

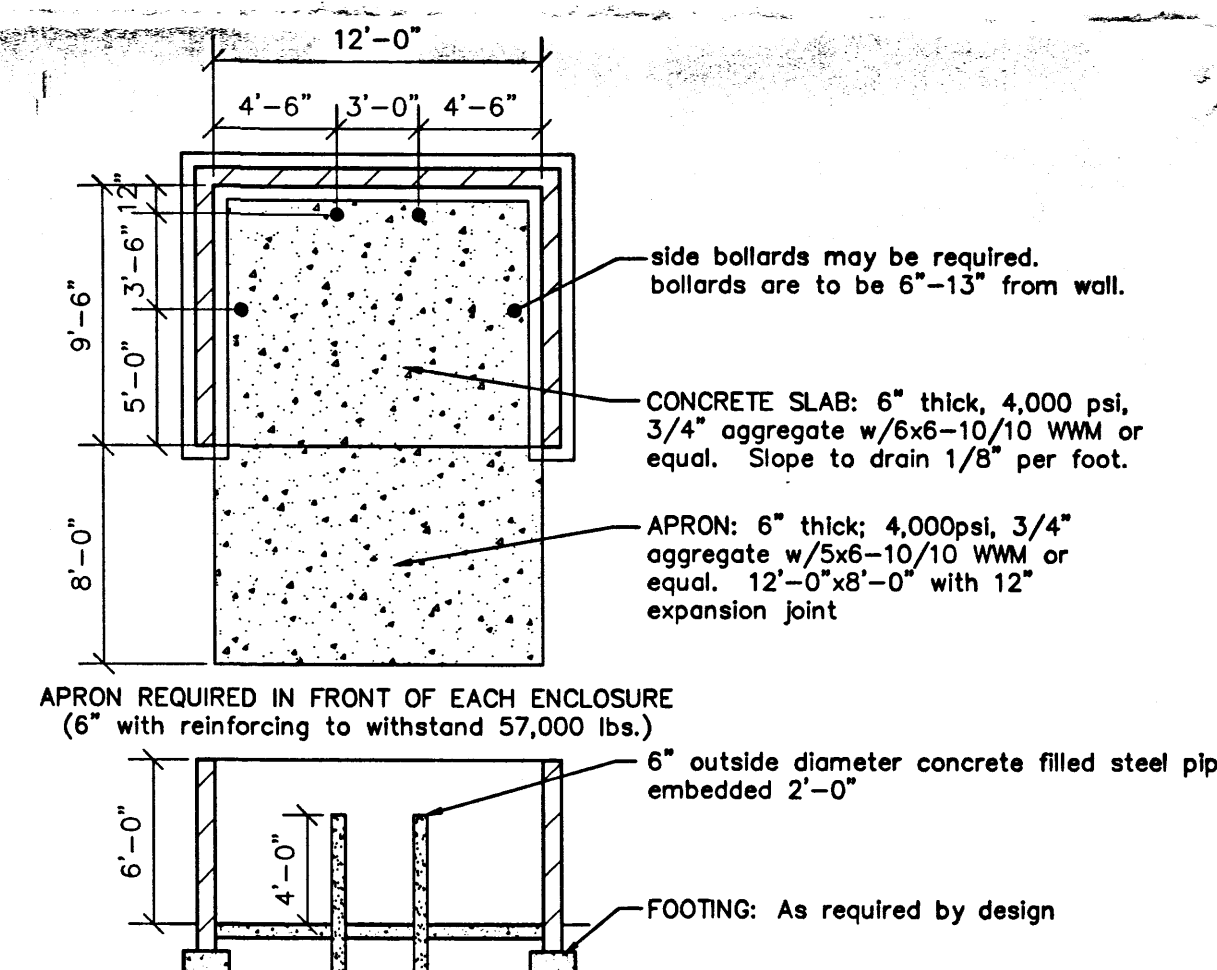
VICINITY MAP ZAP D-18-Z NTS

KEYED NOTES

1. TWO EXISTING 48" CMP CULVERTS WITH END TREATMENTS.
2. EXISTING ASPHALT PAVEMENT AND SERVICE ROAD ENTRANCE.
3. EXISTING WATER METER AND 3/4" SERVICE LINE.
4. EXISTING WATER LINE TO BE EXTENDED AS NEEDED.
5. EXISTING 4" SAS TO BE EXTENDED AS NEEDED.
6. EXISTING BILLBOARD.
7. EXISTING NORTH WALL OF NORTH PINO ARROYO.
8. CONSTRUCT NEW 6" CONCRETE CURB PER DETAIL "C/1" SHEET 1.
9. CONSTRUCT AT GRADE H/C ACCESSIBLE RAMP PER DETAIL "B/1" SHEET 1.
10. CONSTRUCT 4' WIDE RIP RAP LINED SWALE TO DRAINAGE CHANNEL PER DETAIL "A/2" THIS SHEET.
11. CONSTRUCT NEW ASPHALT PAVEMENT PER DETAIL "A/1" SHEET 1.
12. NEW LANDSCAPING.
13. NEW SCREENED REFUSE ENCLOSURE PER DETAIL "D/1" SHEET 1.
14. EXISTING CHAIN LINK FENCE.
15. PROVIDE 12" CURB BLOCKOUT FOR DRAINAGE.
16. CONSTRUCT LANDSCAPE SWALE.

SITE PARKING DATA	
BUILDING AREA	2256 S.F.
OFFICE AREA	1107 S.F.
WAREHOUSE AREA	1149 S.F.
REQUIRED PARKING OFFICE	1 SPACE/200 S.F.
REQUIRED PARKING WAREHOUSE	1 SPACE/2000 S.F.
REQUIRED PARKING	7 SPACES
PROVIDED PARKING	7 SPACES + 1H/C = 8 TOTAL

NOTE: BASIS OF BEARING IS RECORD PLAT AND TIE TO STATE HIGHWAY MONUMENT I-25-14 IN PLAT BOOK C27, PAGE 158



It is not the intention of the Solid Waste Department to control the design of an enclosure. It is the intent to give the minimum width, length and height for varied types of enclosures.

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PROPERTY ADDRESS

7600 Pan American East Frontage Rd.

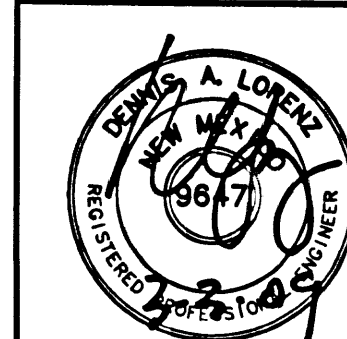
LEGAL DESCRIPTION

Tract 'A', Unit 'A'
New Mexico State Highway Department

ZONING

M-1

ACCENT POOLS SITE AND UTILITIES PLAN

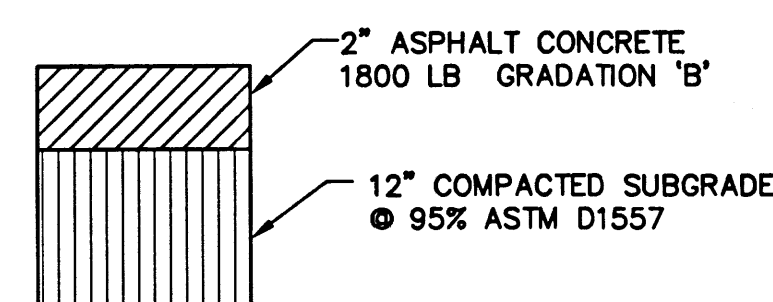


BRASHER & LORENZ
CONSULTING ENGINEERS
2201 San Pedro NE Building 1 Suite 1300
Albuquerque, New Mexico 87110
Ph: 505-888-6088 Fax: 505-888-6188

