

# CITY OF ALBUQUERQUE



January 16, 2015

Ms. Asa Weber, PE  
Isaacson & Arfman, PA  
1287 Monroe Street NE  
Albuquerque, NM 87108

**Re: Coronado Villa Retirement Community, Tract 4B  
Revised Grading and Drainage Plan  
Engineer's Date 1-14-15 (D18D054C)**

Dear Ms. Weber,

Based upon the information provided in your submittal received 1-14-15, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

PO Box 1293

If you have any questions, you can contact me at 924-3994.

Albuquerque

Sincerely,

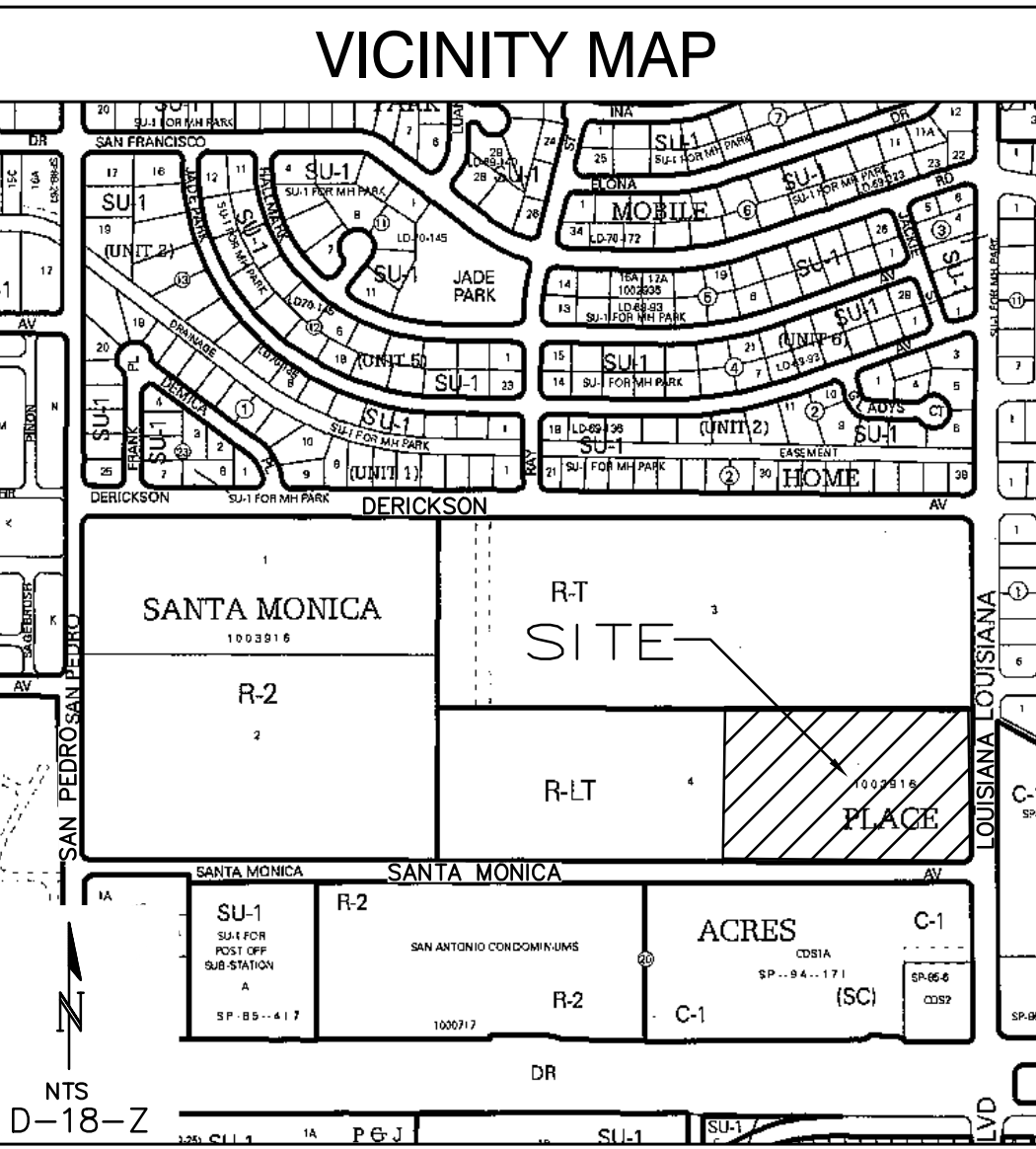
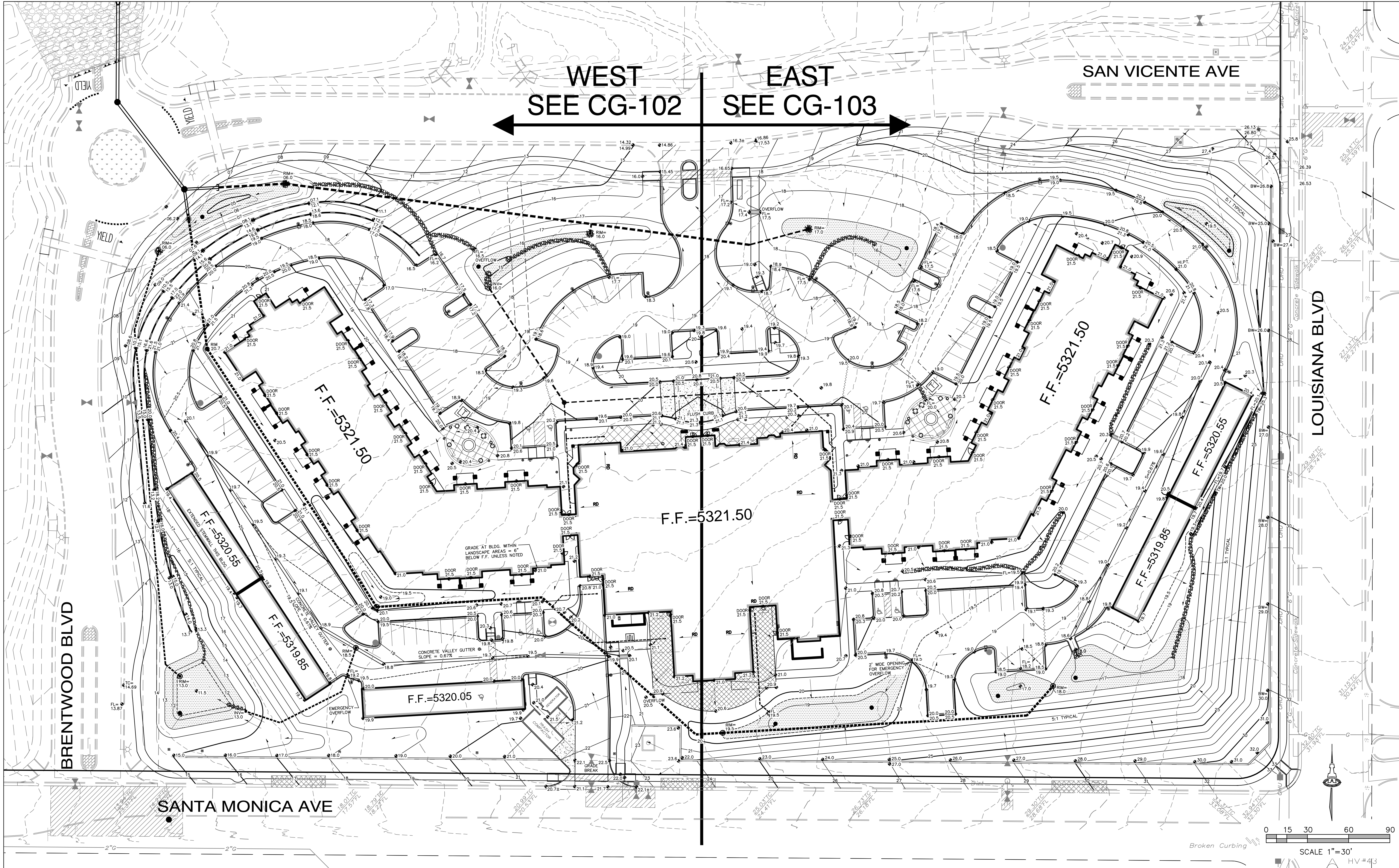
New Mexico 87103

