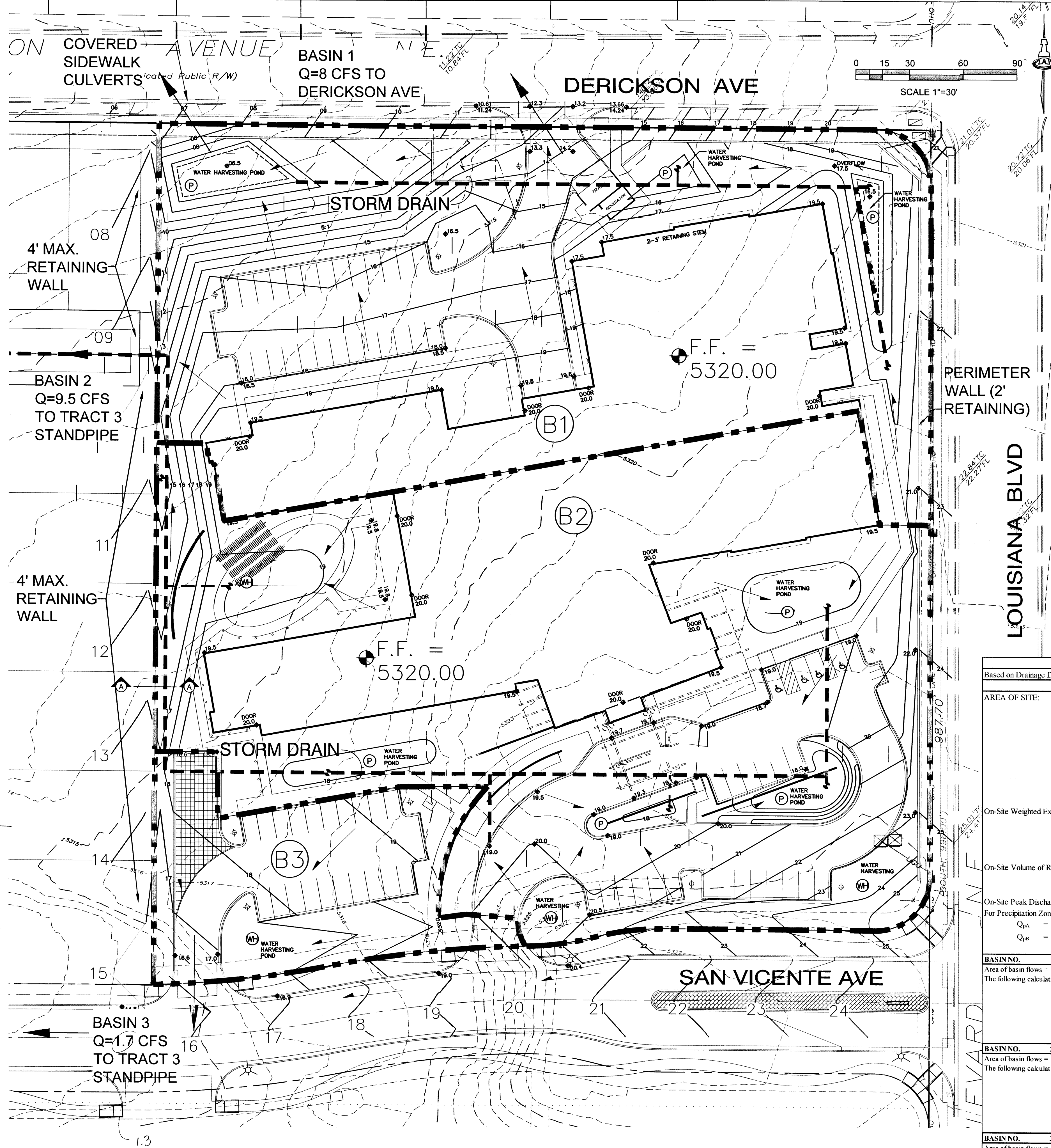
2047 CG-101 - Conceptual.dwg Oct 24, 2014

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CONCEPTUAL GRADING & DRAINAGE PLAN

Date:	No. Revision:	Date:	Job No.
9/10/14			2047
Drawn By:			CG-102
BJB			
Ckd By:			SH2 OF 2
FCA			



DRAINAGE CONCEPT

THE MASTER DRAINAGE REPORT (DMR) BY ISAACSON & ARFMAN, P.A., DATED FEBRUARY 21, 2012, OUTLINED DRAINAGE REQUIREMENTS FOR EACH TRACT WITHIN SANTA MONICA PLACE (TRACTS 1 - 4). THIS PROPERTY IS A PORTION OF TRACT 3 (15.5781 ACRES) WITH LAND TREATMENTS ESTIMATED AT 20% AND 60% D.

PER THE DMR, "TRACT 3 SHALL BE ALLOWED TO SURFACE DISCHARGE MAX. 10 CFS TO DERICKSON AVE. AND THE REMAINDER OF 69.2 CFS INTO THE STORM DRAIN SYSTEM CONNECTION TO THE DERICKSON AVE. STORM DRAIN."

