

CITY OF ALBUQUERQUE



February 14, 2017

Fred Arfman R.A.
Isaacson & Arfman, P.A.
128 Monroe St NE
Albuquerque, NM 87108

Re: Elan – Santa Monica Pl, 6901 San Vicente Ave Ne
Request for Certificate of Occupancy- Transportation Development
Engineer's/Architect's Stamp dated 10-30-14 (D18-D054B)
Certification dated 02-14-17

Dear Mr. Arfman,

Based upon the information provided in your submittal received 02-14-17, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact me at (505) 924-3630.

Sincerely,

Logan Patz
Senior Engineer, Planning Dept.
Development Review Services

LWP via: email
C: CO Clerk, File

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: Elan - Santa Monica Place (Senior Assisted Living/Memory Care) Building Permit #: _____ City Drainage #: D18/D054B

DRB#: 1003916 EPC#: _____ Work Order#: _____

Legal Description: The Eastern Portion of Tract 3, Santa Monica Place

City Address: 6901 SAN VICENTE AVE. NE

Engineering Firm: Isaacson & Arfman, P.A. Contact: Fred C. Arfman

Address: 128 Monroe Street NE - Albuquerque, NM 87108

Phone#: (505) 268-8828 Fax#: _____ E-mail: freda@iacivil.com

Owner: Titan Senior Living Contact: Kurt Browning

Address: 6300 Riverside Plaza Lane NW, Suite 200 - Albuquerque, NM 87120

Phone#: (505) 998-0163 Fax#: _____ E-mail: _____

Architect: DZ ARCHITECTURE, LLC Contact: _____

Address: 2001 N. LAMAR ST. DALLAS, TX 75202

Phone#: _____ Fax#: _____ E-mail: _____

Other Contact: Surv-Tek, Inc. (CHRISTOPHER MEDINA - AS-BUILTS) Contact: Russ P. Hugg CHRIS MEDINA

Address: 9384 Valley View Drive NW - Albuquerque, NM 87114

Phone#: (505) 897-3366 Fax#: (505) 897-3377 E-mail: _____

Check all that Apply:

DEPARTMENT:

- ☐ HYDROLOGY/ DRAINAGE
☒ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☒ ENGINEER ARCHITECT CERTIFICATION

☐ CONCEPTUAL G & D PLAN

☐ GRADING PLAN

☐ DRAINAGE MASTER PLAN

☐ DRAINAGE REPORT

☐ CLOMR/LOMR

☒ TRAFFIC CIRCULATION LAYOUT (TCL)

☐ TRAFFIC IMPACT STUDY (TIS)

☐ EROSION & SEDIMENT CONTROL PLAN (ESC)

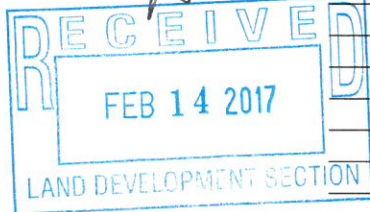
☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

DATE SUBMITTED: February 14, 2017 By: Fred C. Arfman

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____



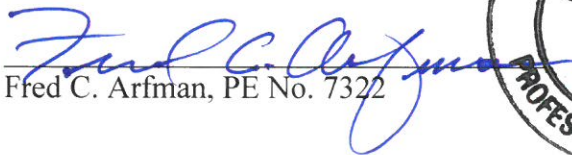
COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____



TRAFFIC CERTIFICATION

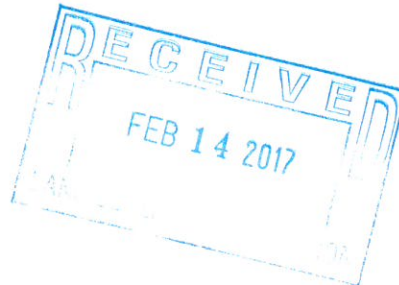
I, **Fred C. Arfman**, NMPE No. **7322** OF THE FIRM Isaacson & Arfman, PA, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE DRB APPROVED PLAN DATED **October 14, 2014**. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY **Fred C. Arfman** OF THE FIRM **Isaacson & Arfman, PA**. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON **February 13, 2017** AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR **PERMANENT CERTIFICATE OF OCCUPANCY**.