DRAWN BY: M.V.H. DATE: JANUARY 30, 2008
CHECKED BY: D.A.L.
FILE: 09501NEW SITEPLAN SHEET 1 OF 2

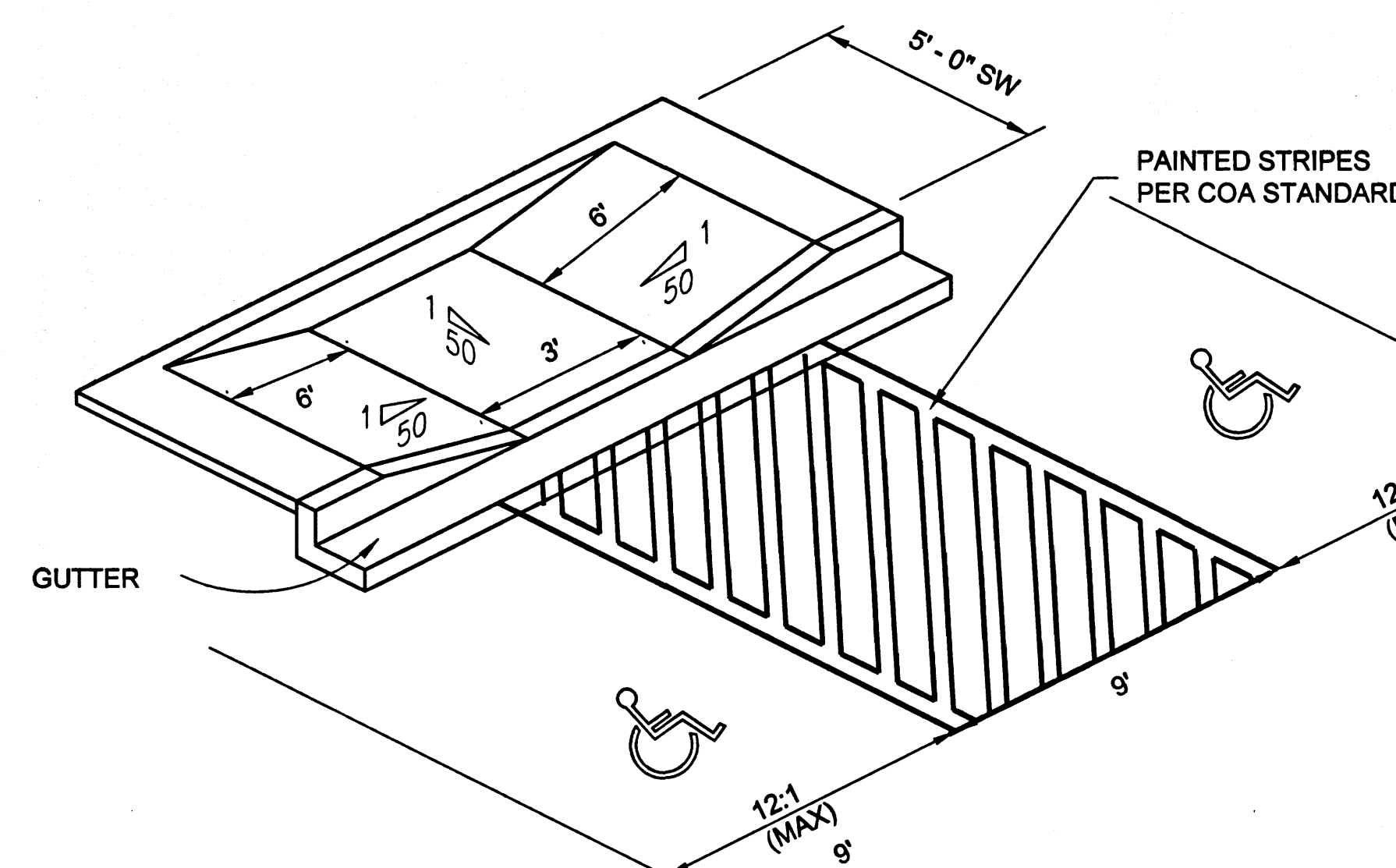
PAVEMENT SECTION LIGHT DUTY

NTS



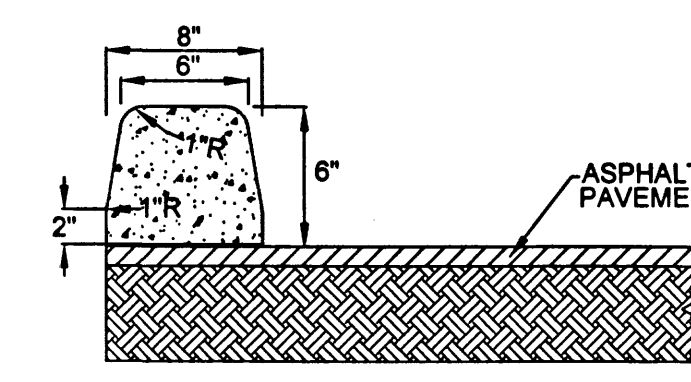
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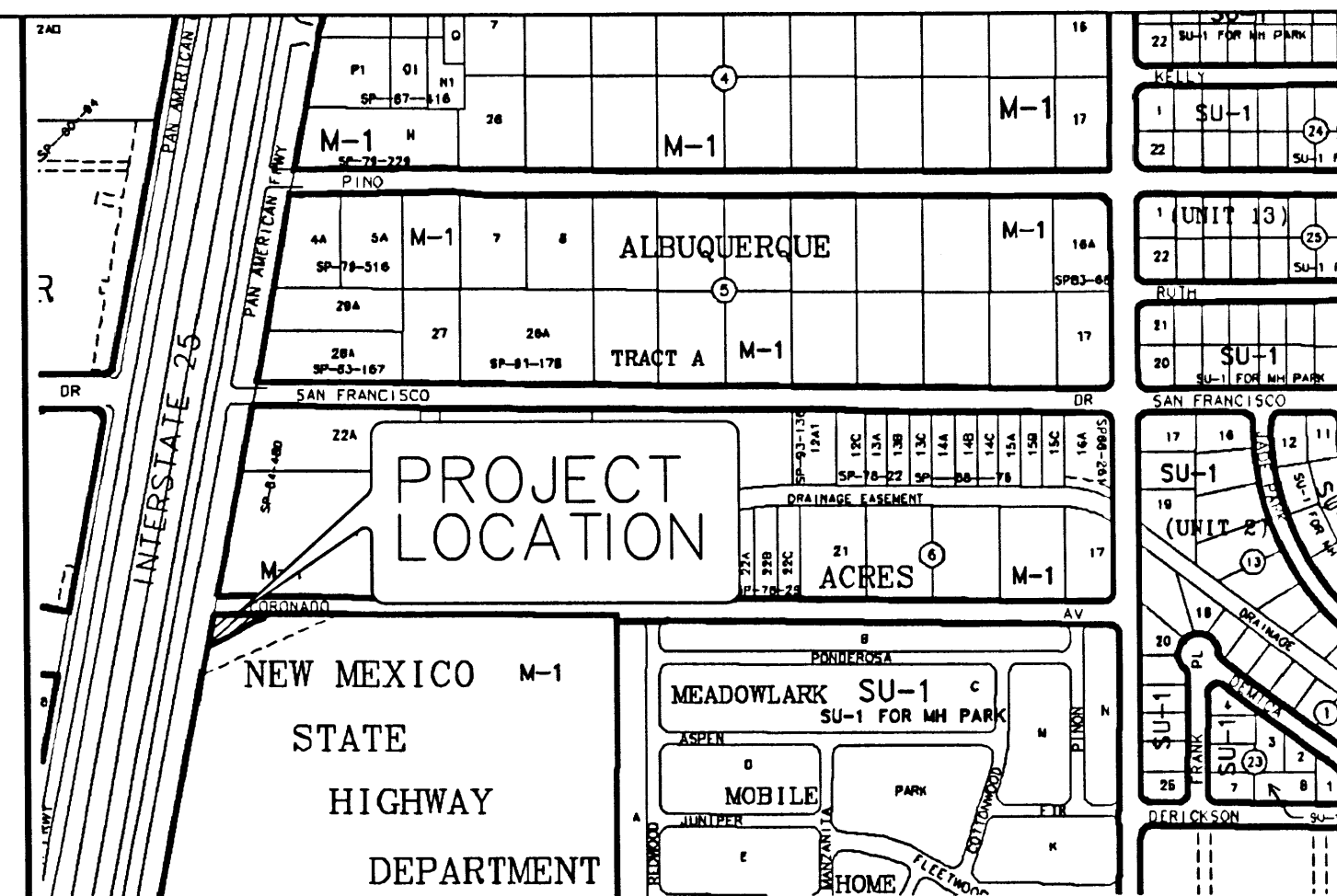
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6" EXTRUDED CONCRETE CURB

NTS





VICINITY MAP ZAP D-18-Z NTS

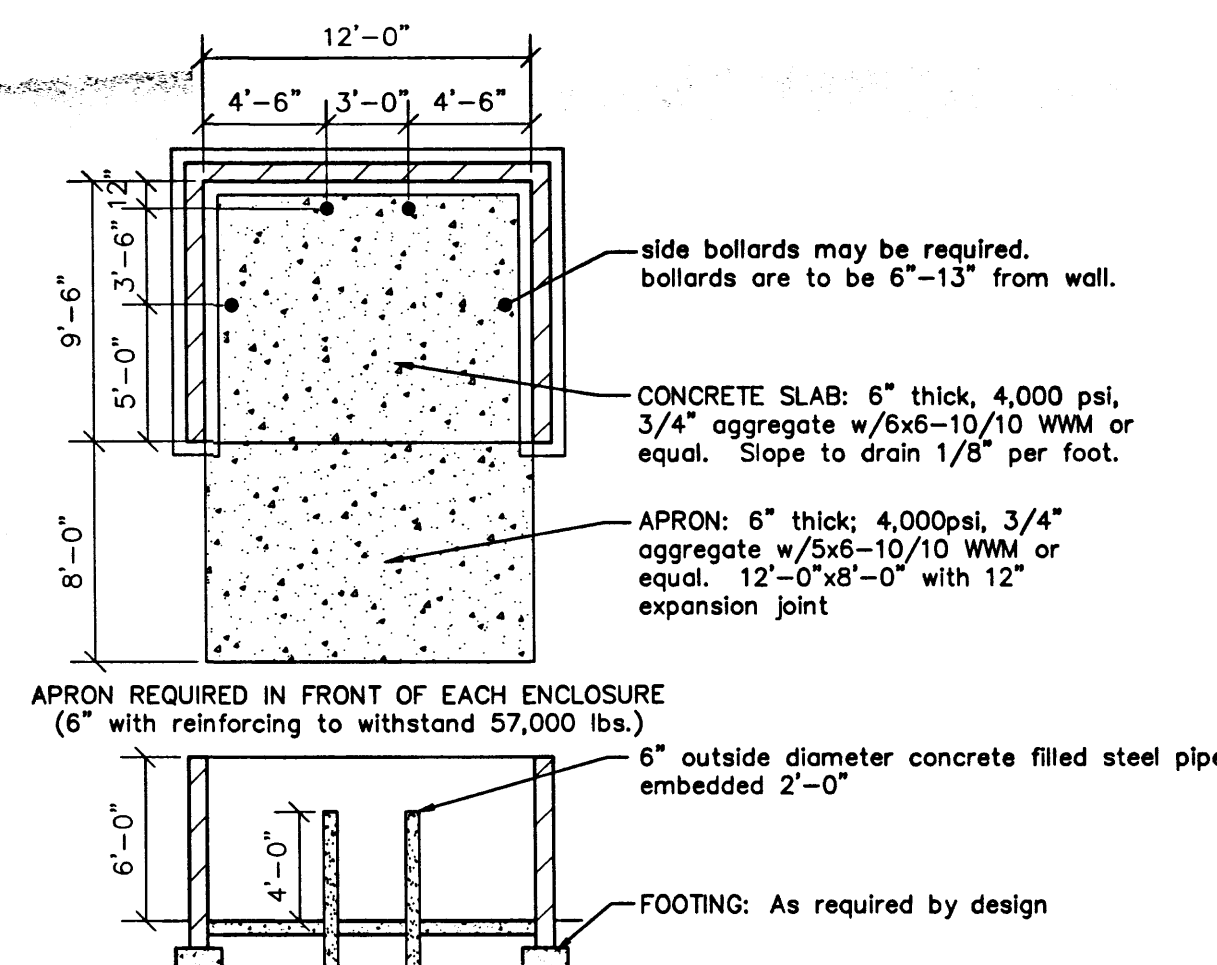
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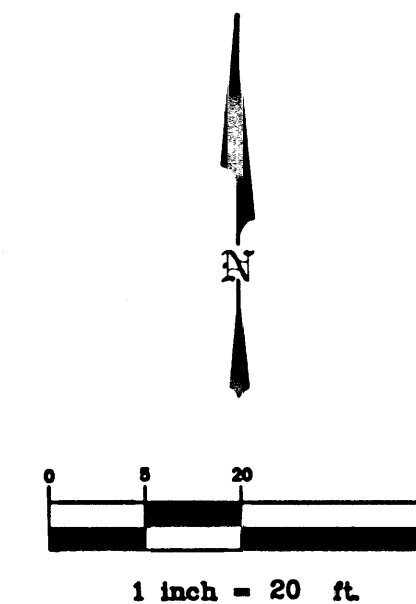
MODULAR BUILDING
2,256 S.F.
F.P. = 5190.90
F.F. = 5192.90

