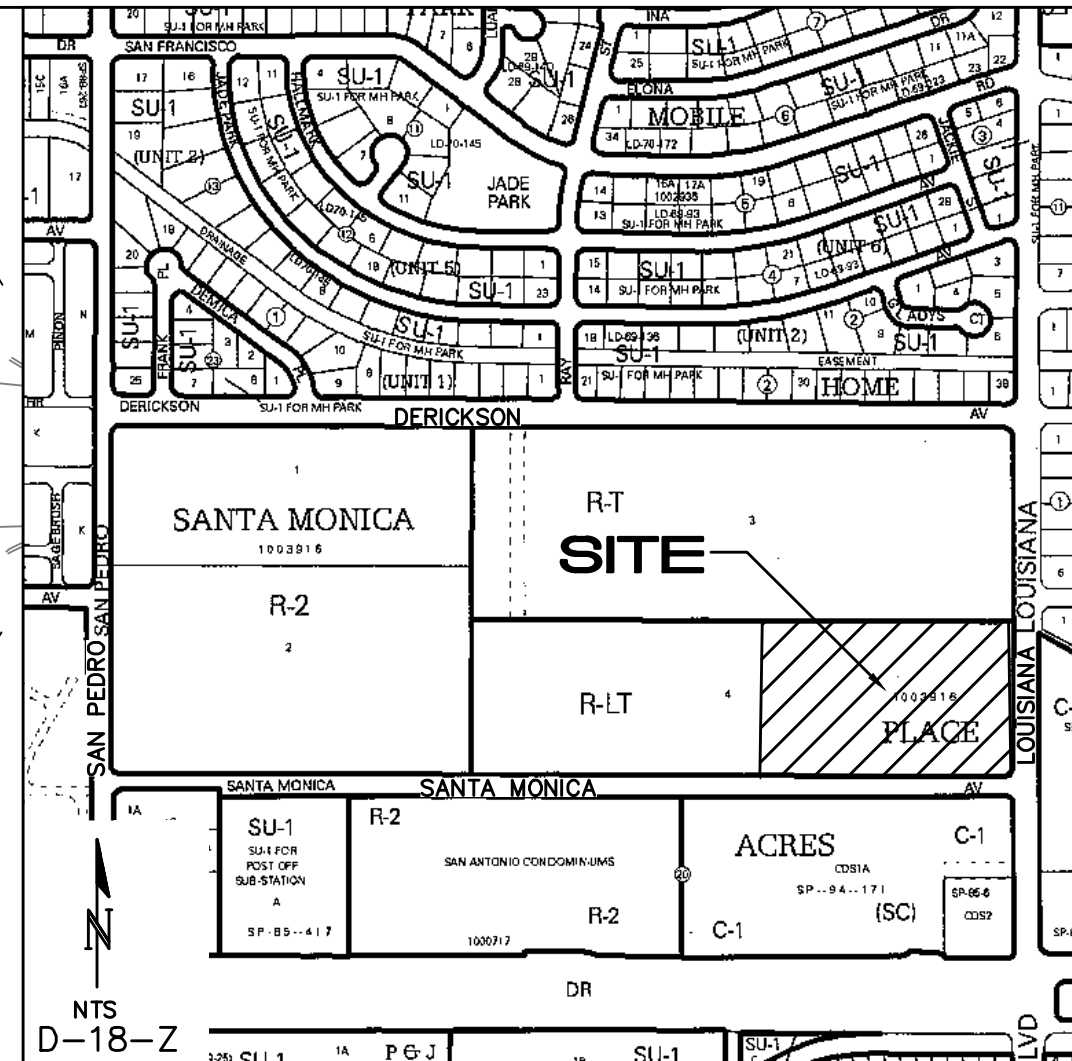
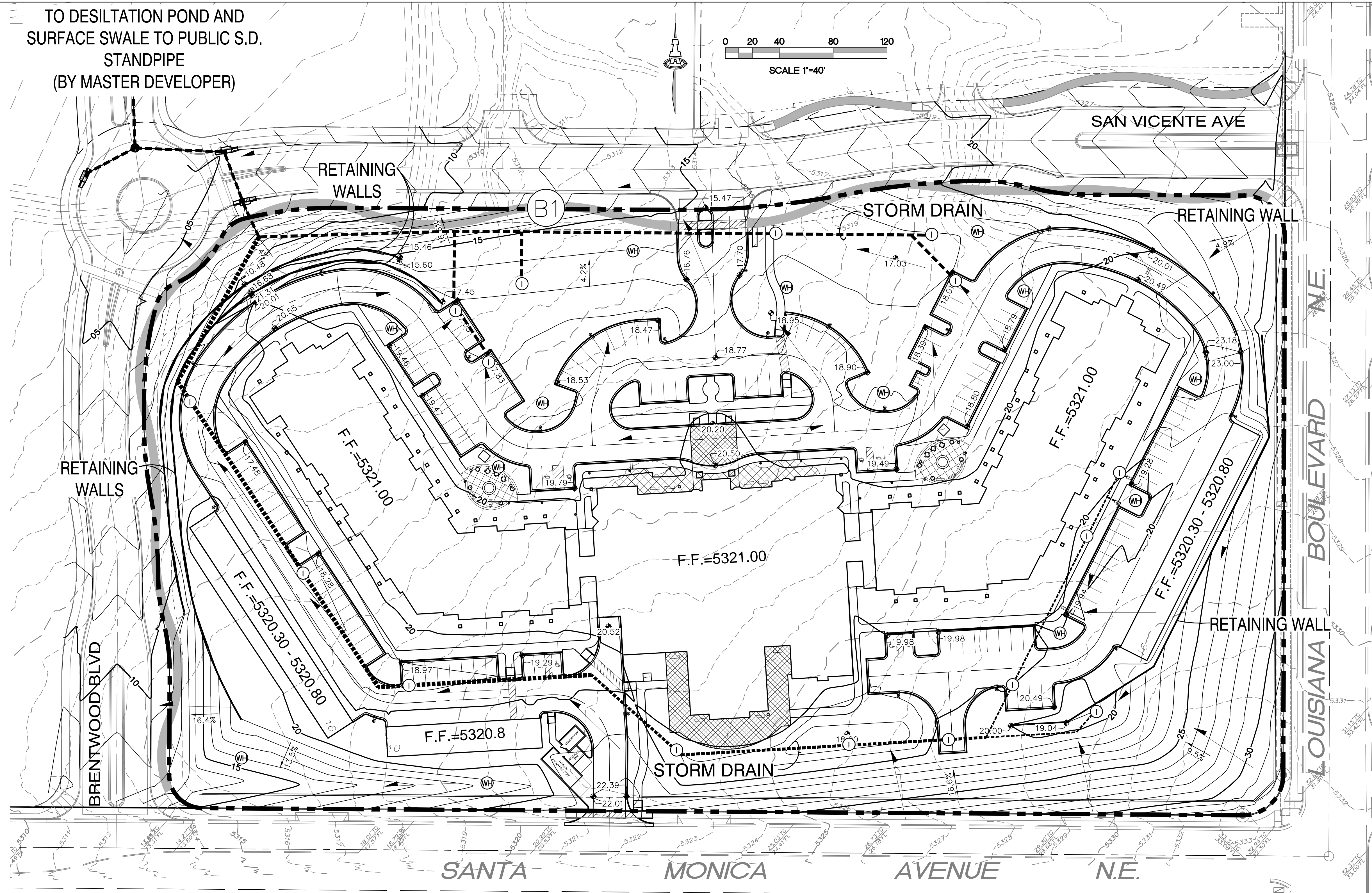
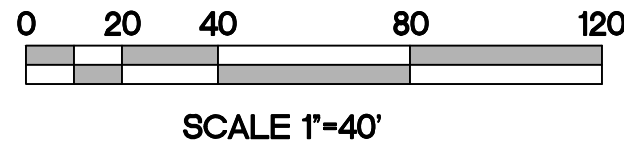