THE PROPOSED CONSTRUCTION SITE CONSISTS OF APPROXIMATELY 30% OF THE OVERALL AREA OF TRACT 3. THUS, THIS PORTION OF TRACT 3 SHOULD RELEASE APPROXIMATELY 30% X (10+69.2) = 23.8 CFS.

THE SITE HAS BEEN DIVIDED INTO TWO BASINS: DISCHARGE TO DERICKSON (SUB-BASIN 1) AND DISCHARGE WEST TO ENTER THE STORM DRAIN STANDPIPE (SUB-BASINS 2 AND 3).

BASIN 1: CONSISTS OF THE NORTHERN 40% OF THE PROPERTY WHICH WILL DISCHARGE APPROXIMATELY 8 CFS TO DERICKSON AVE. VIA SIDEWALK CULVERTS

WITH AN ALLOWABLE OF 10 CFS FROM THE TOTAL TRACT, THIS WILL LEAVE APPROXIMATELY 2 CFS FOR THE REMAINDER OF TRACT 3 WHICH IS PLANNED FOR SINGLE FAMILY RESIDENTIAL AND IS EXPECTED TO DRAIN ALMOST ENTIRELY TO THE INTERNAL FUTURE PUBLIC STORM DRAIN EXTENSION. NOTE THAT PER THE APPROVED DRAINAGE REPORT FOR TRACT 1, ONLY 7.8 OF THE ALLOWABLE 10 CFS FROM THAT TRACT WILL BE DISCHARGED TO DERICKSON AVE. LEAVING AN ADDITIONAL 2.2 CFS AVAILABLE.

BASINS 2 AND 3: CONSISTS OF THE SOUTHERN 60% OF THE PROPERTY WHICH WILL DISCHARGE APPROXIMATELY 10.9 CFS TO THE UNDEVELOPED PORTION OF TRACT 3 EITHER VIA STORM DRAIN (BASIN 2) OR AS SURFACE DISCHARGE TO THE PROPOSED SOUTH PUBLIC STREET (BASIN 3). TEMPORARY PONDS AND EARTH SWALES WITH EROSION PROTECTION AS NEEDED WILL BE CONSTRUCTED TO PASS THE CONCENTRATED FLOW TO THE EXISTING POND TO ENTER THE PUBLIC STORM DRAIN SYSTEM AT THE PROVIDED STANDPIPE (TO BE CONSTRUCTED AS PART OF CPM 689984).

THESE BASIN CALCULATIONS DO NOT ACCOUNT FOR ANY WATER HARVESTING OR DETENTION BASINS WHICH MAY REDUCE THE TOTAL DISCHARGE RATES.

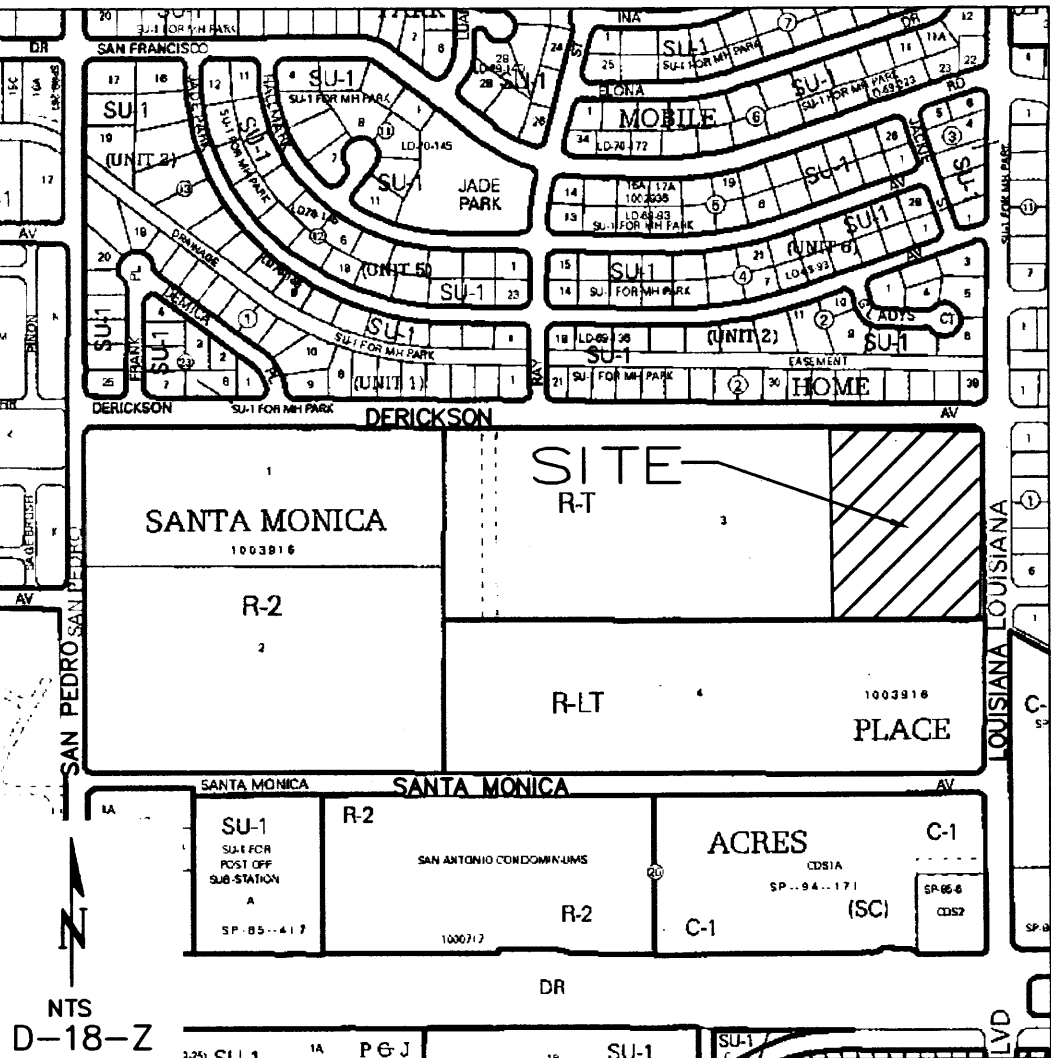
ALL LANDSCAPE AREAS, OTHER THAN THOSE ADJACENT TO THE BUILDING, WILL BE DEPRESSED FOR WATER HARVESTING.