NOTE: BASIS OF BEARING IS RECORD PLAT AND TIE TO STATE HIGHWAY MONUMENT I-25-14 IN PLAT BOOK C27, PAGE 158



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LEGAL DESCRIPTION

Tract 'A', Unit 'A'
New Mexico State Highway Department

ZONING

M-1

ACCENT POOLS SITE AND UTILITIES PLAN



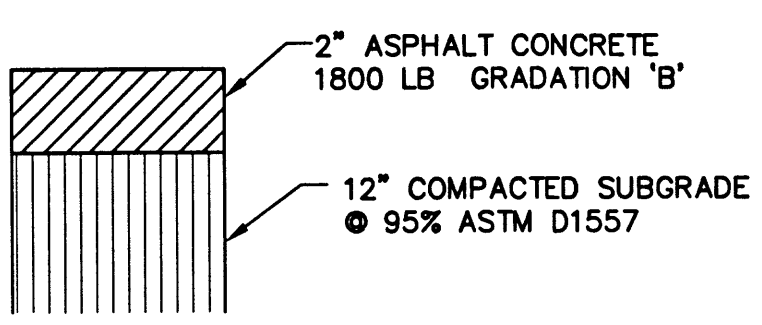
BRASHER & LORENZ
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DRAWN BY: M.V.H. DATE: JANUARY 30, 2008
CHECKED BY: D.A.L.
FILE: 09501NEW SITEPLAN SHEET 1 OF 2

D-18/DOSS

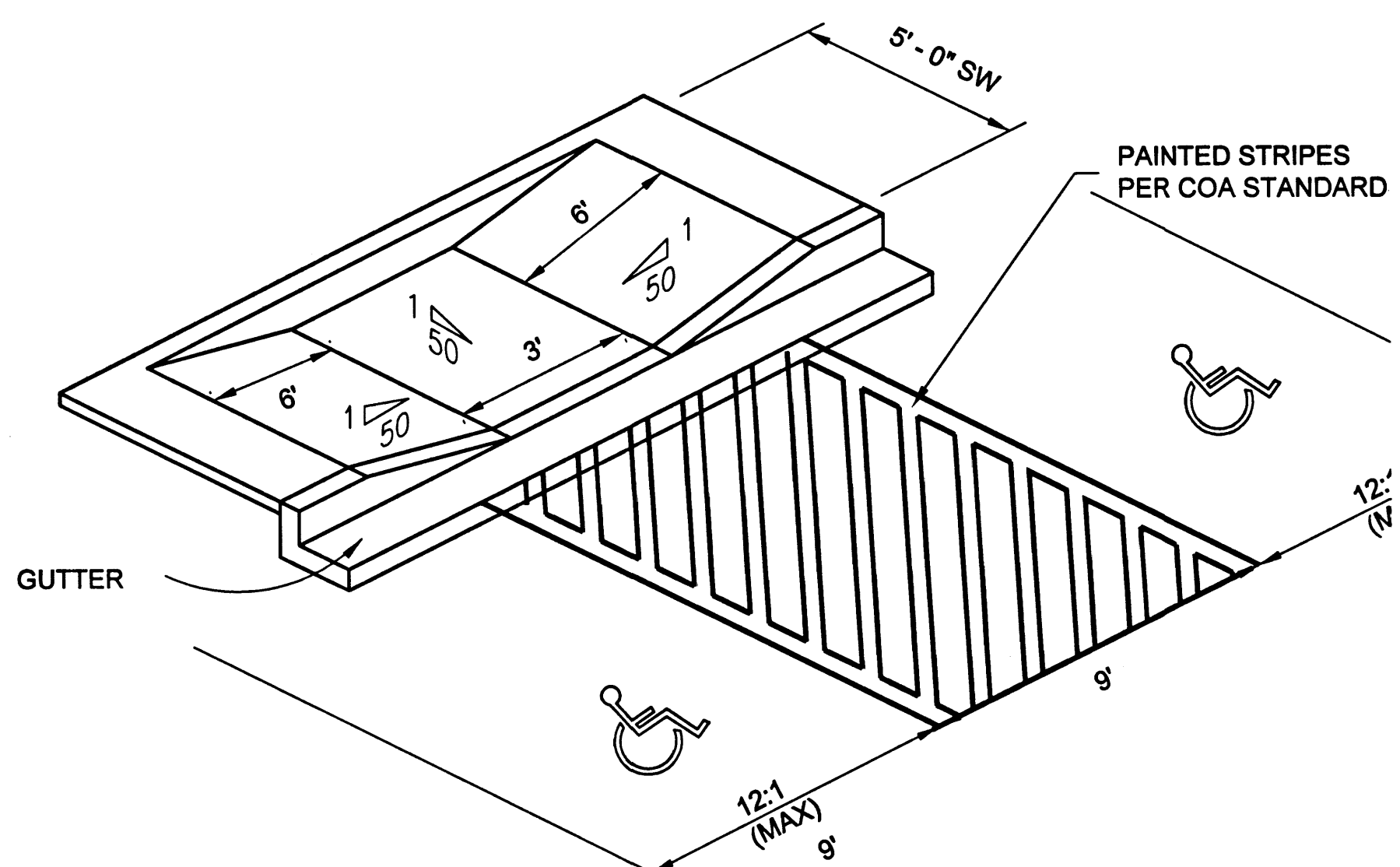
PAVEMENT SECTION LIGHT DUTY

NTS



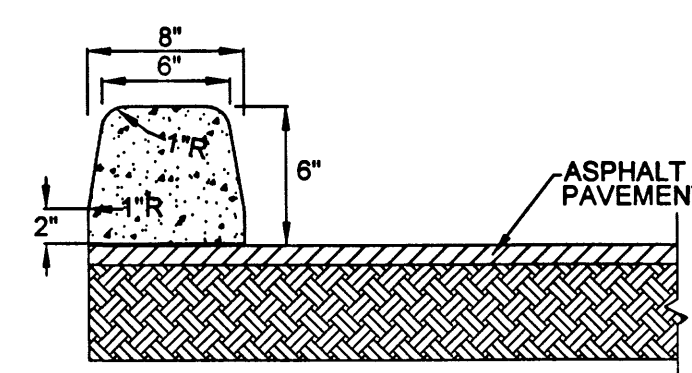
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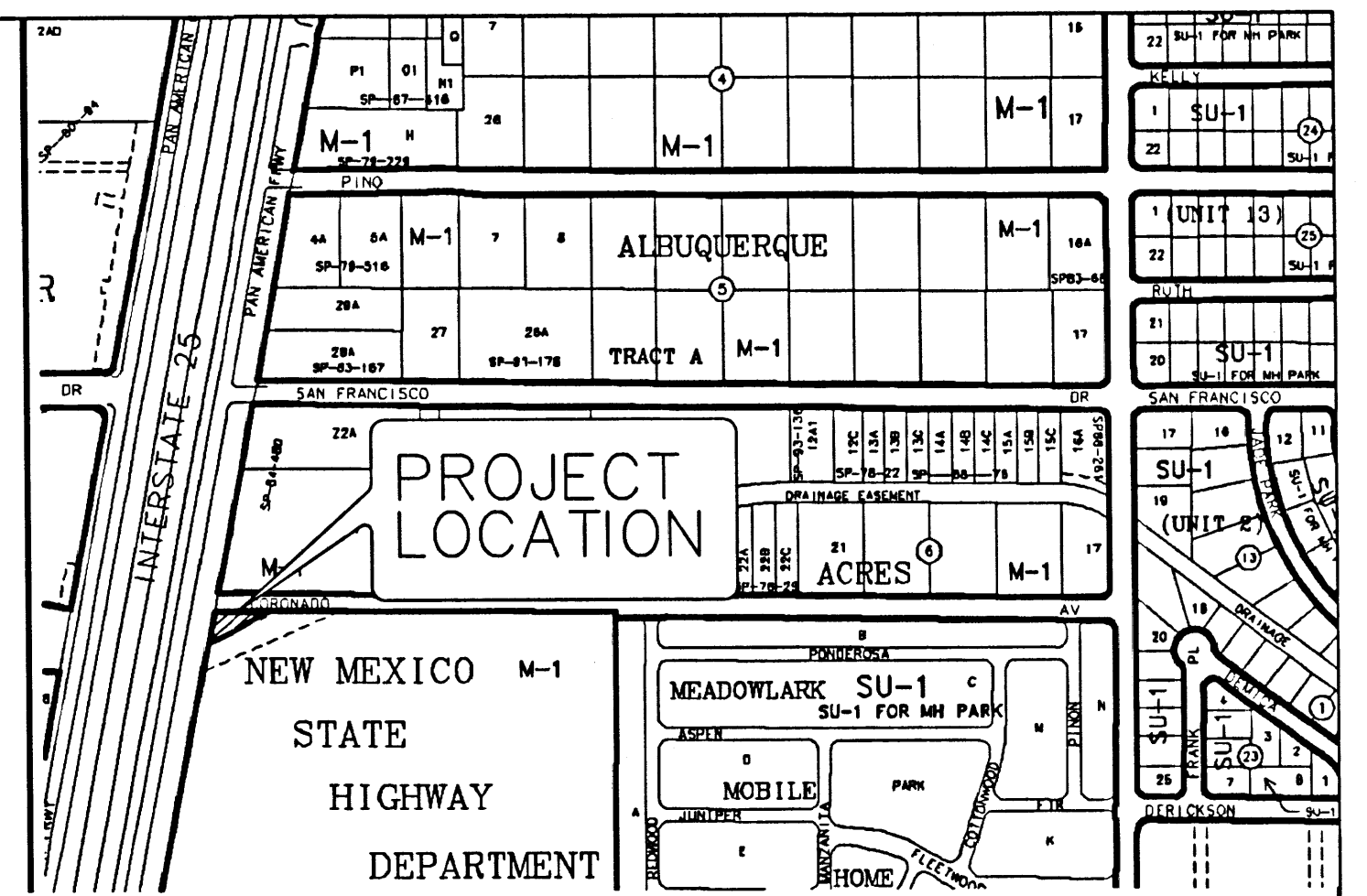
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6" EXTRUDED CONCRETE CURB