TO DESILTATION POND AND
SURFACE SWALE TO PUBLIC S.D.
STANDPIPE
(BY MASTER DEVELOPER)



DRAINAGE CONCEPT

THE DRAINAGE MASTER PLAN (DMP) BY ISAACSON & ARFMAN, P.A., DATED FEBRUARY 21, 2012, OUTLINED DRAINAGE REQUIREMENTS FOR EACH TRACT WITHIN SANTA MONICA PLACE (TRACTS 1 - 4). THIS PROPERTY IS A PORTION OF TRACT 4 WHICH WAS CALCULATED AS 15.58 ACRES WITH LAND TREATMENTS ESTIMATED AT 20%B, 20%C AND 60% D.

PER THE DMP, "TRACT 4 SHALL BE ALLOWED TO DISCHARGE 63.7 CFS INTO THE STORM DRAIN SYSTEM CONNECTING TO THE DERICKSON AVE. STORM DRAIN. IF FEASIBLE WITH GRADES, A PORTION MAY BE DISCHARGED TO SANTA MONICA AVE. AND ROUTED TO SAN PEDRO SINCE THERE IS EXCESS STREET CAPACITY AVAILABLE."

THE PROPOSED COMMUNITY (8.5 AC) SITE CONSISTS OF APPROXIMATELY 55% OF THE OVERALL AREA OF TRACT 3. THIS PORTION OF TRACT 3 MAY RELEASE AT A MAX OF APPROXIMATELY 55% X 63.7 = 35 CFS WITH ADDITIONAL DISCHARGE TO SANTA MONICA AVE. IF POSSIBLE.

FOR CONCEPTUAL G&D, THE SITE HAS BEEN CALCULATED AS A SINGLE BASIN AS DRAINAGE TO SANTA MONICA AVE. IS UNACHIEVABLE. ALL DISCHARGE WILL BE DIRECTED EITHER TO THE PROPOSED INTERNAL PUBLIC STREETS OR TO AN ON-SITE PRIVATE STORM DRAIN SYSTEM. BOTH SURFACE AND STORM DRAIN FLOW WILL BE DIRECTED TO THE NORTHWEST PROPERTY CORNER TO ENTER TRACT 3. A TEMPORARY DESILTATION POND WITH A TEMPORARY SWALE WITH EROSION PROTECTION WILL PASS DISCHARGE TO THE PUBLIC STORM DRAIN STANDPIPE AT THE NORTHWEST CORNER OF TRACT 3 (TO BE CONSTRUCTED AS PART OF THE DEVELOPMENT OF TRACT 2, CURRENTLY IN DESIGN).

THE PROPOSED ON-SITE PRIVATE STORM DRAIN SYSTEM WILL BE ANALYZED AND SIZED AS PART OF THE BUILDING PERMIT SUBMITTAL PLANS AND REPORT. THE FUTURE EXTENSION THROUGH TRACT 3 WILL BE ANALYZED AND SIZED AS PART OF THE ASSOCIATED FUTURE DEVELOPMENT.

TEMPORARY PONDS AND EARTH SWALES WITH EROSION PROTECTION AS NEEDED WILL BE CONSTRUCTED TO PASS THE CONCENTRATED FLOW TO THE EXISTING POND TO ENTER THE PUBLIC STORM DRAIN SYSTEM AT THE PROVIDED STANDPIPE (TO BE CONSTRUCTED AS PART OF CPN 689984).

THE STORMWATER CALCULATIONS DO NOT ACCOUNT FOR ANY ON-SITE WATER HARVESTING OR DETENTION BASINS WHICH MAY REDUCE THE DISCHARGE RATES.

ALL LANDSCAPE AREAS, OTHER THAN THOSE ADJACENT TO THE BUILDING, WILL BE DEPRESSED FOR WATER HARVESTING.

STORMWATER CONTROL MEASURES ARE REQUIRED TO PROVIDE MANAGEMENT OF 'FIRST FLUSH' (DEFINED AS THE 90TH PERCENTILE STORM EVENT OR 0.44" OF STORMWATER WHICH DISCHARGES DIRECTLY TO A PUBLIC STORM DRAINAGE SYSTEM).