18" DEEP DETENTION PONDS WITHIN EACH OF THE BASIN AREAS WILL BE UTILIZED TO DETAIN DISCHARGE, UTILIZE FOR LANDSCAPING / INFILTRATION AND RELEASE EXCESS.

STORMWATER CONTROL MEASURES ARE REQUIRED TO PROVIDE MANAGEMENT OF "FIRST FLUSH" (DEFINED AS THE 90TH PERCENTILE STORM EVENT OR 0.44" OF STORMWATER WHICH DISCHARGES DIRECTLY TO A PUBLIC STORM DRAINAGE SYSTEM).

CALCULATIONS: Elan Senior Living Facility : May 23, 2014

Based on Drainage Design Criteria for City of Albuquerque Section 22.2, DPM, Vol 2, dated Jan. 1993									
ON-SITE									
AREA OF SITE:		198332		SF		=		4.6	
100-year, 6-hour									
DEVELOPED FLOWS:				Treatment SF		% Precip. Zone		3	
Area A		=		0		0%		E _A = 0.66	
Area B		=		35700		18%		E _B = 0.92	
Area C		=		59500		30%		E _C = 1.29	
Area D		=		103133		52%		E _D = 2.36	
Total Area		=		198332		100%			
On-Site Weighted Excess Precipitation (100-Year, 6-Hour Storm)									
Weighted E =		$E_A A_A + E_B A_B + E_C A_C + E_D A_D$							
		$A_A + A_B + A_C + A_D$							
Developed E =		1.78 in.							
On-Site Volume of Runoff: V ₃₆₀ =		E* A 12							
		Developed V ₃₆₀ = 29416 CF							
On-Site Peak Discharge Rate: Q _p = Q _{PA} A _A + Q _{PB} A _B + Q _{PC} A _C + Q _{PD} A _D / 43.560									
For Precipitation Zone 3									
Q _{PA} = 1.87		Q _{PC} = 3.45							
Q _{PB} = 2.60		Q _{PD} = 5.02							
		Developed Q _p =		18.7 CFS					
BASIN NO. 1		DESCRIPTION				DRAINING TO DERICKSON AVE			
Area of basin flows =		82379		SF		=		1.9 Ac.	
The following calculations are based on Treatment areas as shown in table to the right						LAND TREATMENT			
Sub-basin Weighted Excess Precipitation (see formula above)						A = 0%			
Weighted E = 1.78 in.						B = 18%			
Sub-basin Volume of Runoff (see formula above)						C = 30%			
V ₃₆₀ = 12218 CF						D = 52%			
Sub-basin Peak Discharge Rate (see formula above)									
Q _p = 7.8 cfs									
BASIN NO. 2		DESCRIPTION				DRAINING WEST TO PUBLIC STORM DRAIN STANDPIPE			
Area of basin flows =		98526		SF		=		2.3 Ac.	
The following calculations are based on Treatment areas as shown in table to the right						LAND TREATMENT			
Sub-basin Weighted Excess Precipitation (see formula above)						A = 0%			
Weighted E = 1.78 in.						B = 18%			
Sub-basin Volume of Runoff (see formula above)						C = 30%			
V ₃₆₀ = 14613 CF						D = 52%			
Sub-basin Peak Discharge Rate (see formula above)									
Q _p = 9.3 cfs									
BASIN NO. 3		DESCRIPTION				DRAINING SOUTH TO PUBLIC STORM DRAIN STANDPIPE			
Area of basin flows =		17426		SF		=		0.4 Ac.	
The following calculations are based on Treatment areas as shown in table to the right						LAND TREATMENT			
Sub-basin Weighted Excess Precipitation (see formula above)						A = 0%			
Weighted E = 1.78 in.						B = 18%			
Sub-basin Volume of Runoff (see formula above)						C = 30%			
V ₃₆₀ = 2585 CF						D = 52%			
Sub-basin Peak Discharge Rate (see formula above)									
Q _p = 1.6 cfs									



PROPERTY: THE SITE IS A PREVIOUSLY DEVELOPED (MOBILE HOME) PROPERTY LOCATED WITHIN C.O.A. VICINITY MAP D-18. THE SITE IS BOUND TO THE SOUTH BY UNDEVELOPED PROPERTY, TO THE WEST BY APARTMENTS, TO THE EAST BY LOUISIANA BLVD. AND TO THE NORTH BY DERICKSON AVE.