NTS





VICINITY MAP ZAP D-18-Z NTS

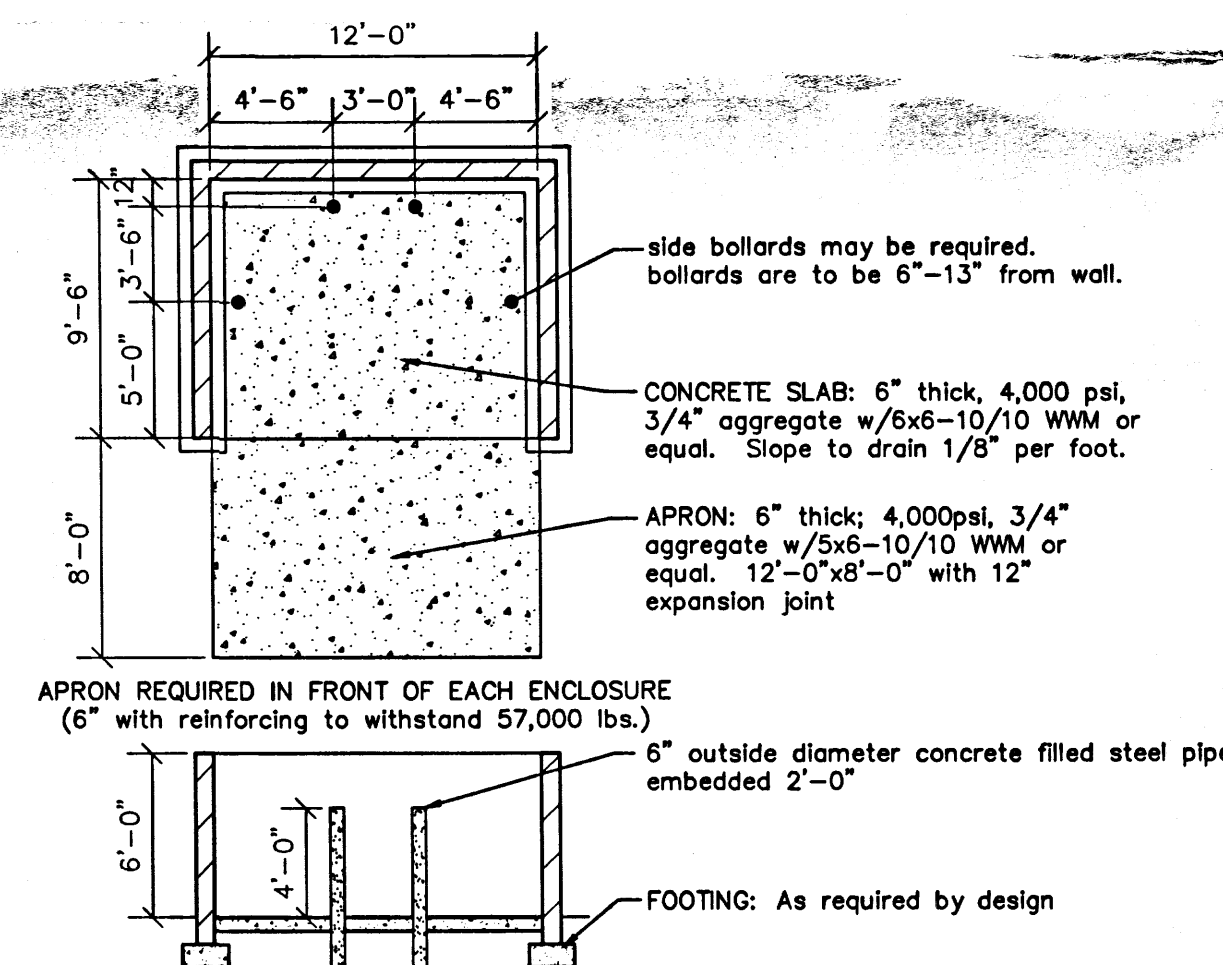
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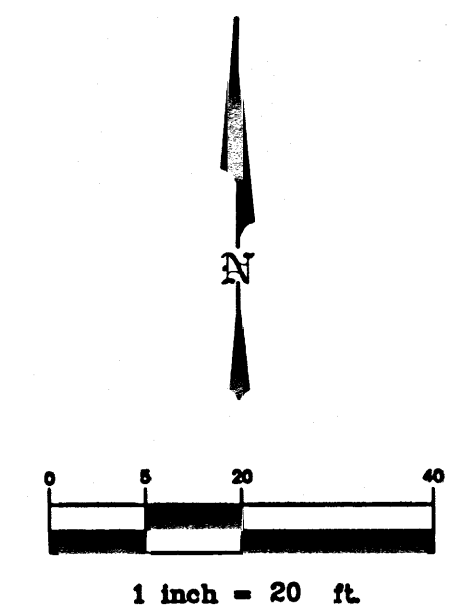
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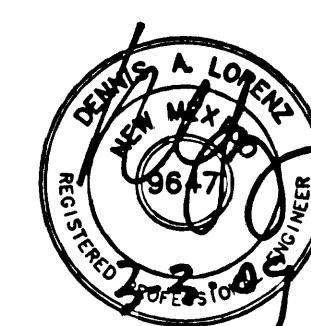
LEGAL DESCRIPTION

Tract 'A', Unit 'A'
New Mexico State Highway Department

ZONING

M-1

ACCENT POOLS SITE AND UTILITIES PLAN



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DRAWN BY: M.V.H. DATE: JANUARY 30, 2008
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FILE: 09501NEW SITEPLAN SHEET 1 OF 2

PAVEMENT SECTION LIGHT DUTY

NTS

A
1

HANDICAP RAMP

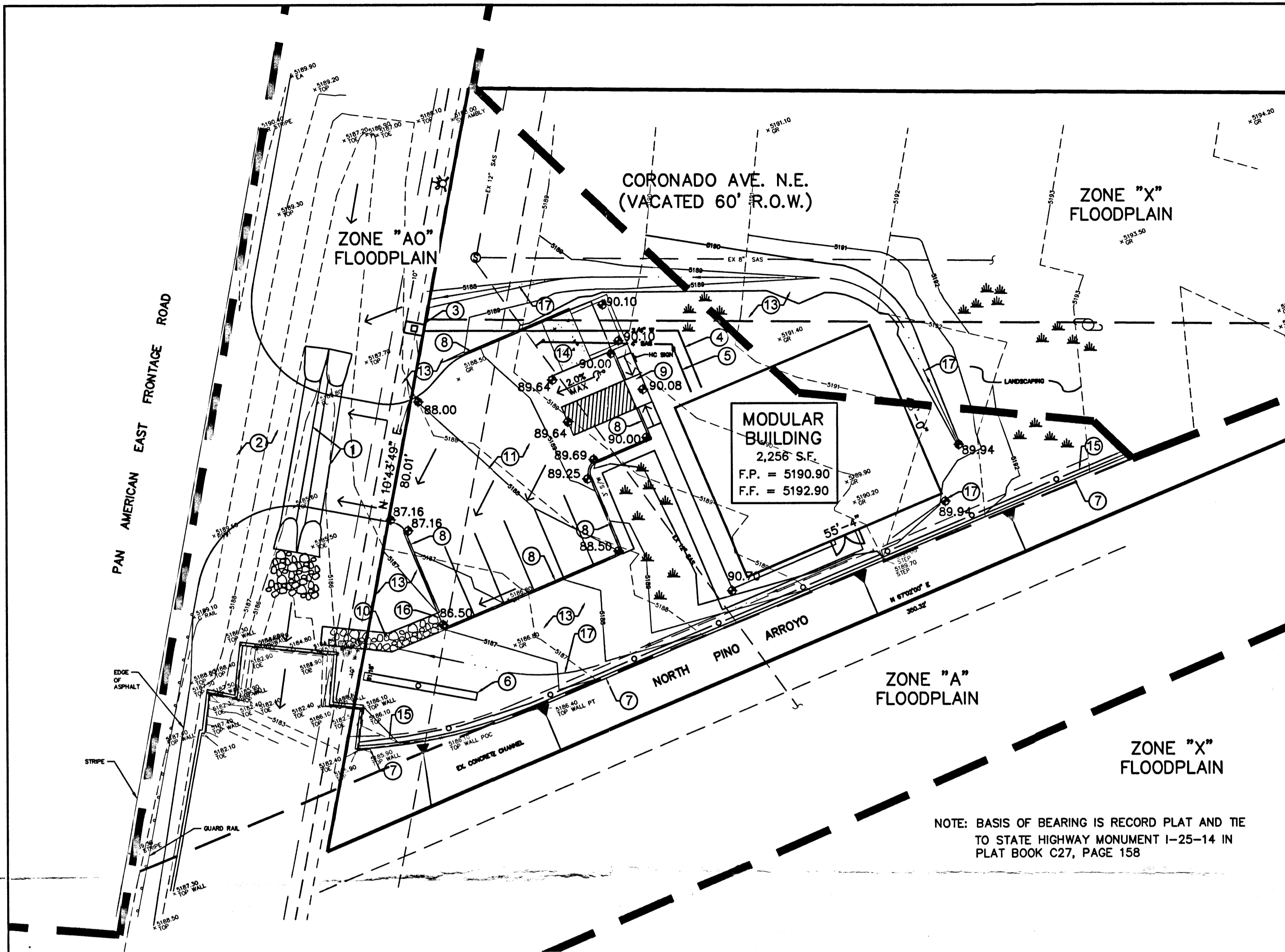
NTS

B
1

6" EXTRUDED CONCRETE CURB

NTS

C
1



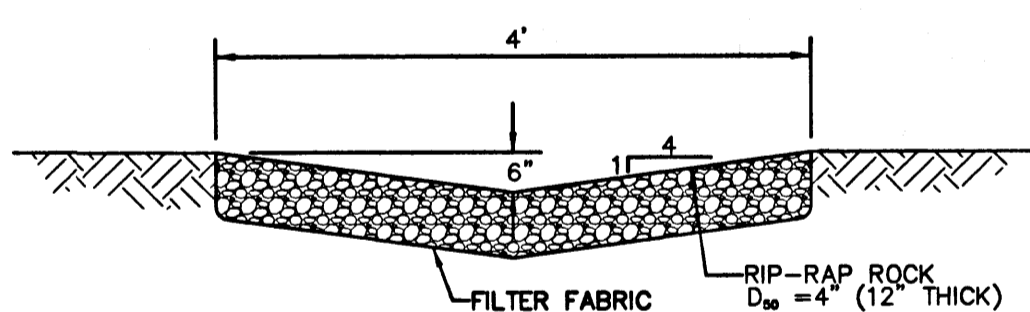
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- NEW LANDSCAPING.
- NEW SCREENED REFUSE ENCLOSURE PER DETAIL "D1" SHEET 1.
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- CONSTRUCT LANDSCAPE SWALE.