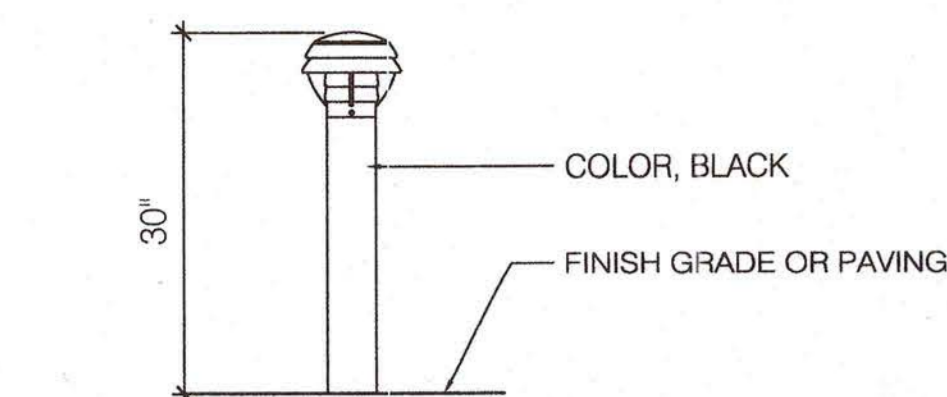
THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.