PROPOSED IMPROVEMENTS: THE PROPOSED IMPROVEMENTS INCLUDE AN APPROXIMATELY 59,500 SF SENIOR LIVING FACILITY WITH ASSOCIATED ASPHALT PAVED DRIVES, PARKING, PEDESTRIAN WALKS AND LANDSCAPING.

LEGAL: THE EASTERN PORTION OF TRACT 3, SANTA MONICA PLACE, ALBUQUERQUE, NM

AREA: 4.6 ACRES

BENCHMARK: VERTICAL DATUM IS BASED UPON THE ALBUQUERQUE CONTROL SURVEY BENCHMARK "18-E18", ELEVATION = 5269.166 (NGVD88)

OFF-SITE: NO OFF-SITE DRAINAGE IMPACTS THIS PROPERTY.

FLOOD HAZARD: THE SUBJECT PROPERTY LIES WITHIN ZONE "X" (AREAS DETERMINED TO BE OUTSIDE 0.2% ANNUAL CHANCE FLOOD PLAN) IN ACCORDANCE WITH THE NATIONAL FLOOD INSURANCE PROGRAM RATE MAP NO. 35001C0137 F, EFFECTIVE DATE 11-19-03.

SURVEYOR: RUSS P. HUGG, SURV-TEK, INC., (505)897-3366, ALBUQUERQUE, NEW MEXICO.

LEGEND	
	DRAINAGE BASIN
	CONCEPTUAL STORM DRAIN
	PROPOSED DETENTION POND / STORM DRAIN INLET LOCATION (18" DEEP)
	PROPOSED FLOW DIRECTION
F.F. =	PROPOSED FINISH FLOOR ELEVATION
	PROPOSED WATER HARVESTING BASIN (6" DEPRESSED)

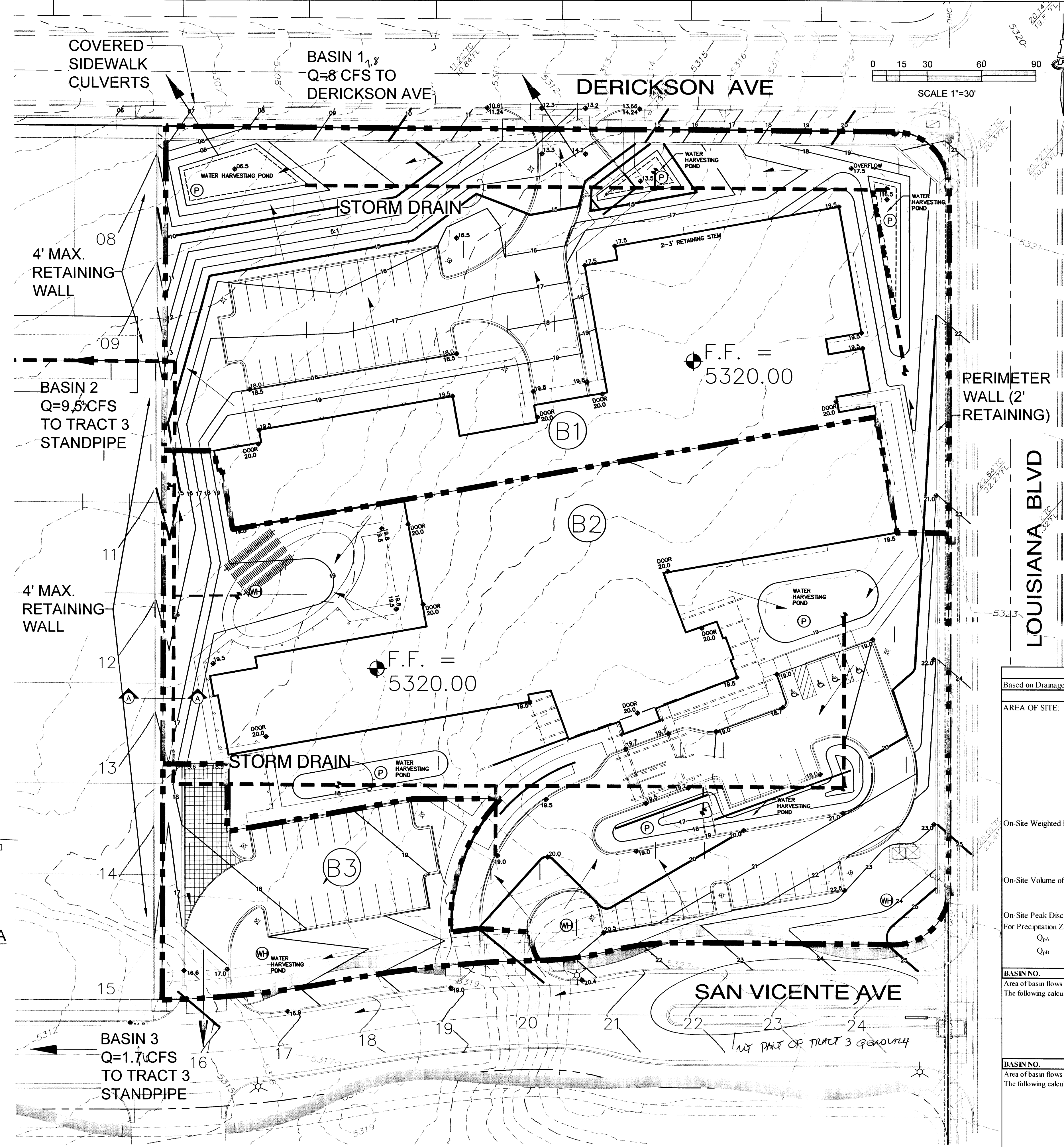
ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph: 505-268-8828 www.inciw.com