DRAINAGE PLAN NOTES

- BLI recommends that the Owner obtain a Geotechnical Evaluation of the on-site soils prior to foundation/structural design.
- This Plan recommends positive drainage away from all structures to prohibit ponding of runoff which may cause structural settlement. Future alteration of grades adjacent to the proposed structures is not recommended. Irrigation within 10 feet of any proposed structure is not recommended. Introduction of irrigation water into subsurface soils adjacent to the structure could cause settlement.
- This Plan is prepared to establish on-site drainage and grading criteria only. BLI assumes no responsibility for subsurface analysis, foundation/structural design, or utility design.
- Local codes may require all footings to be placed in natural undisturbed soil. If the Contractor plans to place footings on engineered fill, a certification by a registered Professional Engineer will be required. If the contractor wishes BLI to prepare the Certification, we must be notified PRIOR to placement of the fill.
- BLI recommends that the Owner obtain the services of a Geotechnical Engineer to test and inspect all earthwork aspects of the project.
- The property boundary shown on this Plan is given for information only to describe the project limits. Property boundary information shown hereon does not constitute a boundary survey. A boundary survey performed by a licensed New Mexico Registered Professional Surveyor is recommended prior to construction.
- All spot elevations are top of pavement unless noted otherwise.

ALL ACCESSIBLE IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT. FAILURE TO DO SO MAY RESULT IN REJECTION OF CERTIFICATE OF OCCUPANCY.



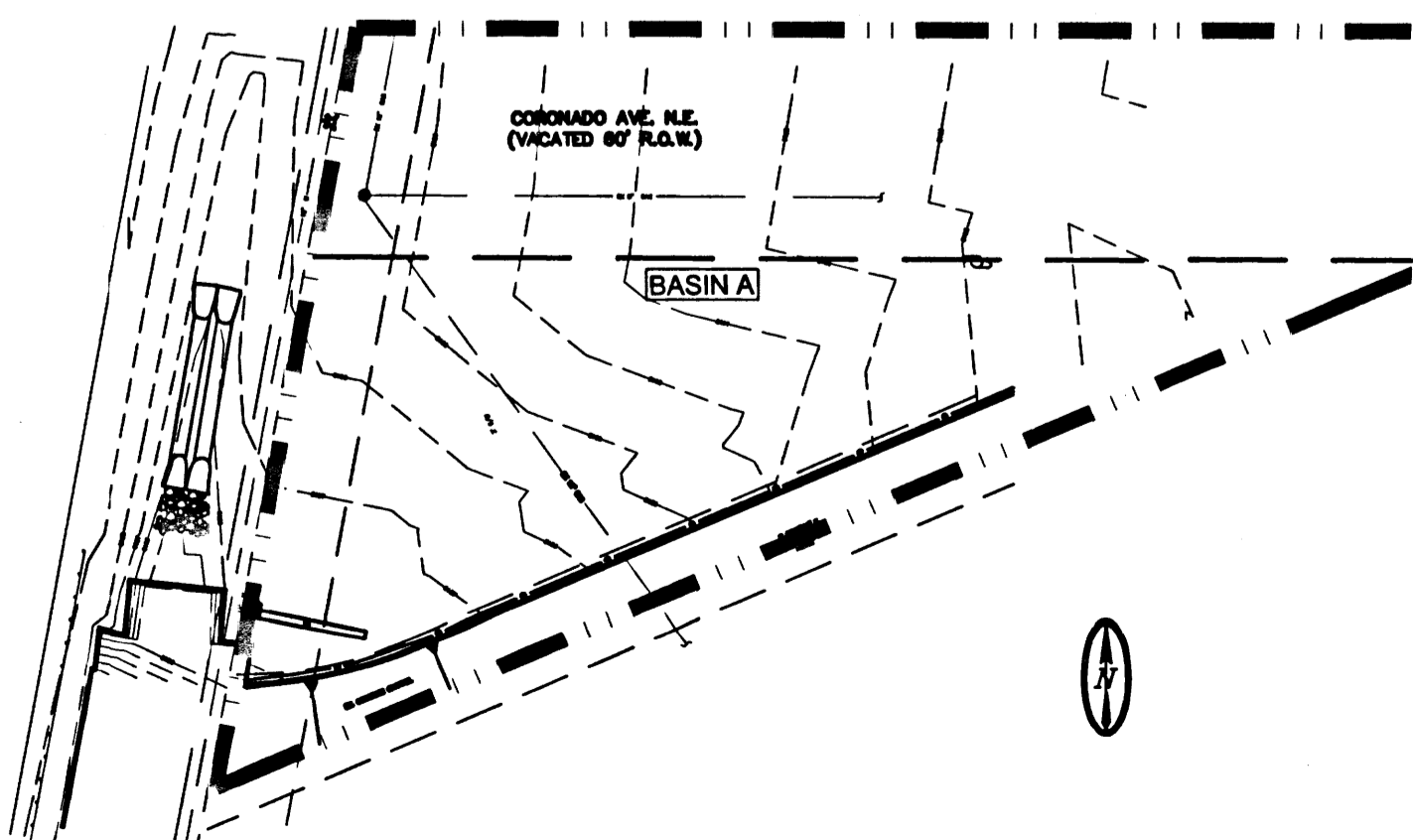
RIP RAP CHANNEL

NTS

A
2

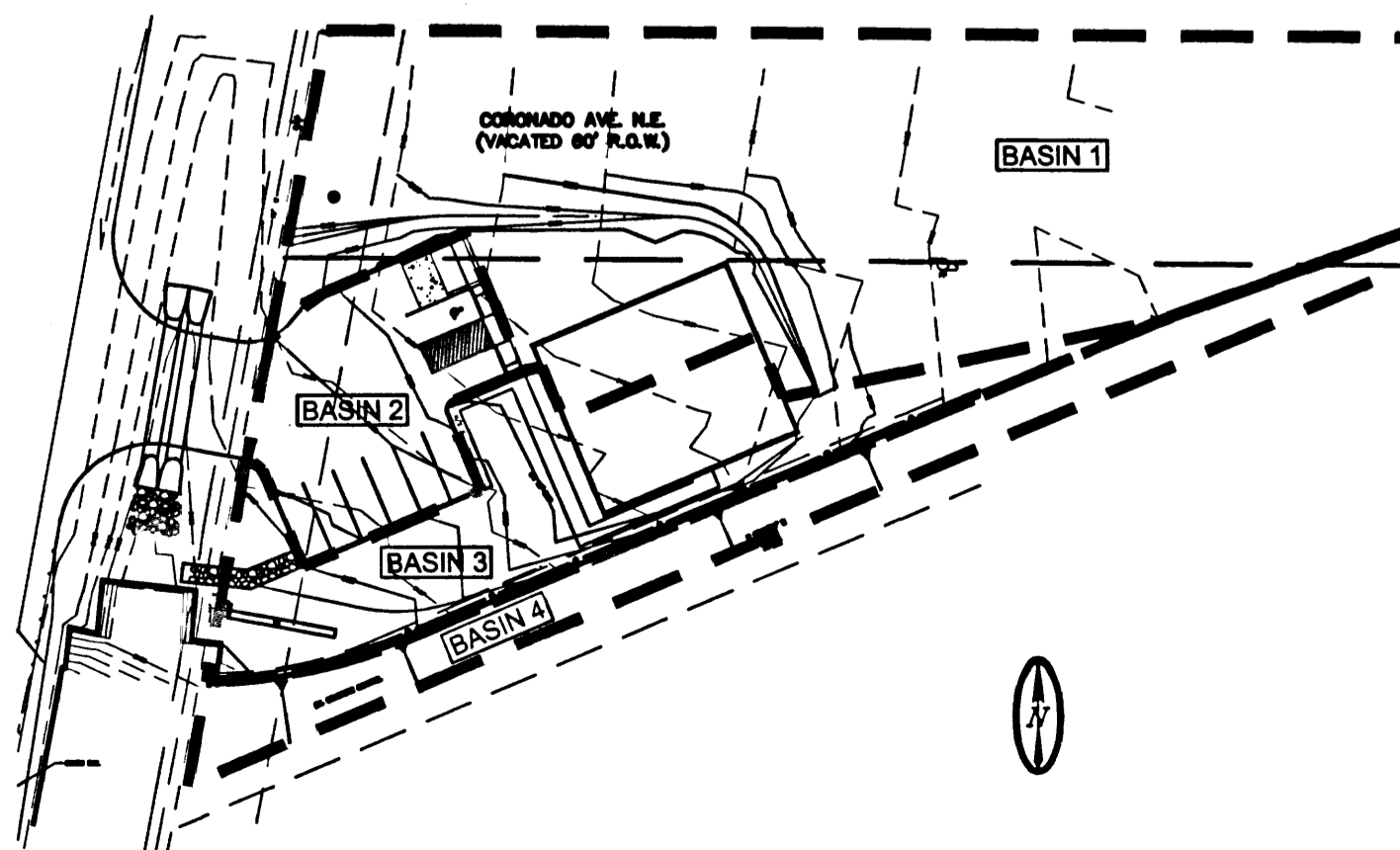
NOTE:

DUE TO THE PRESENCE OF THE 100 YEAR ZONE "AO" FLOODPLAIN THE BUILDING MUST BE PLACED ON A PIER FOUNDATION TO ALLOW DRAINAGE FLOWS TO PASS UNDER THE STRUCTURE. MINIMUM FINISHED FLOOR ELEVATIONS SHALL BE TWO FEET ABOVE EXISTING GROUND ELEVATION (ONE FOOT ABOVE ZONE "AO" WATER SURFACE). ALL SKIRTING MUST BE ONE FOOT ABOVE GRADE.