Amy L. D. Niese, P.E.  
Senior Engineer, Hydrology  
Planning Department

[www.cabq.gov](http://www.cabq.gov)

C: e-mail  
file





**PROJECT DATA**

PROPERTY: THE SITE IS A PREVIOUSLY DEVELOPED MOBILE HOME PROPERTY LOCATED WITHIN C.O.A. VICINITY MAP D-18-Z. THE SITE IS BOUND TO THE SOUTH BY SANTA MONICA AVE, NE, TO THE WEST BY APARTMENTS (TRACT 1), TO THE EAST BY LOUISIANA BLVD, AND TO THE NORTH BY UNDEVELOPED PROPERTY (TRACT 3).

PROPOSED IMPROVEMENTS: THE PROPOSED IMPROVEMENTS INCLUDE AN APPROXIMATELY 68,300 SF (FOOTPRINT) RETIREMENT COMMUNITY WITH THREE GARAGE PARKING BUILDINGS, ASSOCIATED ASPHALT PAVED DRIVES, PARKING, PEDESTRIAN WALKS AND LANDSCAPING.

EXISTING LEGAL: THE EASTERN PORTION OF TRACT 4, SANTA MONICA PLACE, ALBUQUERQUE, NM

PROPOSED LEGAL: TRACT 4-B, SANTA MONICA PLACE, ALBUQUERQUE, NM

AREA: 8.6± ACRES

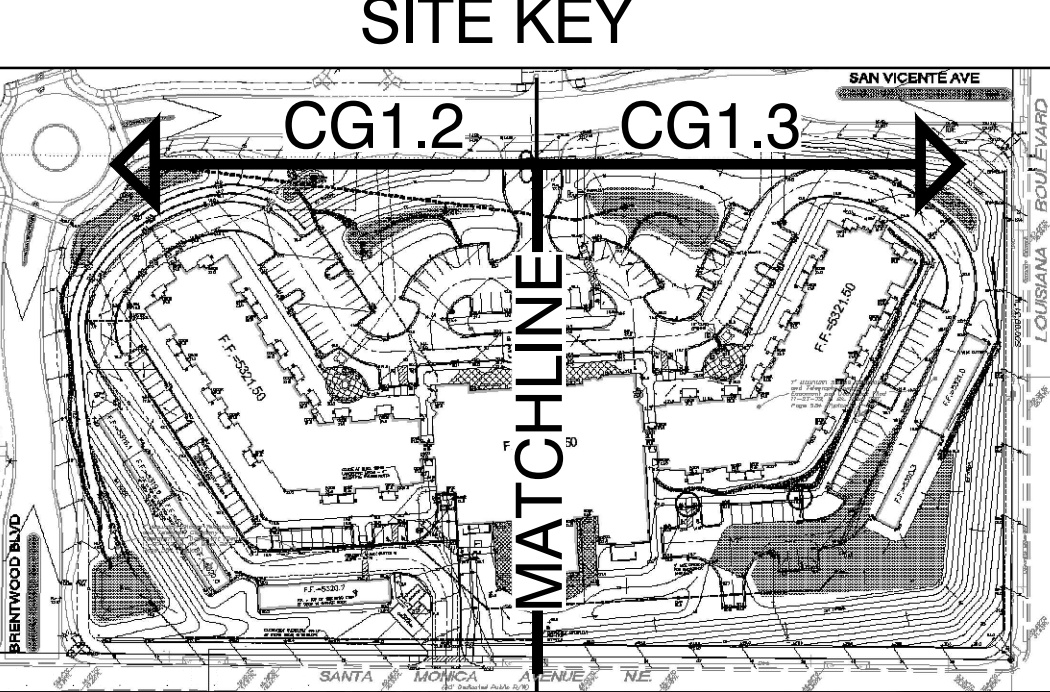
BENCHMARK: VERTICAL DATUM IS BASED UPON THE ALBUQUERQUE CONTROL SURVEY BENCHMARK "18-E18", ELEVATION = 5289.166 (NGVD88)

OFF-SITE: NO OFF-SITE DRAINAGE IMPACTS THIS PROPERTY.

FLOOD HAZARD: THE SUBJECT PROPERTY LIES WITHIN ZONE "X" (AREAS DETERMINED TO BE OUTSIDE 0.2% ANNUAL CHANCE FLOOD PLAIN) IN ACCORDANCE WITH THE NATIONAL FLOOD INSURANCE PROGRAM RATE MAP NO. 35001C0137 F, EFFECTIVE DATE 11-19-03.

SURVEYOR: RUSS P. HUGG, SURV-TEK, INC., (505)897-3366, ALBUQUERQUE, NEW MEXICO.