CALCULATIONS: Resort Lifestyle Community : May 27, 2014
Based on Drainage Design Criteria for City of Albuquerque Section 22.2. DPM, Vol 2, dated Jan. 1993

ON-SITE	
AREA OF SITE:	375360 SF = 8.6
100-year, 6-hour	
DEVELOPED FLOWS:	
Area A	0 0%
Area B	112608 30%
Area C	75072 20%
Area D	187680 50%
Total Area	375360 100%
EXCESS PRECIP:	
Precip. Zone	3
E _A	0.66
E _B	0.92
E _C	1.29
E _D	2.36
On-Site Weighted Excess Precipitation (100-Year, 6-Hour Storm)	
Weighted E =	$\frac{E_A A_A + E_B A_B + E_C A_C + E_D A_D}{A_A + A_B + A_C + A_D}$
Developed E	1.71 in.
On-Site Volume of Runoff: V ₃₆₀ =	
E*A / 12	
Developed V ₃₆₀	53614 CF
On-Site Peak Discharge Rate: Q _p = Q _{pA} A _A + Q _{pB} A _B + Q _{pC} A _C + Q _{pD} A _D / 43,560	
For Precipitation Zone 3	
Q _{pA}	1.87
Q _{pB}	2.60
Q _{pC}	3.45
Q _{pD}	5.02
Developed Q _p	34.3 CFS

LEGEND

- DRAINAGE BASIN
- CONCEPTUAL STORM DRAIN
- STORM DRAIN INLET LOCATION
- PROPOSED FLOW DIRECTION
- PROPOSED FINISH FLOOR ELEVATION
- PROPOSED WATER HARVESTING BASIN (6" DEPRESSED)
- PROPOSED RETAINING WALL

PROJECT DATA

PROPERTY: THE SITE IS A PREVIOUSLY DEVELOPED MOBILE HOME PROPERTY LOCATED WITHIN C.O.A. VICINITY MAP D-18. THE SITE IS BOUND TO THE SOUTH BY SANTA MONICA AVE. NE, TO THE WEST BY APARTMENTS (TRACT 1), TO THE EAST BY LOUISIANA BLVD. AND TO THE NORTH BY UNDEVELOPED PROPERTY (TRACT 3).

PROPOSED IMPROVEMENTS: THE PROPOSED IMPROVEMENTS INCLUDE AN APPROXIMATELY 65,000 SF RETIREMENT COMMUNITY WITH THREE GARAGE PARKING BUILDINGS, ASSOCIATED ASPHALT PAVED DRIVES, PARKING, PEDESTRIAN WALKS AND LANDSCAPING.

LEGAL: THE EASTERN PORTION OF TRACT 4, SANTA MONICA PLACE, ALBUQUERQUE, NM

AREA: 8.6± ACRES

BENCHMARK: VERTICAL DATUM IS BASED UPON THE ALBUQUERQUE CONTROL SURVEY BENCHMARK "18-E18", ELEVATION = 5269.166 (NGVD88)

OFF-SITE: NO OFF-SITE DRAINAGE IMPACTS THIS PROPERTY.

FLOOD HAZARD: THE SUBJECT PROPERTY LIES WITHIN ZONE "X" (AREAS DETERMINED TO BE OUTSIDE 0.2% ANNUAL CHANCE FLOOD PLAN) IN ACCORDANCE WITH THE NATIONAL FLOOD INSURANCE PROGRAM RATE MAP NO. 35001C0137 F, EFFECTIVE DATE 11-19-03.

SURVEYOR: RUSS P. HUGG, SURV-TEK, INC., (505)897-3366, ALBUQUERQUE, NEW MEXICO.

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2051 CG-101 - Conceptual.dwg Jul 31, 2014

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RESORT LIFESTYLES COMMUNITIES
CAMERON GENERAL CONTRACTORS
TRACT 4A, SANTA MONICA PLACE

CONCEPTUAL GRADING & DRAINAGE PLAN

Date:	7/31/14	Revision:		Date:		Job No.	2051
Drawn By:	BJB						CG-101
Clk By:	FCA						SH OF