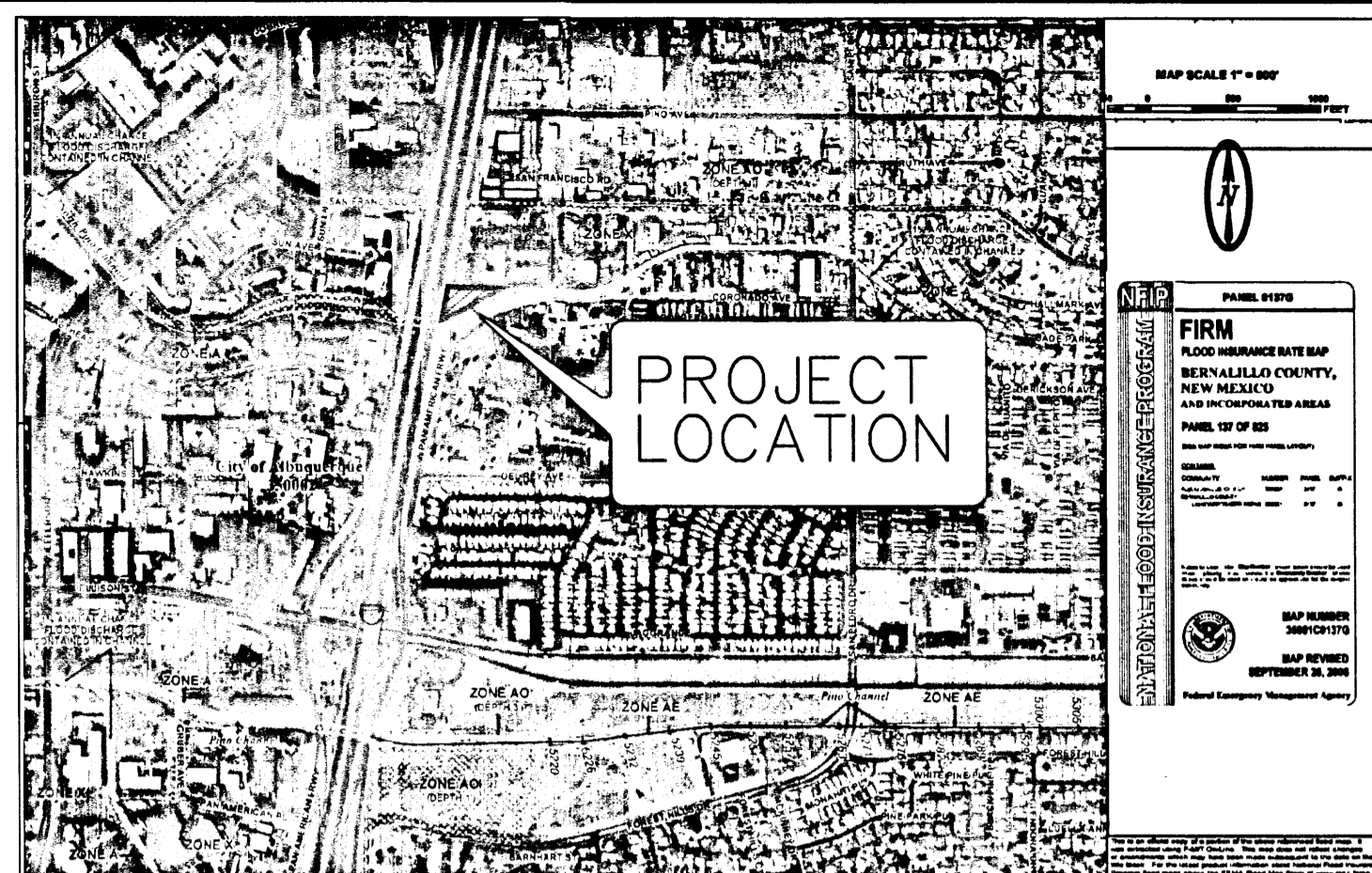
EXISTING BASIN MAP

NTS



PROPOSED BASIN MAP

NTS



FIRM PANEL

35001C0137G

NTS

SCOPE:

PURSUANT TO THE DRAINAGE ORDINANCE FOR THE CITY OF ALBUQUERQUE AND THE DEVELOPMENT PROCESS MANUAL, THIS GRADING AND DRAINAGE PLAN OUTLINES THE DRAINAGE MANAGEMENT CRITERIA FOR CONTROLLING DRAINAGE RUNOFF FROM THE PROJECT SITE. THE PROPERTY IS TO BE DEVELOPED TO ACCOMMODATE A MODULAR OFFICE/WAREHOUSE BUILDING, WITH ASSOCIATED PAVING, LANDSCAPING, UTILITY, GRADING AND DRAINAGE IMPROVEMENTS.

EXISTING CONDITIONS:

THE PROJECT SITE IS APPROXIMATELY 0.15 ACRES IN SIZE AND IS LOCATED ON THE I-25 EAST FRONTAGE ROAD AT CORONADO AVENUE NE (VACATED). THE SITE IS BOUNDED BY THE FRONTAGE ROAD ON THE WEST, A MOTEL ON THE NORTH, AND THE NORTH PINO ARROYO ON THE SOUTH. PRESENTLY THE SITE IS PARTIALLY DEVELOPED. HISTORIC SITE USES INCLUDE VARIOUS COMMERCIAL BUSINESSES, MOST RECENTLY A RETAIL OUTLET FOR ACCENT POOLS. THE PREVIOUS BUILDING WAS DESTROYED BY FIRE. SITE TOPOGRAPHY SLOPES FROM EAST TO WEST AT APPROXIMATELY 3%.

CORONADO AVENUE IS AN UNDEVELOPED ROADWAY, WHICH IS SEVERED BY THE NORTH PINO ARROYO. IT HAS BEEN VACATED AND INCORPORATED INTO THE SUBJECT PROPERTY. THE NORTH PINO ARROYO IS A CONCRETE LINED CHANNEL, WHICH DRAINS UNDER I-25 BY A SERIES OF CONCRETE BOX CULVERTS.

THE SITE IS ONLY IMPACTED BY OFF-SITE FLOWS FROM THE NORTH. OFF-SITE FLOWS CONCENTRATE WITHIN THE ROADSIDE CHANNEL LOCATED ALONG THE EAST SIDE OF THE FRONTAGE ROAD. THE CHANNEL FLOWS SOUTH TO THE SIDE INLET AT THE NORTH PINO ARROYO. AS SHOWN BY FIRM MAP NUMBER 35001C0137G, DATED SEPTEMBER 28, 2008, THE SITE IS LOCATED WITHIN A DESIGNATED 100-YEAR FLOODPLAIN, ZONE AO, DEPTH 1 FOOT.

ON SITE, ALL FLOW DRAINS AS SHEET FLOW TO THE WEST AND INTO THE SIDE INLET AT THE NORTH PINO ARROYO.

DEVELOPED CONDITIONS:

AS SHOWN BY THE PLAN, THE PROJECT CONSISTS OF THE DEVELOPMENT OF THE PROPERTY TO ACCOMMODATE A MODULAR OFFICE/WAREHOUSE BUILDING. THE PLAN SHOWS THE CONTOURS AND ELEVATIONS REQUIRED TO PROPERTY GRADE AND CONSTRUCT THE REQUIRED IMPROVEMENTS. THE DIRECTIONS OF DRAINAGE FLOWS ARE GIVEN BY FLOW ARROWS AND THE PROJECT HYDROLOGY IS TABULATED FOR BOTH EXISTING AND DEVELOPED CONDITIONS.

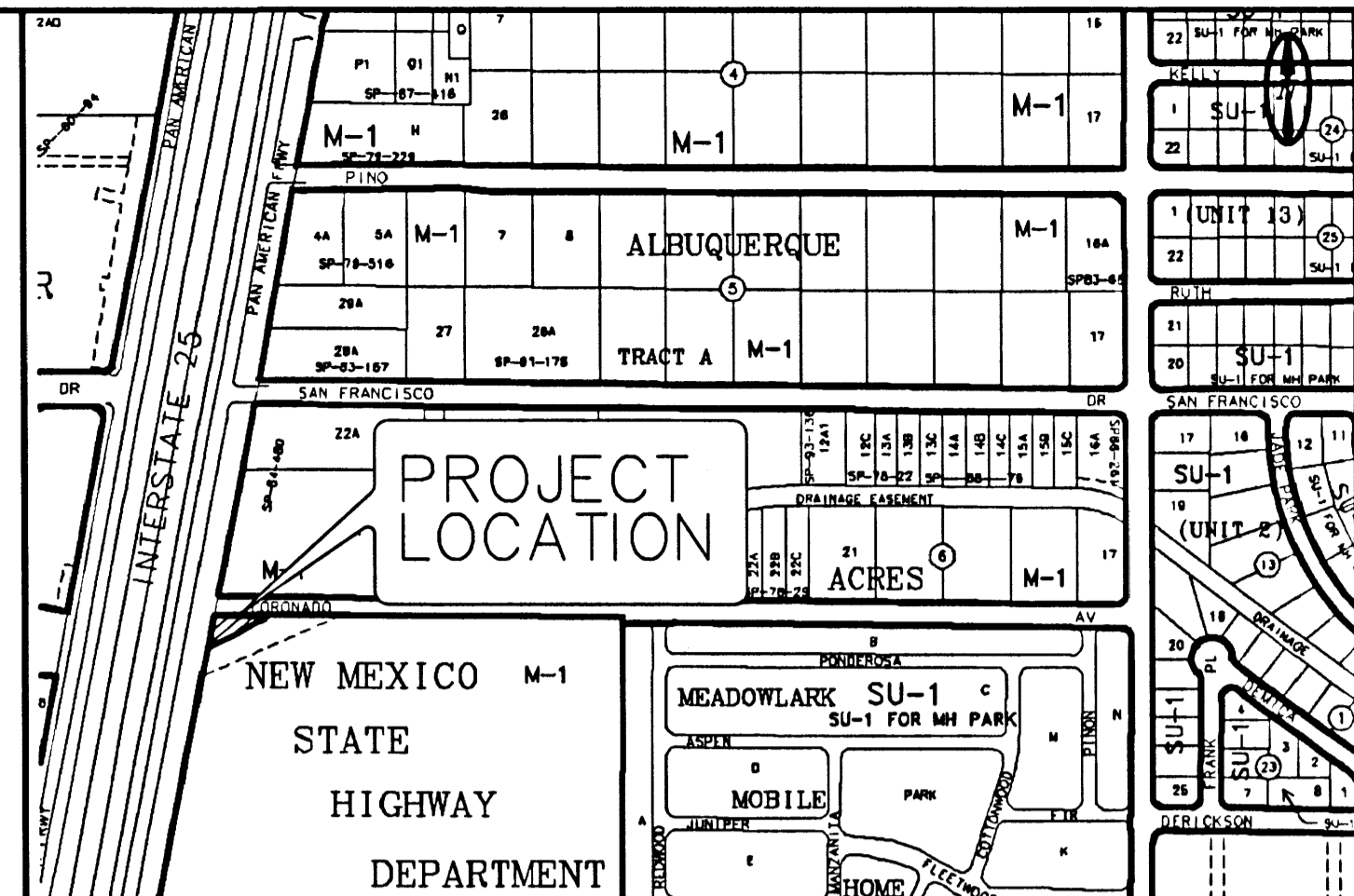
ALL DRAINAGE FLOWS WILL BE MANAGED ON-SITE AND DISCHARGE TO THE EXISTING SIDE INLET AT THE NORTH PINO ARROYO. DUE TO THE PRESENCE OF THE MAPPED FLOODPLAIN THE FINISH FLOOR OF THE MODULAR BUILDING WILL BE ESTABLISHED AT AN ELEVATION 1.0 FOOT MINIMUM ABOVE THE ZONE AO (1 FOOT DEPTH) ELEVATION.