- GENERAL NOTES**
- A. ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT GEOTECHNICAL REPORT. WHERE APPLICABLE, CITY OF ALBUQUERQUE AND NMDOT STANDARDS APPLY.
- B. THE CONTRACTOR SHALL ABIDE BY ALL STATE, LOCAL, AND FEDERAL LAWS, CODES, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA AND ADA REQUIREMENTS.
- C. ALL SUBGRADE, OVEREXCAVATION, BACKFILL, AND FILL SHALL BE PLACED AND / OR COMPACTED PER THE GEOTECHNICAL REPORT.
- D. THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION, OR PRIOR TO OCCUPANCY, AS APPROPRIATE. IF PERMITS ARE DELAYED OR ISSUED WITH CONDITIONS, THE CONTRACTOR SHALL NOTIFY THE OWNER AND ARCHITECT IMMEDIATELY.
- E. COORDINATE WORK WITH SITE PLAN, UTILITY PLAN, DEMOLITION PLAN, AND LANDSCAPE PLAN.
- F. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING OBSTRUCTIONS, AND CONDITION OF ALL EXISTING INFRASTRUCTURE PRIOR TO CONSTRUCTION. REPORT ALL DISCREPANCIES TO THE ARCHITECT AND VERIFY THE ARCHITECT'S INTENT BEFORE PROCEEDING.
- G. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SITE SAFETY.
- H. THE CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS ON SITE AT ALL TIMES. THE CONTRACTOR SHALL NOT SCALE DRAWINGS. ONLY WRITTEN DIMENSIONS OR KEYED NOTES SHALL BE USED.
- I. CONTRACTOR SHALL OBTAIN ALL REQUIRED INSPECTIONS OF THE WORK. CONTRACTOR SHALL REGULARLY UPDATE OWNER AND ARCHITECT REGARDING THE STATUS OF THE INSPECTIONS.
- J. CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT STRUCTURES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE. CONTRACTOR SHALL BE RESPONSIBLE FOR DOCUMENTING EXISTING CONDITIONS PRIOR TO CONSTRUCTION.
- K. CONSTRUCTION EQUIPMENT SHALL ONLY OBSTRUCT DESIGNATED TRAFFIC LANES IF APPROPRIATE BARRICADING PERMITS HAVE BEEN OBTAINED. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL IN THE RIGHT-OF-WAY.
- L. THE CONTRACTOR SHALL PROVIDE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN THAT CONFORMS TO THE LATEST EDITION OF THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD) AND LOCAL REQUIREMENTS. THE CONTRACTOR SHALL OBTAIN BARRICADING PERMITS FROM THE APPROPRIATE AUTHORITIES PRIOR TO ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
- M. THE CONTRACTOR SHALL MAINTAIN ALL BARRICADING AND CONSTRUCTION SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADING AT THE END AND BEGINNING OF EACH DAY.
- N. PAVEMENT GRADES IN MARKED HANDICAPPED PARKING AREAS SHALL NOT EXCEED 2.0% IN ANY DIRECTION. FOR ALL ACCESSIBLE ROUTES, MAXIMUM ALLOWABLE CROSS SLOPE IS 2.0% AND MAXIMUM LONGITUDINAL SLOPE WITHOUT RAMP IS 5.0% FOLLOW ALL ADA ACCESSIBILITY GUIDELINES OR CITY CODES, WHICHEVER IS MORE STRINGENT.
- O. ALL TRASH, DEBRIS, & SURFACE VEGETATION SHALL BE CLEARED AND LEGALLY DISPOSED OF OFFSITE.
- P. PROPOSED SPOT AND CONTOUR ELEVATIONS SHOWN REPRESENT TOP OF FINISH MATERIAL (I.E. TOP OF CONCRETE, TOP OF CONCRETE BUILDING PAD, TOP OF PAVEMENT MATERIAL, TOP OF LANDSCAPING MATERIAL, ETC.). CONTRACTOR SHALL GRADE, COMPACT SUBGRADE AND DETERMINE EARTHWORK ESTIMATES BASED ON ELEVATIONS SHOWN MINUS FINISH MATERIAL THICKNESSES.
- Q. IF FIELD GRADE ADJUSTMENTS ARE REQUIRED, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER.
- R. MAXIMUM SLOPES SHALL BE 4:1. MINIMUM SLOPES SHALL BE 1% UNLESS OTHERWISE NOTED.
- S. EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. CONTRACTOR SHALL CONTACT NM-811 FOR UTILITY LINE SPOTS TWO WORKING DAYS PRIOR TO CONDUCTING SITE FIELD WORK. CONTRACTOR SHALL FIELD VERIFY AND LOCATE ALL UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF NECESSARY DRY UTILITY ADJUSTMENTS.