Fred C. Arfman, PE No. 7322

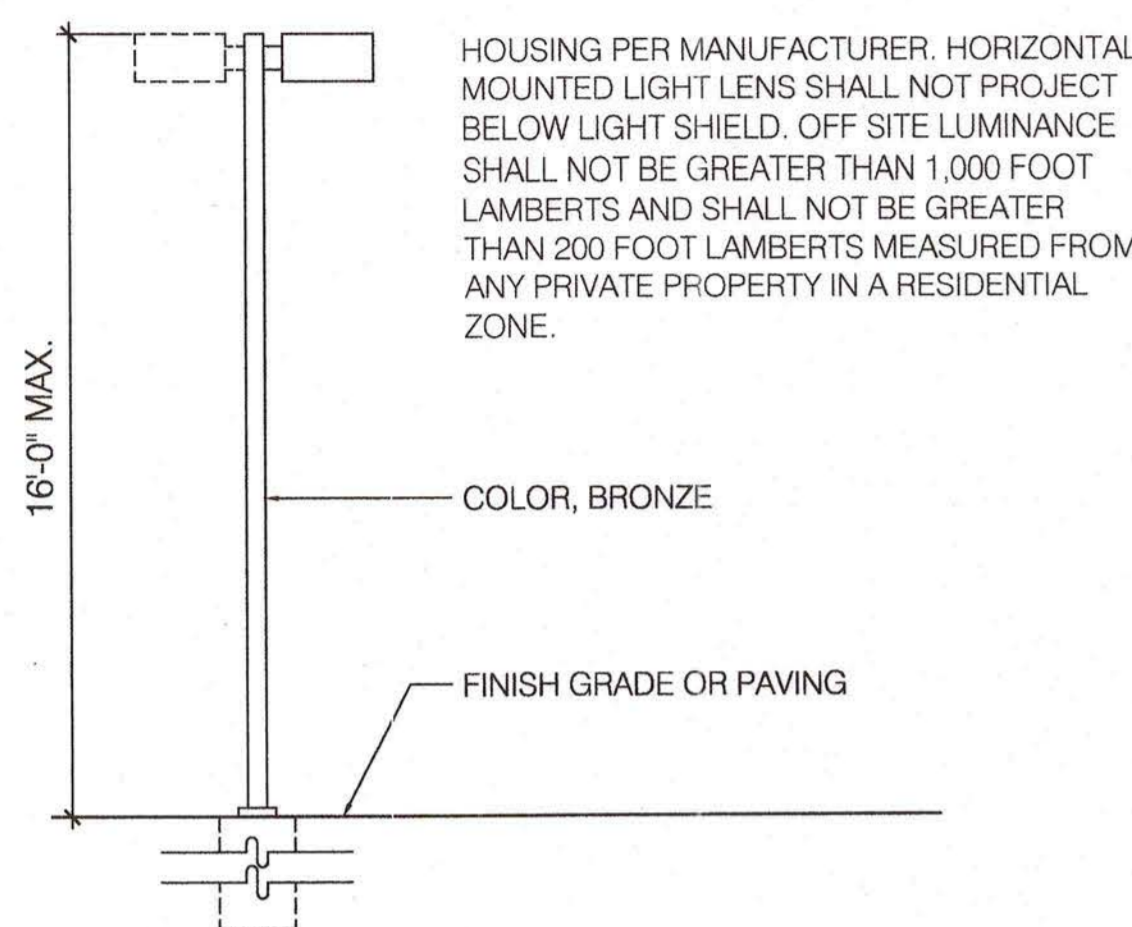


February 14, 2017
Date





BOLLARD LIGHT FIXTURE DETAIL Not to Scale



LIGHT FIXTURE DETAIL Not to Scale

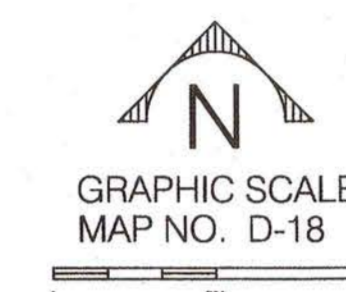
- KEY NOTES
- 1 PROPERTY LINE
 - 2 RETAINING WALL (SEE GRADING/DRAINAGE SHEET)
 - 3 TRASH ENCLOSURE
 - 4 ADA ACCESSIBLE CONCRETE SIDEWALK
 - 5 DRIVEWAY TO BE REMOVED
 - 6 6' COLORED, TEXTURED PEDESTRIAN CROSSING, TYP
 - 7 HANDICAP SIGN, TYP. (12"x18" MOUNTED ON POLE)
 - 8 PRECAST CONCRETE WHEEL STOPS
 - 9 OUTDOOR PATIO (600 SF)
 - 10 BICYCLE RACK
 - 11 FIRE HYDRANT
 - 12 FIRE ACCESS, WITH THE PERMEABLE PAVEMENT
 - 13 4' PERIMETER FENCE/WALL (SEE SITE PLAN FOR SUBDIVISION)
 - 14 DECORATIVE WINGWALL WITH PROJECT SIGNAGE (SEE BUILDING ELEVATION SHEET 9)
 - 15 SANTA MONICA PLACE MONUMENT SIGN (SEE SITE PLAN FOR SUBDIVISION)
 - 16 POLE MOUNTED LIGHT. (LOCATION IS CONCEPTUAL AND SUBJECT TO CHANGE DEPENDING ON PHOTOMETRIC PLAN)
 - 17 WALL MOUNTED LIGHT
 - 18 BOLLARD LIGHT
 - 19 DECORATIVE WINGWALL
 - 20 INTERIOR COURTYARD
 - 21 TRELLIS SHADE STRUCTURE
 - 22 TRANSFORMERS MAY BE REPLACED, RELOCATED, OR ABANDONED
 - 23 CURB OPENING FOR WATER HARVESTING PURPOSES (TYP)
 - 24 PROPOSED NEW 6' SIDEWALK
 - 25 PROPOSED NEW 5' SIDEWALK
 - 26 EXISTING SIDEWALK (TO BE REMOVED)
 - 27 MOTORCYCLE PARKING W/SIGN