2047 CG-101 - Conceptual.dwg

Aug 01, 2014

ELAN - Santa Monica Place
(Senior Assisted Living/Memory Care)

CONCEPTUAL GRADING & DRAINAGE PLAN			
Date:	No. Revision:	Date:	Job No.
9/10/14			2047
Drawn By:			CG-101
BJB			
Okd By:			SH. OF
FCA			



DRAINAGE CONCEPT

THE MASTER DRAINAGE REPORT (DMR) BY ISAACSON & ARFMAN, P.A., DATED FEBRUARY 21, 2012, OUTLINED DRAINAGE REQUIREMENTS FOR EACH TRACT WITHIN SANTA MONICA PLACE (TRACTS 1 - 4). THIS PROPERTY IS A PORTION OF TRACT 3 (15.5781 ACRES) WITH LAND TREATMENTS ESTIMATED AT 20%, 20% AND 60% D.

PER THE DMR, "TRACT 3 SHALL BE ALLOWED TO SURFACE DISCHARGE MAX. 10 CFS TO DERICKSON AVE. AND THE REMAINDER OF 69.2 CFS INTO THE STORM DRAIN SYSTEM CONNECTION TO THE DERICKSON AVE. STORM DRAIN."

THE PROPOSED CONSTRUCTION SITE CONSISTS OF APPROXIMATELY 30% OF THE OVERALL AREA OF TRACT 3. THUS, THIS PORTION OF TRACT 3 SHOULD RELEASE APPROXIMATELY 30% X (10+69.2) = 23.8 CFS. *16.8 @ 4.09 cfs/ac*

THE SITE HAS BEEN DIVIDED INTO TWO BASINS: DISCHARGE TO DERICKSON (SUB-BASIN 1) AND DISCHARGE WEST TO ENTER THE STORM DRAIN STANDPIPE (SUB-BASINS 2 AND 3).

BASIN 1: CONSISTS OF THE NORTHERN 40% OF THE PROPERTY WHICH WILL DISCHARGE APPROXIMATELY 8 CFS TO DERICKSON AVE. VIA SIDEWALK CULVERTS

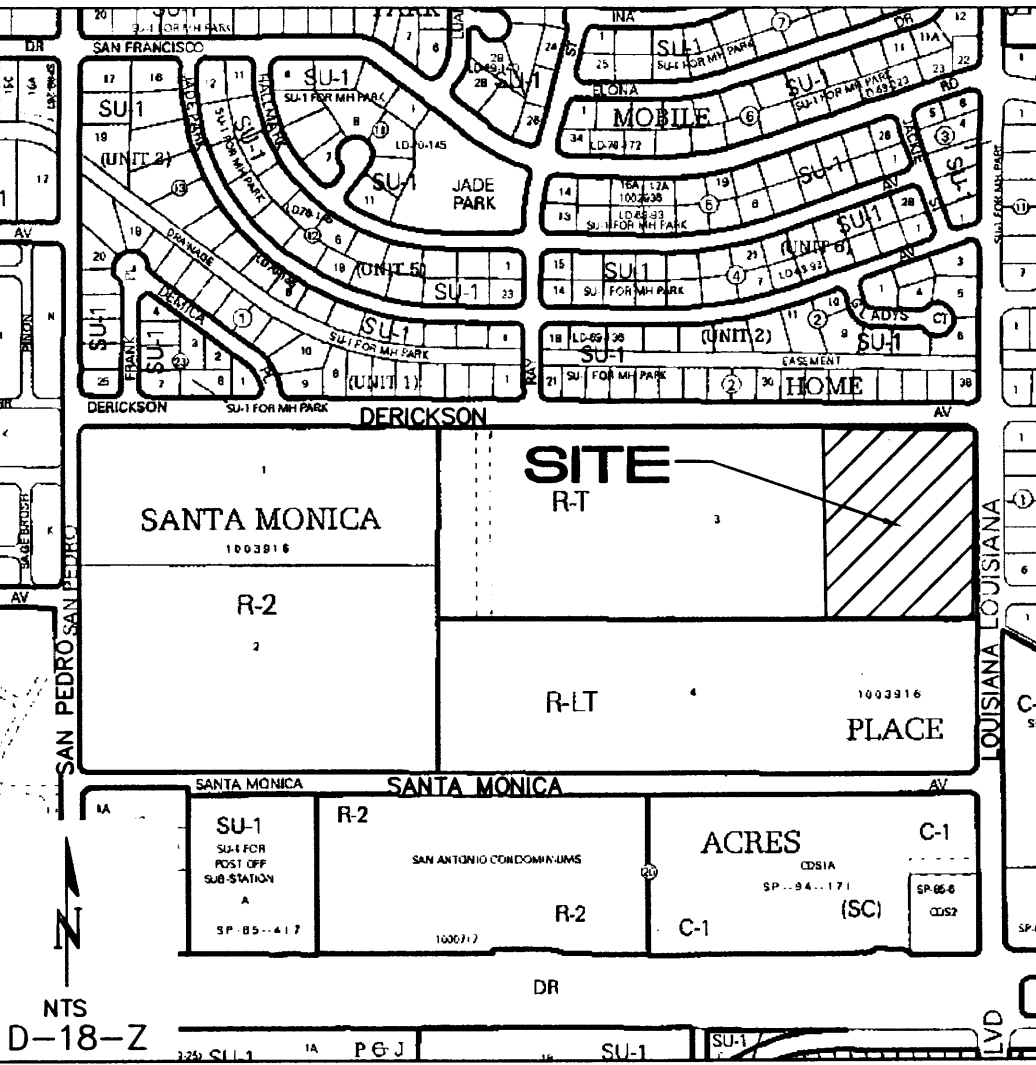
WITH AN ALLOWABLE OF 10 CFS FROM THE TOTAL TRACT, THIS WILL LEAVE APPROXIMATELY 2 CFS FOR THE REMAINDER OF TRACT 3 WHICH IS PLANNED FOR SINGLE FAMILY RESIDENTIAL AND IS EXPECTED TO DRAIN ALMOST ENTIRELY TO THE INTERNAL FUTURE PUBLIC STORM DRAIN EXTENSION. NOTE THAT PER THE APPROVED DRAINAGE REPORT FOR TRACT 1, ONLY 7.8 OF THE ALLOWABLE 10 CFS FROM THAT TRACT WILL BE DISCHARGED TO DERICKSON AVE. LEAVING AN ADDITIONAL 2.2 CFS AVAILABLE. *20000 GPD*