- T. SOIL TESTING AND INSPECTION SERVICES DURING EARTHWORK OPERATIONS ARE REQUIRED. CONTRACTOR SHALL ALLOW TESTING LABS TO INSPECT AND APPROVE COMPACTED SUBGRADES, BACKFILL, AND FILL LAYERS BEFORE FURTHER CONSTRUCTION WORK IS DONE. SHOULD COMPACTION TESTS INDICATE INADEQUATE DENSITY, CONTRACTOR SHALL PROVIDE ADDITIONAL COMPACTION AND TESTING AT THE CONTRACTOR'S SOLE EXPENSE.
- U. CONTRACTOR SHALL PROVIDE ALL OTHER CONSTRUCTION STAKING. CONTRACTOR SHALL LOCATE AND PRESERVE ALL BOUNDARY CORNERS AND REPLACE ANY LOST OR DISTURBED CORNERS AT CONTRACTOR'S SOLE EXPENSE. PROPERTY CORNERS SHALL ONLY BE RESET BY A REGISTERED LAND SURVEYOR.
- V. A CURRENT STORMWATER CONTROL PERMIT, INCLUDING AN EROSION SEDIMENT CONTROL PLAN (E.S.C.) FOR EROSION AND SEDIMENT CONTROL IS REQUIRED FOR ALL CONSTRUCTION, DEMOLITION, CLEARING, AND GRADING OPERATIONS THAT DISTURB THE SOIL ON ONE ACRE OR MORE OF LAND. OWNER WILL COORDINATE.
- W. POST-CONSTRUCTION MAINTENANCE FOR PRIVATE STORMWATER FACILITIES WILL BE THE RESPONSIBILITY OF THE FACILITIES OWNER. PERIODIC INSPECTION AND CERTIFICATIONS OF THE FACILITIES MAY BE REQUIRED BY THE CITY ENGINEER.
- X. STORMWATER CONTROL MEASURES SHOWN ON THIS PLAN ARE REQUIRED TO PROVIDE MANAGEMENT OF "FIRST FLUSH" (CURRENTLY CALCULATED AS 0.34" OF STORMWATER MULTIPLIED BY THE IMPERMEABLE AREA).
- Y. ADJUST RIMS OF EXISTING UTILITY FEATURES AS NECESSARY TO MATCH NEW GRADES. UTILITIES IN PAVED AREAS SHALL BE HS-25 TRAFFIC RATED.
- Z. ALL NEW PAVEMENT SURFACES SHALL BE CONSTRUCTED WITH POSITIVE SLOPE AWAY FROM BUILDINGS AND POSITIVE SLOPE TOWARD EXISTING AND/OR PROPOSED DRAINAGE PATHS. PAVING AND ROADWAY GRADES SHALL BE ±0.1' FROM PLAN ELEVATIONS. BUILDING PAD ELEVATION SHALL BE ±0.05' FROM PLAN ELEVATION.
- AA. WHERE GRADES BETWEEN NEW AND EXISTING ARE SHOWN AS 'MATCH' OR '±', TRANSITIONS SHALL BE SMOOTH.
- AB. ALL EROSION PROTECTION TO BE FRACTURED FACE ROCK (F.F. ROCK) = 6" AVG. DIA. ANGULAR FACED ROCK PLACED OVER GEOTEX 501 NON-WOVEN GEOTEXTILE (O.E.).
- AC. SLOPES STEEPER THAN 4:1 BUT LESS THAN 2:1 MUST HAVE PERMANENT EROSION CONTROL (F.F. ROCK O.E.) INSTALLED, TYPICAL. NO SLOPE SHALL BE STEEPER THAN 2:1.
- AD. CONTRACTOR SHALL COMPLY WITH LOCAL REGULATIONS FOR RESEEDING OF DISTURBED AREAS.
- AE. POND DESIGN PARAMETERS (TOP OF POND, BOTTOM OF POND, SIZE OF ORIFICE, AREA OF POND, ETC.) TO BE STRICTLY ADHERED TO FOR CERTIFICATION PURPOSES. SEE DETAIL SHEET FOR ADDITIONAL INFORMATION.
- AF. ENGINEER RECOMMENDS THAT OWNER MAINTAIN EROSION PROTECTION ELEMENTS. ENGINEER RECOMMENDS THAT OWNER INSPECT SITE YEARLY AND AFTER EACH RAINFALL TO IDENTIFY NEW AREAS OF EROSION AND INSTALL ADDITIONAL EROSION PROTECTION AS NEEDED BASED ON ACTUAL OCCURRENCES.
- AG. GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
- AH. MEASURES REQUIRED FOR EROSION AND SEDIMENT CONTROL SHALL BE INCIDENTAL TO THE PROJECT COST.
- AI. ALL SITE PREPARATION, GRADING OPERATIONS, FOUNDATION CONSTRUCTION, AND PAVEMENT INSTALLATION WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT, WHICH WILL BE PROVIDED BY THE OWNER OR ARCHITECT. ALL OTHER WORK SHALL, UNLESS OTHERWISE NOTED IN THE PLANS, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATION (FIRST PRIORITY), AND/OR NMDOT STANDARD SPECIFICATIONS FOR PUBLIC WORK (SECOND PRIORITY).