- GENERAL NOTES:
1. ALL LIGHTING SHALL COMPLY WITH THE CITY COMPREHENSIVE ZONING CODE OF §14-16-3-9 AREA REGULATIONS.
 2. ROOF-MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED.
 3. RAINWATER HARVESTING MEASURES, SUCH AS CURB CUTS, SHALL BE PROVIDED. SEE GRADING/DRAINAGE SHEET.
 4. ALL SCREENING AND VEGETATION SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS SHALL ALLOW 10 FEET OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5-6 FEET OF CLEARANCE ON THE REMAINING THREE SIDES FOR SAFE OPERATION, MAINTENANCE, AND REPAIR PURPOSES.
 5. PNM COORDINATION: DEVELOPMENT SHALL ABIDE BY ALL CONDITIONS OR TERMS OF UTILITY EASEMENTS PRIOR TO DEVELOPMENT. CONTACT SHALL BE MADE TO PNM'S NEW SERVICE DELIVERY DEPARTMENT TO COORDINATE ELECTRIC SERVICE AND OPTIONS FOR THE LOCATION OF ELECTRIC SERVICE CONNECTION.
 6. ALL SIDEWALKS, RAMPS (INCLUDING REQUIRED TRUNCATED DOMES) CURB CUTS, AND CURB AND GUTTER SHALL BE BUILT PER C.O.A STANDARD DRAWINGS; SIDEWALK (2430), RAMPS (2440), CURB CUTS (2426), CURB AND GUTTER (2417A).
 7. CLEAR SIGHT DISTANCE: LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA. (SEE LANDSCAPE PLAN, SHEET 2, FOR SIGHT TRIANGLE).



Note: Curb opening locations (for water harvesting) are shown conceptually and shall be located and sized with final design.

VICINITY MAP



SITE DATA:
LEGAL DESCRIPTION: A PORTION OF TRACT 3, UNIT A BLOCK 18, NORTH ALBUQUERQUE ACRES.
SITE AREA: 4.60 AC.
PROPOSED LAND USE: ASSISTED LIVING AND MEMORY CARE FACILITY, INCLUDING 78 ASSISTED LIVING ROOMS AND 36 MEMORY CARE ROOMS, TOTAL OF 124 BEDS.

BUILDING AREA: 89,000 S.F.
MAXIMUM BUILDING HEIGHT: 40 FEET.
PARKING: REQUIRED MINIMUM PARKING: 1 SPACE PER 2 BEDS
TOTAL PARKING REQUIRED: 62
TOTAL PROVIDED PARKING: 72
HANDICAPPED REQUIRED: 4
HANDICAPPED PROVIDED: 4
MOTORCYCLE PARKING REQUIRED: 3
MOTORCYCLE PARKING PROVIDED: 3
BICYCLE REQUIRED: 4
BICYCLE PROVIDED: 4

--- FIRE LANE (CURB PAINTED RED; NOTED "FIRE LANE- NO PARKING")

PROJECT NUMBER: 1010144
Application Number: 14EPC-40042

This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated August 19, 2014, and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

[Signature] 10-29-14 Date
Traffic Engineering, Transportation Division
[Signature] 10/29/14 Date
ABCWUA
[Signature] 10-29-14 Date
Cand S. Dumont
Parks and Recreation Department
[Signature] 10-30-14 Date
City Engineer
[Signature] 10-14-14 Date
Solid Waste Management
[Signature] 10-30-14 Date
DRB Chairperson, Planning Department

ÉLAN-SANTA MONICA PLACE (Senior Assisted Living/Memory Care)

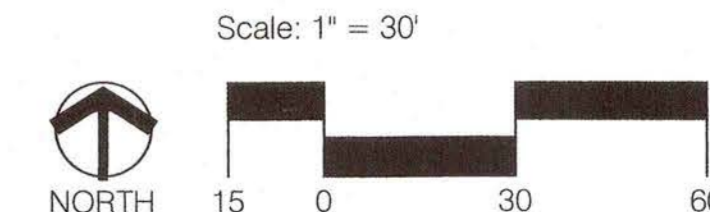
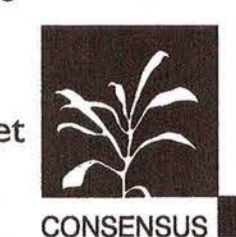
SITE PLAN FOR BUILDING PERMIT

Prepared For:
Titan Senior Living -Santa Monica
6300 Riverside Plaza Lane NW Suite 200
Albuquerque, NM 87120

Prepared By:
Consensus Planning, Inc.
302 Eighth Street NW
Albuquerque, NM 87102

Isaacson & Arfman, P.A.
128 Monroe Street NE
Albuquerque, NM 87108

D2 Architecture
2001 North Lamar Street
Suite 450
Dallas, TX 75202



OCTOBER 14, 2014

SHEET 1 OF 9