BASINS 2 AND 3: CONSISTS OF THE SOUTHERN 60% OF THE PROPERTY WHICH WILL DISCHARGE APPROXIMATELY 10.9 CFS TO THE UNDEVELOPED PORTION OF TRACT 3 EITHER VIA STORM DRAIN (BASIN 2) OR AS SURFACE DISCHARGE TO THE PROPOSED SOUTH PUBLIC STREET (BASIN 3). TEMPORARY PONDS AND EARTH SWALES WITH EROSION PROTECTION AS NEEDED WILL BE CONSTRUCTED TO PASS THE CONCENTRATED FLOW TO THE EXISTING POND TO ENTER THE PUBLIC STORM DRAIN SYSTEM AT THE PROVIDED STANDPIPE (TO BE CONSTRUCTED AS PART OF CPN 689984).

THESE BASIN CALCULATIONS DO NOT ACCOUNT FOR ANY WATER HARVESTING OR DETENTION BASINS WHICH MAY REDUCE THE TOTAL DISCHARGE RATES. *show first flush catchment*

ALL LANDSCAPE AREAS, OTHER THAN THOSE ADJACENT TO THE BUILDING, WILL BE DEPRESSED FOR WATER HARVESTING.

18" DEEP DETENTION PONDS WITHIN EACH OF THE BASIN AREAS WILL BE UTILIZED TO DETAIN DISCHARGE, UTILIZE FOR LANDSCAPING / INFILTRATION AND RELEASE EXCESS. *show catch*



PROJECT DATA

PROPERTY: THE SITE IS A PREVIOUSLY DEVELOPED (MOBILE HOME) PROPERTY LOCATED WITHIN C.O.A. VICINITY MAP D-18. THE SITE IS BOUND TO THE SOUTH BY UNDEVELOPED PROPERTY, TO THE WEST BY APARTMENTS, TO THE EAST BY LOUISIANA BLVD. AND TO THE NORTH BY DERICKSON AVE.

PROPOSED IMPROVEMENTS: THE PROPOSED IMPROVEMENTS INCLUDE AN APPROXIMATELY 59,500 SF SENIOR LIVING FACILITY WITH ASSOCIATED ASPHALT PAVED DRIVES, PARKING, PEDESTRIAN WALKS AND LANDSCAPING.

LEGAL: THE EASTERN PORTION OF TRACT 3, SANTA MONICA PLACE, ALBUQUERQUE. NM

AREA: *4.6* ACRES

BENCHMARK: VERTICAL DATUM IS BASED UPON THE ALBUQUERQUE CONTROL SURVEY BENCHMARK "18-E18", ELEVATION = 5269.166 (NGVD88)

OFF-SITE: NO OFF-SITE DRAINAGE IMPACTS THIS PROPERTY.

FLOOD HAZARD: THE SUBJECT PROPERTY LIES WITHIN ZONE "X" (AREAS DETERMINED TO BE OUTSIDE 0.2% ANNUAL CHANCE FLOOD PLAIN) IN ACCORDANCE WITH THE NATIONAL FLOOD INSURANCE PROGRAM RATE MAP NO. 35001C0137 F, EFFECTIVE DATE 11-19-03.