**Coronado Villa Retirement Community**

**CAMERON GENERAL CONTRACTORS**

**OVERALL GRADING & DRAINAGE PLAN**

Date: 9/10/14 No. Revision: Date: Job No. 2051

Drawn By: CG-101

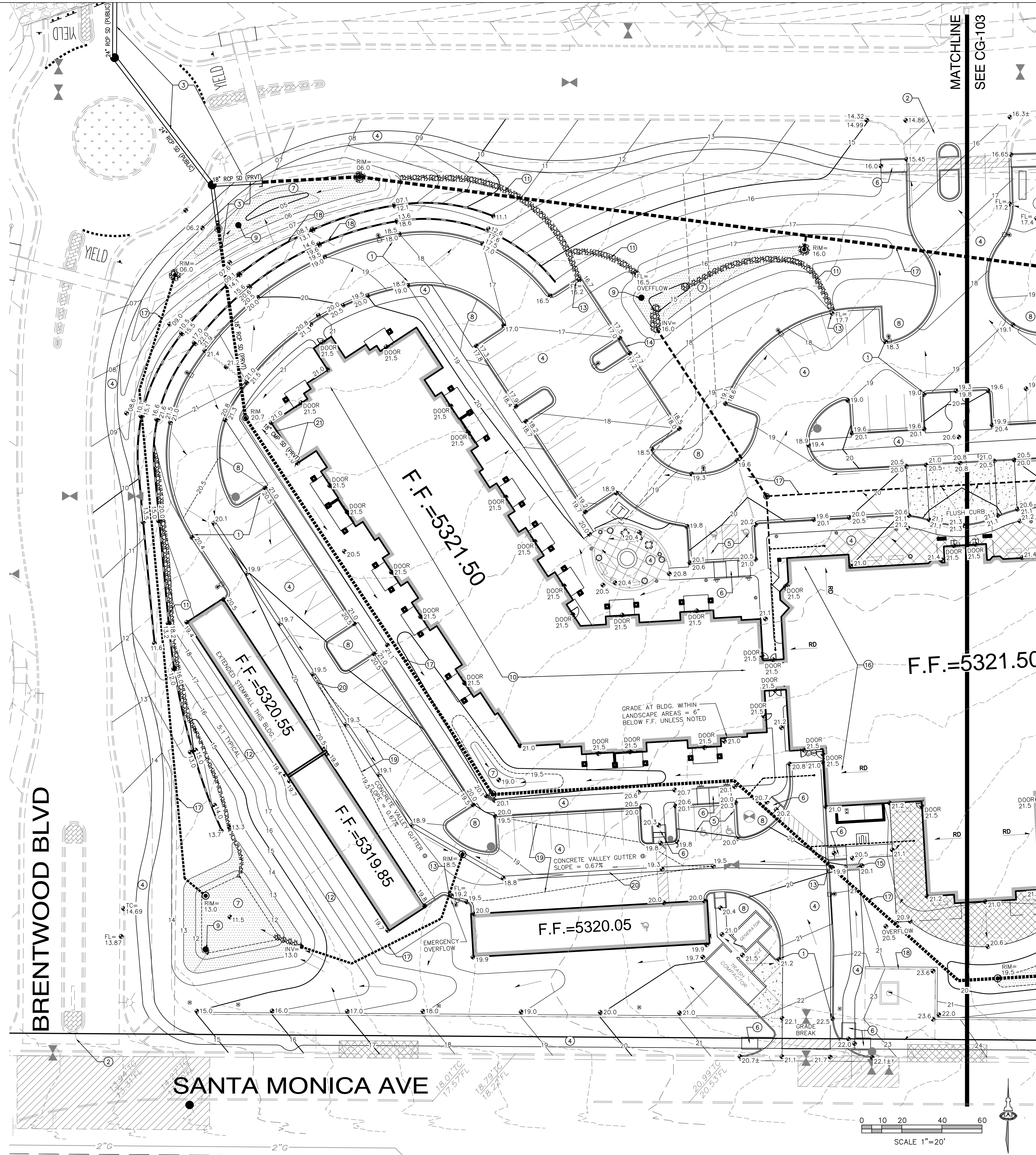
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2051 CG-101.dwg Jun 14, 2015