PROJECT HYDROLOGY:

EXISTING AND DEVELOPED PEAK FLOW RATES ARE DETERMINED BY AHYMO, AS OUTLINED IN THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL, SECTION 22.2, PART A, DPM VOLUME 2 DATED JANUARY 1997.

EROSION CONTROL:

SINCE THE SITE CONTAINS LESS THAN 1.0 ACRES A SWPPP IS NOT TYPICALLY REQUIRED BY THE CITY OR EPA. IF REQUIRED THE SWPPP WILL BE PREPARED BY OTHERS.



VICINITY MAP

ZAP D-18-Z

NTS

LEGEND

ITEM	EXISTING	PROPOSED
CURB AND GUTTER		
LIGHT POLE		
DROP INLET		
OVERHEAD ELEC WITH POWER POLE		
OVERHEAD UTILITY LINE		
CURB ELEVATIONS		
SPOT ELEV.		
RIGHT OF WAY		
POWER POLE WITH ANCHOR		
CENTERLINE		
TOP OF ASPHALT ELEV.		
TOP OF CURB ELEV.		
CONTOUR W/ ELEVATION		
BASIN BOUNDARY		
ASPHALT PAVING		
EXISTING ASPHALT		
DRAINAGE SWALE		
DIRECTION OF FLOW		
BUILDING		
LIMITS OF ZONE "AO" FLOODPLAIN		
BASIN DIVIDE		
RETAINING WALL		
SIDEWALK		
RETENTION POND		

PROJECT HYDROLOGY									
AHYMO									
ZONE:	2								
P ₆ HOUR	2.35"								
P ₁₀ DAY	3.95"								
ACCENT POOLS									
UNDEVELOPED:									
BASIN	AREA (ac)	A (ac)	B (ac)	C (ac)	D (ac)	E	Q (cfs)	VOL (ac ft)	
A	0.97	0.00	0.00	0.85	0.12	1.25	3.23	0.101	
DEVELOPED (PROPOSED):									
BASIN	AREA (ac)	A (ac)	B (ac)	C (ac)	D (ac)	E	Q (cfs)	VOL (ac ft)	
1	0.601	0.00	0.00	0.575	0.028	1.17	1.92	0.058	
2	0.089	0.00	0.00	0.000	0.089	2.12	0.42	0.016	
3	0.162	0.00	0.00	0.136	0.028	1.28	0.55	0.017	
4	0.117	0.00	0.00	0.000	0.117	2.12	0.55	0.020	

PROPERTY ADDRESS

7600 Pan American East Frontage Rd.

LEGAL DESCRIPTION

Tract 'A', Unit 'A'
New Mexico State Highway Department

ZONING

M-1

SURVEY

ALL SURVEYING BY BRASHER & LORENZ
JANUARY 2009. NOTE SUBJECT PROPERTY IS LOCATED IN THE ZONE "AO" FLOODPLAIN ONE FOOT DEPTH.

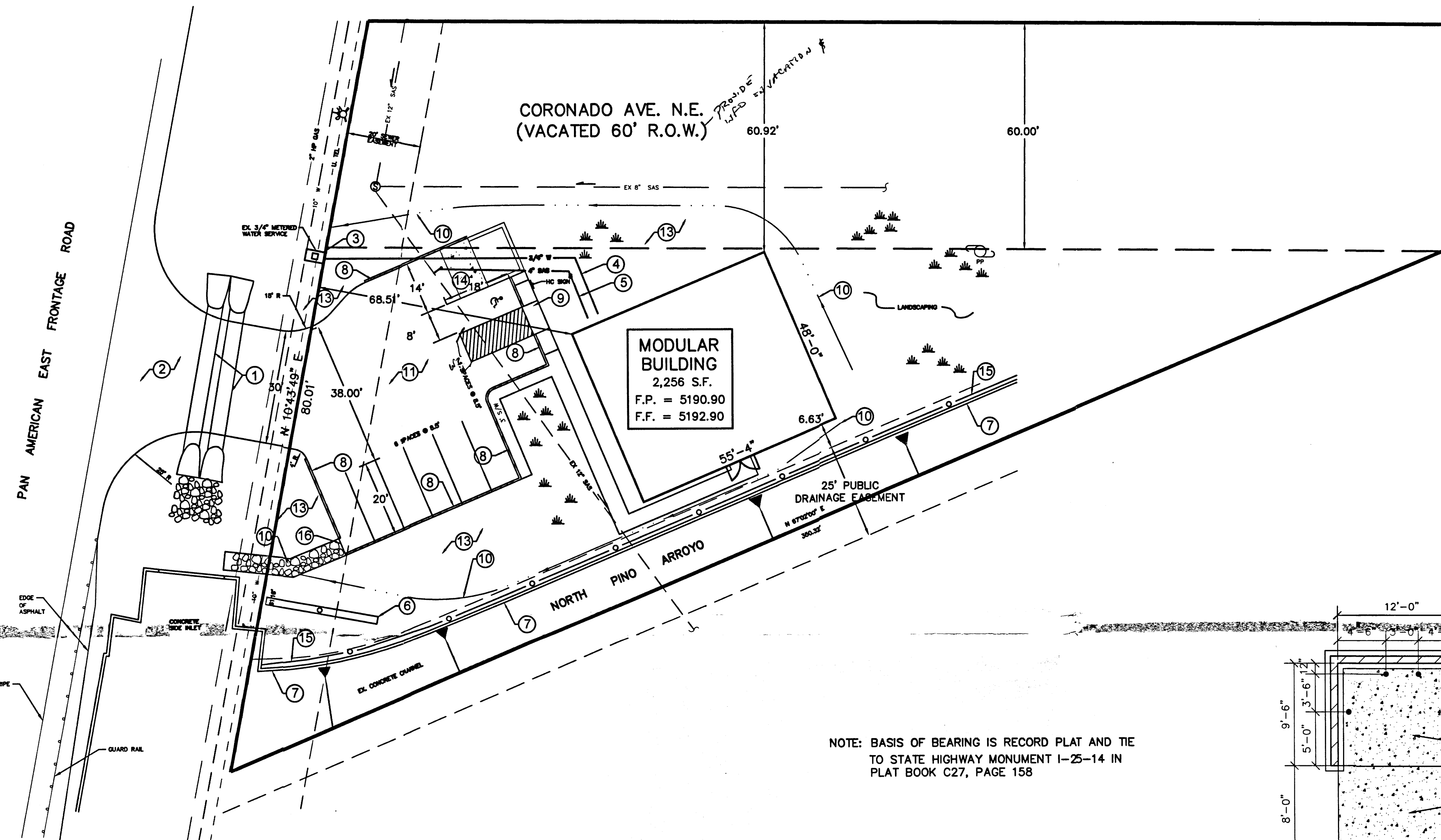
ACCENT POOLS GRADING AND DRAINAGE PLAN



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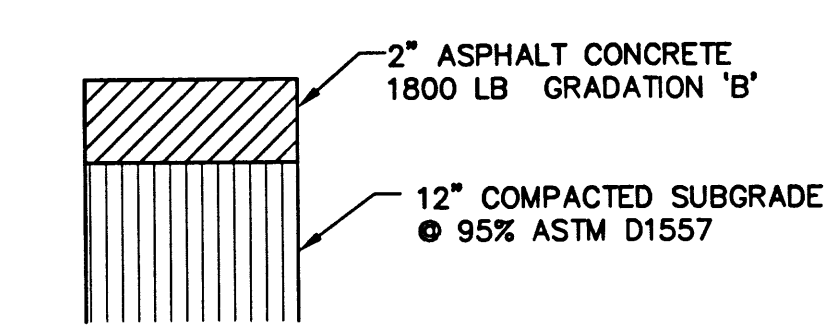
DRAWN BY: M.V.H.
CHECKED BY: D.A.L.
FILE: 09501NEW SITEPLAN