SURVEYOR: RUSS P. HUGG, SURV-TEK, INC., (505)897-3366, ALBUQUERQUE, NEW MEXICO.

LEGEND

- DRAINAGE BASIN
- CONCEPTUAL STORM DRAIN
- PROPOSED DETENTION POND / STORM DRAIN INLET LOCATION (18" DEEP)
- PROPOSED FLOW DIRECTION
- PROPOSED FINISH FLOOR ELEVATION
- PROPOSED WATER HARVESTING BASIN (6" DEPRESSED)

CALCULATIONS: Elan Senior Living Facility : May 23, 2014			
Based on Drainage Design Criteria for City of Albuquerque Section 22.2, DPM, Vol 2, dated Jan., 1993			
ON-SITE			
AREA OF SITE:	198332	SF	= 4.6
100-year, 6-hour			
DEVELOPED FLOWS:		EXCESS PRECIP:	
	Treatment SF	%	Precip. Zone 3
Area A =	0	0%	E _A = 0.66
Area B =	35700	18%	E _B = 0.92
Area C =	59500	30%	E _C = 1.29
Area D =	103133	52%	E _D = 2.36
Total Area =	198332	100%	
On-Site Weighted Excess Precipitation (100-Year, 6-Hour Storm)			
Weighted E =	$E_A A_A + E_B A_B + E_C A_C + E_D A_D$		
	$(.66 \times 0) + (.92 \times 35700) + (1.29 \times 59500) + (2.36 \times 103133)$		
Developed E =	1.78 in.		
On-Site Volume of Runoff: V ₃₆₀ =	$\frac{E \times A}{12}$		
Developed V ₃₆₀ =	29416 CF		
On-Site Peak Discharge Rate: Q _p = Q _{pA} + Q _{pB} + Q _{pC} + Q _{pD} / 43,560			
For Precipitation Zone 3			
Q _{pA} = 1.87	Q _{pB} = 3.45	Q _{pC} = 5.02	
Q _{pD} = 2.60			
Developed Q _p =	18.7 CFS		
BASIN NO.	1	DESCRIPTION	DRAINING TO DERICKSON AVE
Area of basin flows =	82379	SF	1.9 Ac.
The following calculations are based on Treatment areas as shown in table to the right			
Sub-basin Weighted Excess Precipitation (see formula above)	A = 0%		
Weighted E =	1.78 in.		
Sub-basin Volume of Runoff (see formula above)	B = 18%		
V ₃₆₀ =	12218 CF		
Sub-basin Peak Discharge Rate (see formula above)	C = 30%		
Q _p =	7.8 cfs		
D = 52%			
BASIN NO.	2	DESCRIPTION	DRAINING WEST TO PUBLIC STORM DRAIN STANDPIPE
Area of basin flows =	98526	SF	2.3 Ac.
The following calculations are based on Treatment areas as shown in table to the right			
Sub-basin Weighted Excess Precipitation (see formula above)	A = 0%		
Weighted E =	1.78 in.		
Sub-basin Volume of Runoff (see formula above)	B = 18%		
V ₃₆₀ =	14613 CF		
Sub-basin Peak Discharge Rate (see formula above)	C = 30%		
Q _p =	10.3 cfs		
D = 52%			
BASIN NO.	3	DESCRIPTION	DRAINING SOUTH TO PUBLIC STORM DRAIN STANDPIPE
Area of basin flows =	17426	SF	0.4 Ac.
The following calculations are based on Treatment areas as shown in table to the right			
Sub-basin Weighted Excess Precipitation (see formula above)	A = 0%		
Weighted E =	1.78 in.		
Sub-basin Volume of Runoff (see formula above)	B = 18%		
V ₃₆₀ =	2585 CF		
Sub-basin Peak Discharge Rate (see formula above)	C = 30%		
Q _p =	1.6 cfs		
D = 52%			

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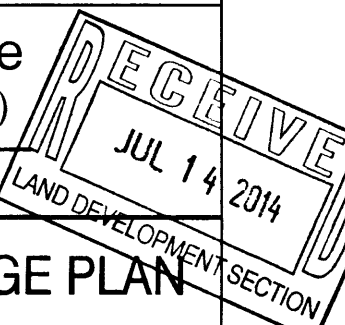
2047 CG-101 - Conceptual.dwg Jun 24, 2014