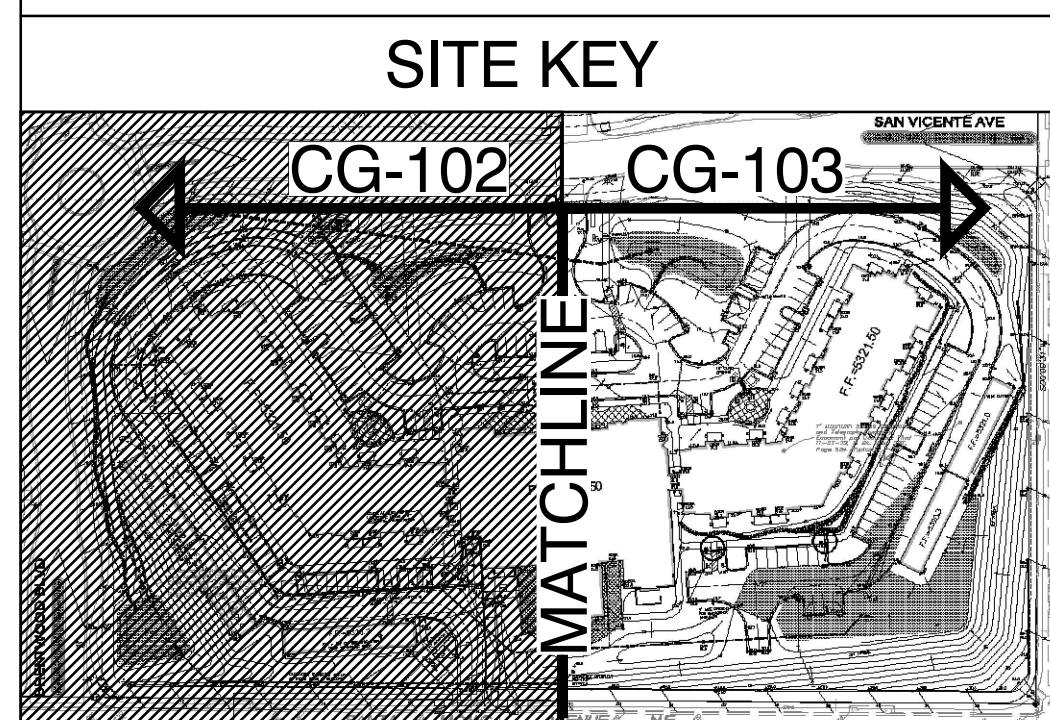
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- ### KEYED NOTES
- THESE NOTES ARE REFERENCED ON SHEETS CG-102 AND CG-103. NOT ALL NOTES ARE USED ON EACH SHEET.
- SPOT ELEVATION LABELS WITHIN GUTTER AREA REPRESENT FLOWLINE UNLESS NOTED. ADD 0.5' TYPICAL FOR TOP OF CURB / TOP OF ADJACENT WALK ELEVATIONS.
  - SEE PUBLIC WORK ORDER DRAWINGS FOR CONSTRUCTION OF NEW ACCESS DRIVES WITH CONCRETE VALLEY GUTTER AND RAMPS. SEE SHEET CP-103 FOR SIDEWALK GRADES AND TYPICAL SECTIONS FOR PERIMETER SIDEWALKS ALONG PUBLIC STREETS.
  - SEE PUBLIC WORK ORDER DRAWINGS FOR CONSTRUCTION OF STORM DRAIN SYSTEM THIS AREA.
  - CONSTRUCT PAVING, CURB & GUTTER, AND WALKS AT ELEVATIONS SHOWN. SEE PAVING PLAN, PAVING DETAILS AND ARCHITECTURAL SITE DETAILS FOR ADDITIONAL INFORMATION. NOTE THAT PAVEMENT SLOPES AND CROSS-SLOPES VARY THROUGHOUT TO ACHIEVE GRADES NECESSARY TO ACHIEVE PEDESTRIAN ACCESS, STREET STORMWATER CAPACITIES, PIPE COVERAGE, ETC.
  - SLOPES WITHIN HANDICAP PARKING AREAS TO MEET ADA REQUIREMENTS. MAX. SLOPE = 2% IN ANY DIRECTION.
  - CONSTRUCT HANDICAP ACCESS RAMP TO ADA STANDARDS. SEE SHEET CP-501 FOR DETAILS.
  - CONSTRUCT RETENTION POND TO ELEVATIONS SHOWN TO CAPTURE FIRST FLUSH RUNOFF.
  - DEPRESS LANDSCAPING. NOTE: DO NOT DEPRESS LANDSCAPING WITHIN 10' OF ANY STRUCTURE.
  - CONSTRUCT PERCOLATION PIT. SEE DETAIL SHEET CG-501.
  - BUILDING ROOF DISCHARGE SHALL BE RELEASED TO ALL SIDES.
  - CONSTRUCT DRAINAGE SWALE WITH EROSION PROTECTION INTEGRATED WITH LANDSCAPING THIS AREA. SEE DETAIL SHEET CG-501.
  - SLOPE AT 4:1 MAX. (5:1 TYPICAL).
  - PROVIDE 2' WIDE OPENING IN CURB TO PASS FLOW.
  - 1' WIDE (BOTTOM WIDTH) 'U' SHAPED CONCRETE CHANNEL THROUGH PARKING ISLAND TO PASS FLOW.
  - CONSTRUCT 18" WIDE (BOTTOM WIDTH) COVERED SIDEWALK CULVERT PER DETAIL ON SHEET CG-501.
  - BUILDING ROOF DISCHARGE SHALL BE PIPED TO STORM DRAIN.
  - CONSTRUCT PRIVATE STORM DRAIN SYSTEM. SEE SHEET CG-501 FOR SIZES / SLOPES / INLET INFORMATION / MATERIALS.
  - CONSTRUCT RETAINING WALL (MAX. 5' RETAINING) TO ACHIEVE GRADE DIFFERENCE THIS AREA. STRUCTURAL / WEEPHOLE DESIGN BY OTHERS.
  - 0.5' CONTOURS ARE PROVIDED THIS AREA TO CLARIFY DRAINAGE CONCEPT.
  - CONSTRUCT 2' WIDE CONCRETE ALLEY GUTTER AT ELEVATIONS SHOWN.
  - REMOVE & DISPOSE 18" CMP PIPE AND STANDPIPE INSTALLED WITH PUBLIC WORK ORDER.
  - CONSTRUCT PCC RUNDOWN PER DETAIL ON SHEET CG-501.