DATE: JANUARY 30, 2008
SHEET 2 OF 2

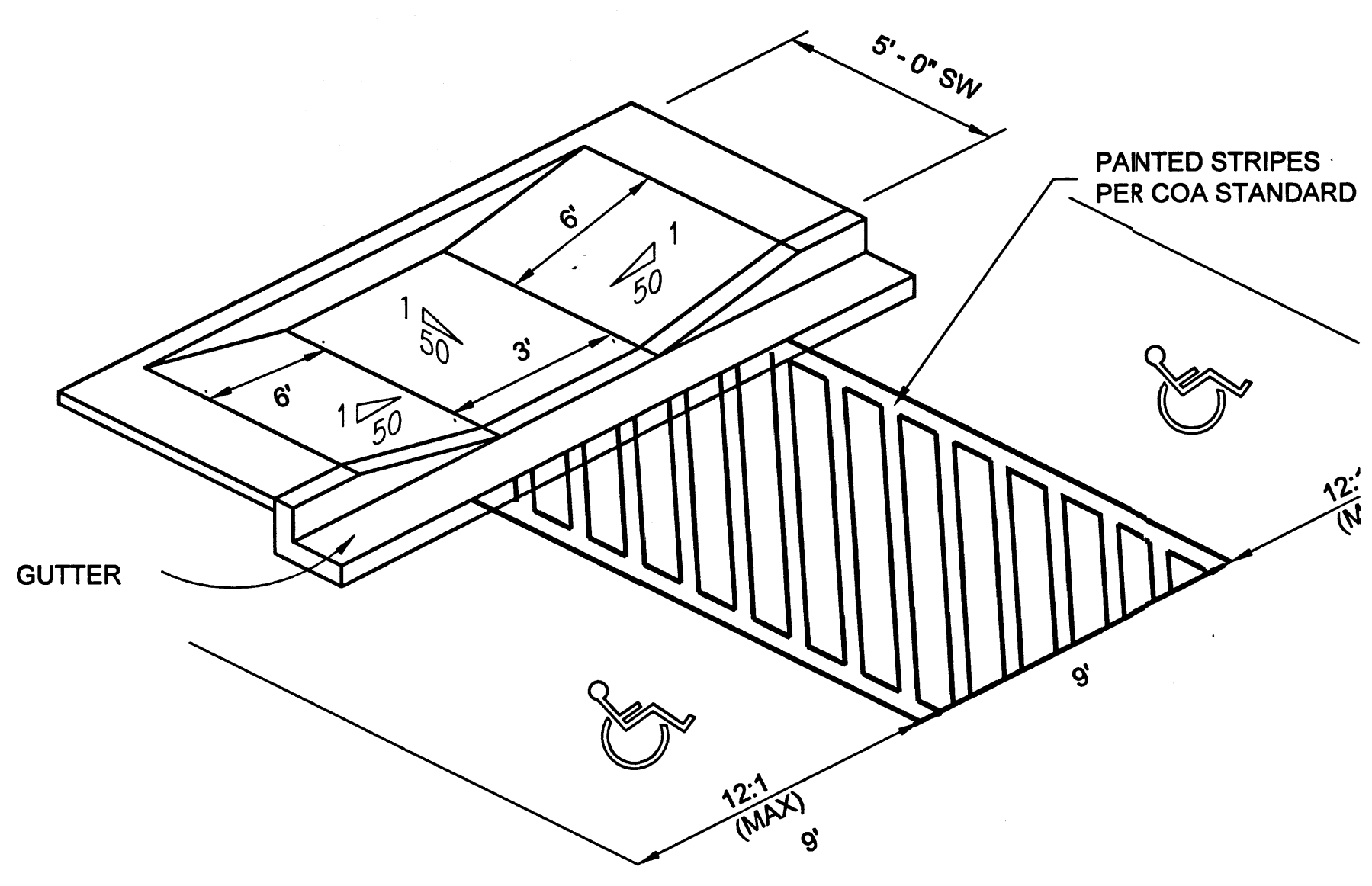


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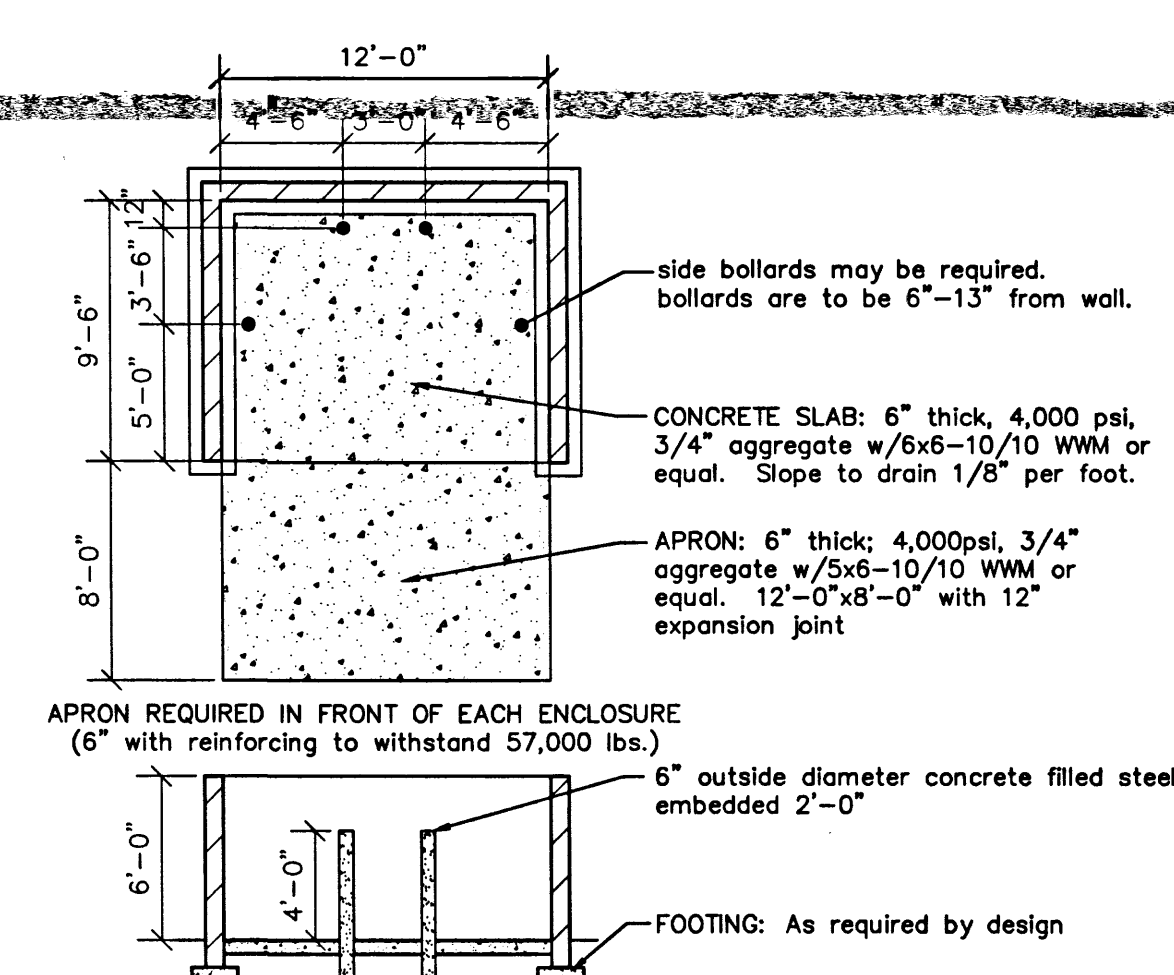
• Pedestrian Pathway.
• Accessible width



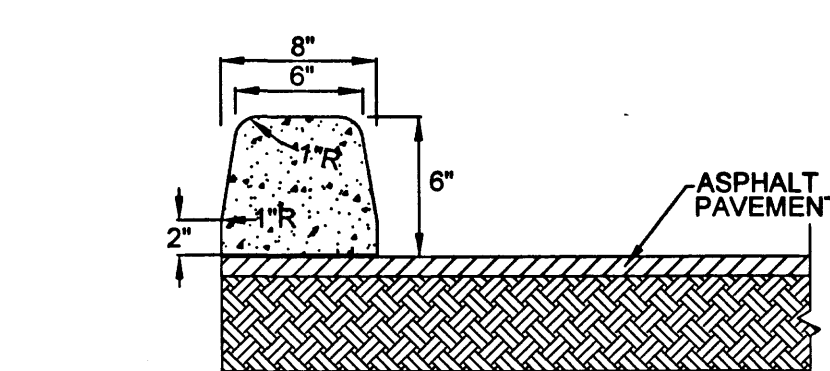
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NTS



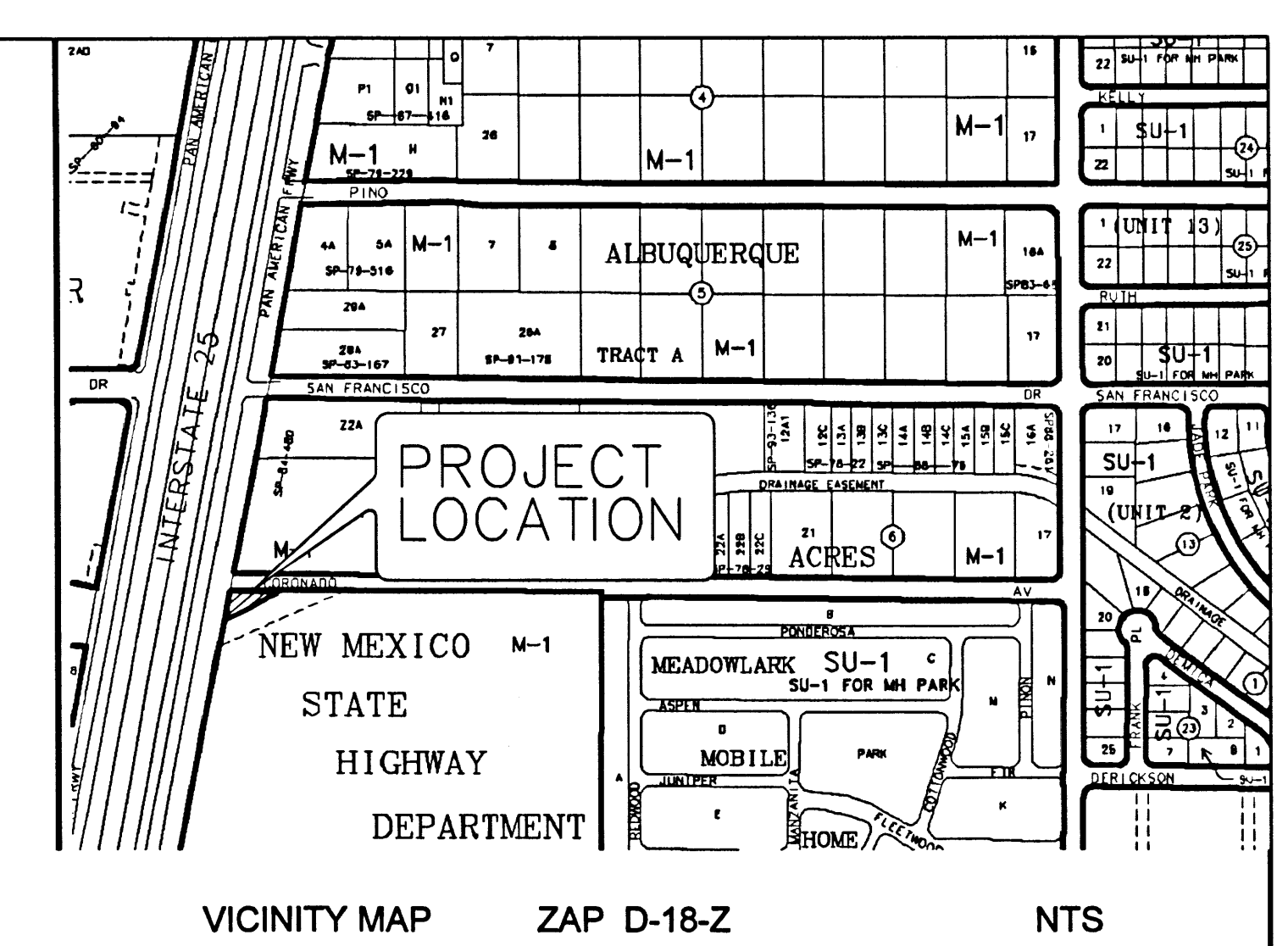
HANDICAP RAMP
NTS



ENCLOSURE DETAIL
NTS



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NTS



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SITE AND UTILITIES PLAN

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DRAWN BY: M.V.H. DATE: JANUARY 30, 2008

CHECKED BY: D.A.L.

FILE: 09501NEW SITEPLAN SHEET 1 OF 2