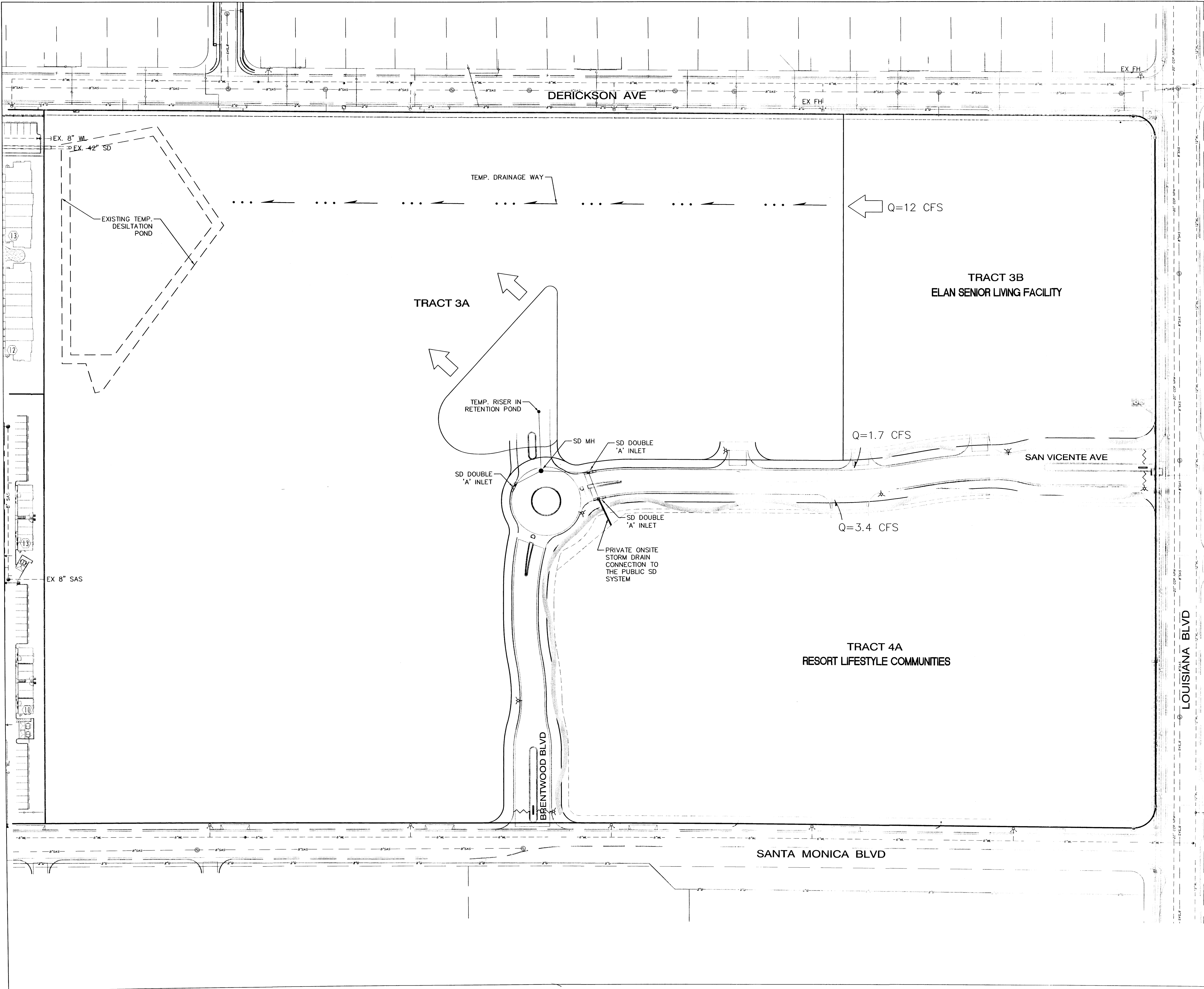
ELAN - Santa Monica Place
(Senior Assisted Living/Memory Care)

CONCEPTUAL GRADING & DRAINAGE PLAN

6/26/14
Drawn By: BJB
Ckd By: FCA

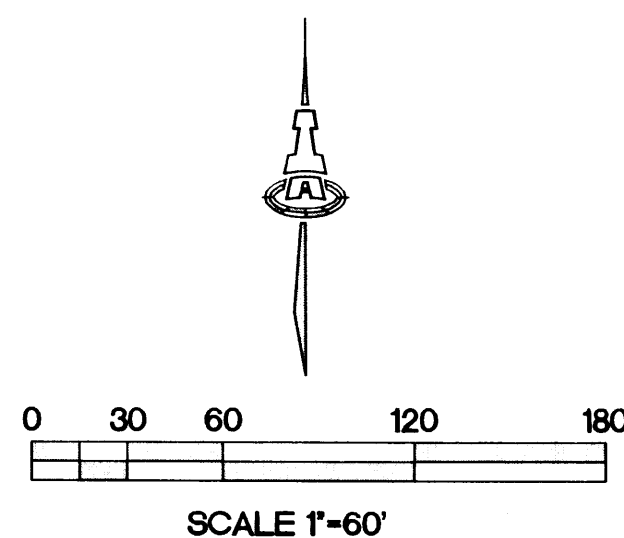
No. Revision: 1
Date: 6/26/14
Job No: 2047
CG-101
SH OF





LEGEND

- STORM DRAIN MANHOLE
- STORM DRAIN INLET
- ~~~~~ WATERBAR
- ... FLOW ARROW
- Q= XX CFS (6HR-100YR STORM EVENT)





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SANTA MONICA PLACE
TRACTS 3-A, 3-B, & 4-A INFRASTRUCTURE
DEL REY INVESTMENT, LLC

CONCEPTUAL MASTER DRAINAGE PLAN

Date:	5/20/14	No. Revision:		Date:		Job No.	2048
Drawn By:	DEC						PAGE
Chk By:	FCA						SH. OF