- ### LEGEND
- 79 PROPOSED CONTOUR - 1' INCREMENT
  - 75.5 PROPOSED CONTOUR - 0.5' INCREMENT
  - 78.3 PROPOSED SPOT ELEVATION
  - 78.3± EXISTING ELEVATION (±) TO MATCH. PROVIDE SMOOTH TRANSITION.
  - 78.3± EXISTING ELEVATION (±) TO MATCH. PROVIDE SMOOTH TRANSITION.
  - ROCK EROSION CONTROL
  - GRADE BREAK
  - PROPOSED STORM DRAIN (SEE CG5.1)
  - FL= FLOWLINE ELEVATION
  - INV= INVERT ELEVATION
  - RETAINING WALL
  - 'FIRST FLUSH' RETENTION POND

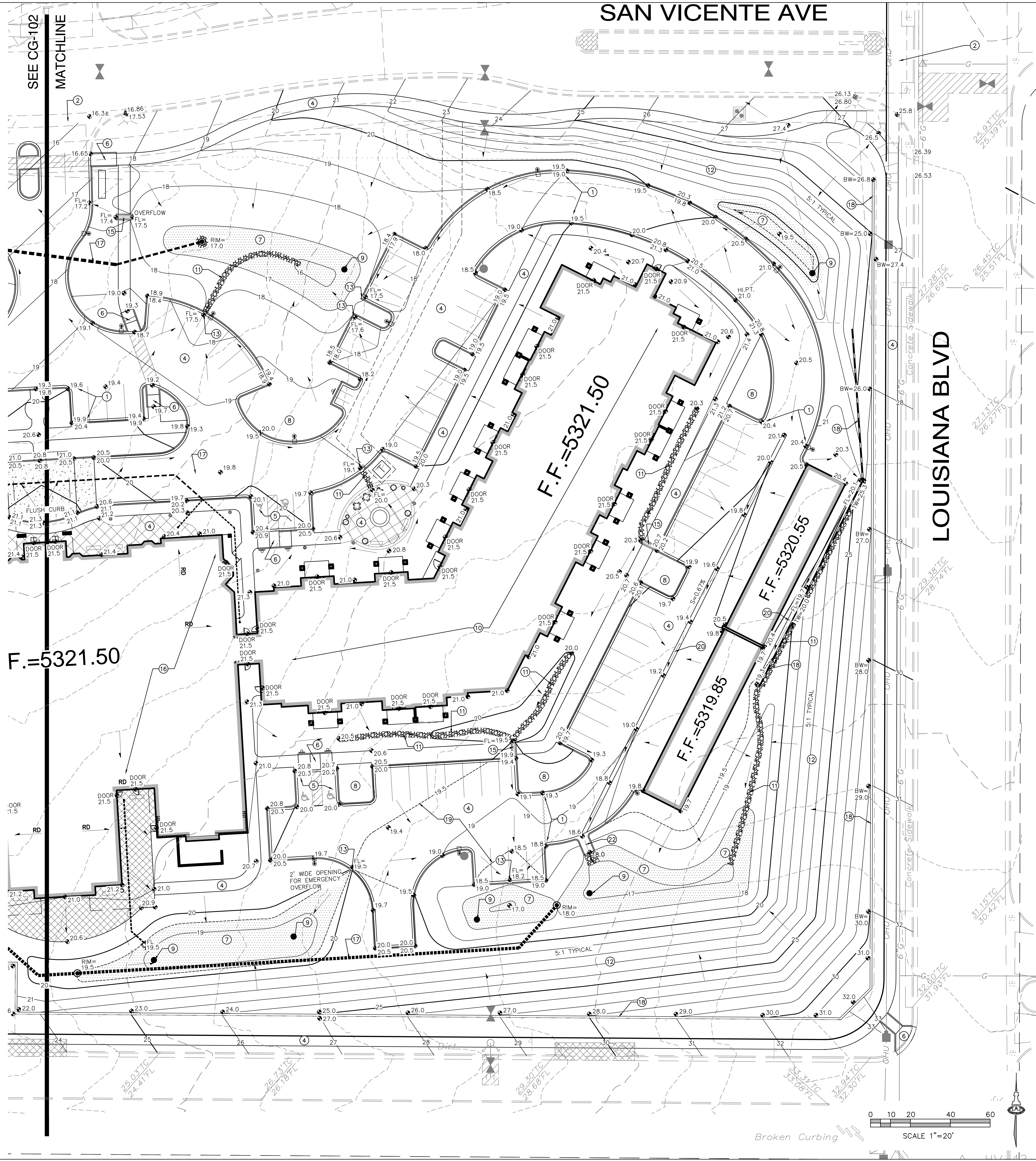


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Coronado Villa Retirement Community			
CAMERON GENERAL CONTRACTORS			
GRADING & DRAINAGE PLAN - WEST			
Date: 9/10/14	No. Revision:	Date:	Job No. 2051
Drawn By:			CG-102
Okd By: FCA			SH. OF

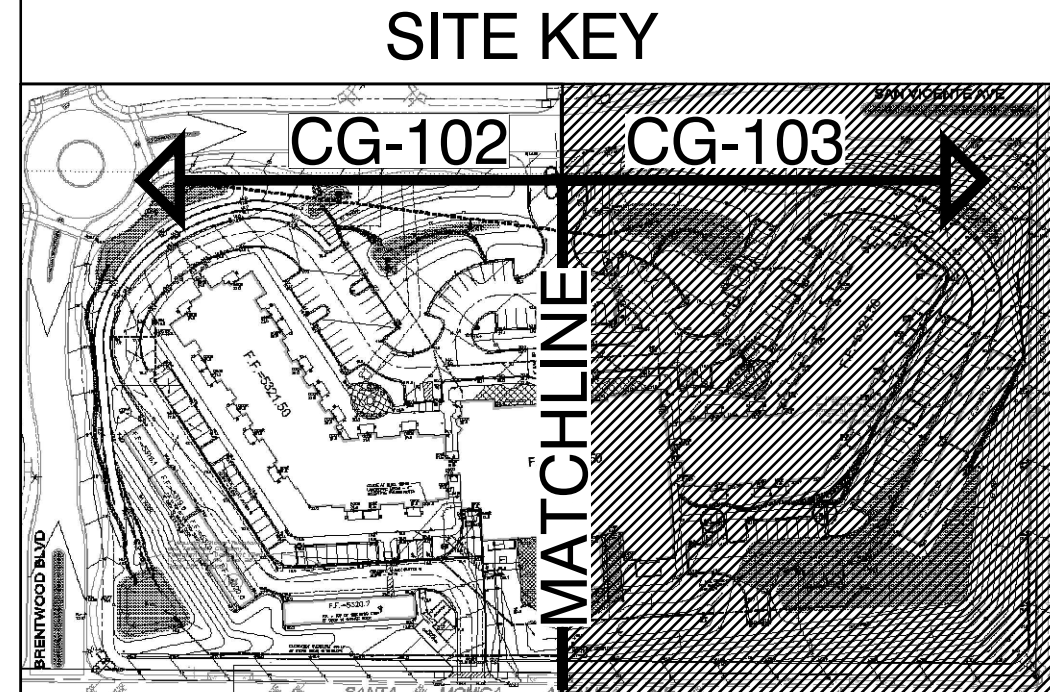






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2051 CG-101.dwg Jun 14, 2015

Coronado Villa Retirement Community			
CAMERON GENERAL CONTRACTORS			
GRADING & DRAINAGE PLAN - EAST			
Date: 9/10/14	No. Revision:	Date:	Job No. 2051
Drawn By:			CG-103
Chk By: FCA			SH. OF





