### CITY OF ALBUQUERQUE

*Planning Department* Brennon Williams, Director



Mayor Timothy M. Keller

February 18, 2022

Anthony Santi AKT Architect, LLC Dekker/ Perich/ Sabatini 7601 Jefferson NE, Suite100 Albuquerque, NM 87109

### Re: Presbyterian Emergency Care and Urgent Care 6400 Paseo Del Norte Traffic Circulation Layout Architect's Stamp 01-3-22 (D18-D056)

Dear Mr. Santi,

The TCL submittal received 02-17-2022 is approved for Building Permit with. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

- PO Box 1293 When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed <u>Drainage and Transportation Information Sheet</u> to front counter personnel for log in and evaluation by Transportation.
- <sup>NM 87103</sup> Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

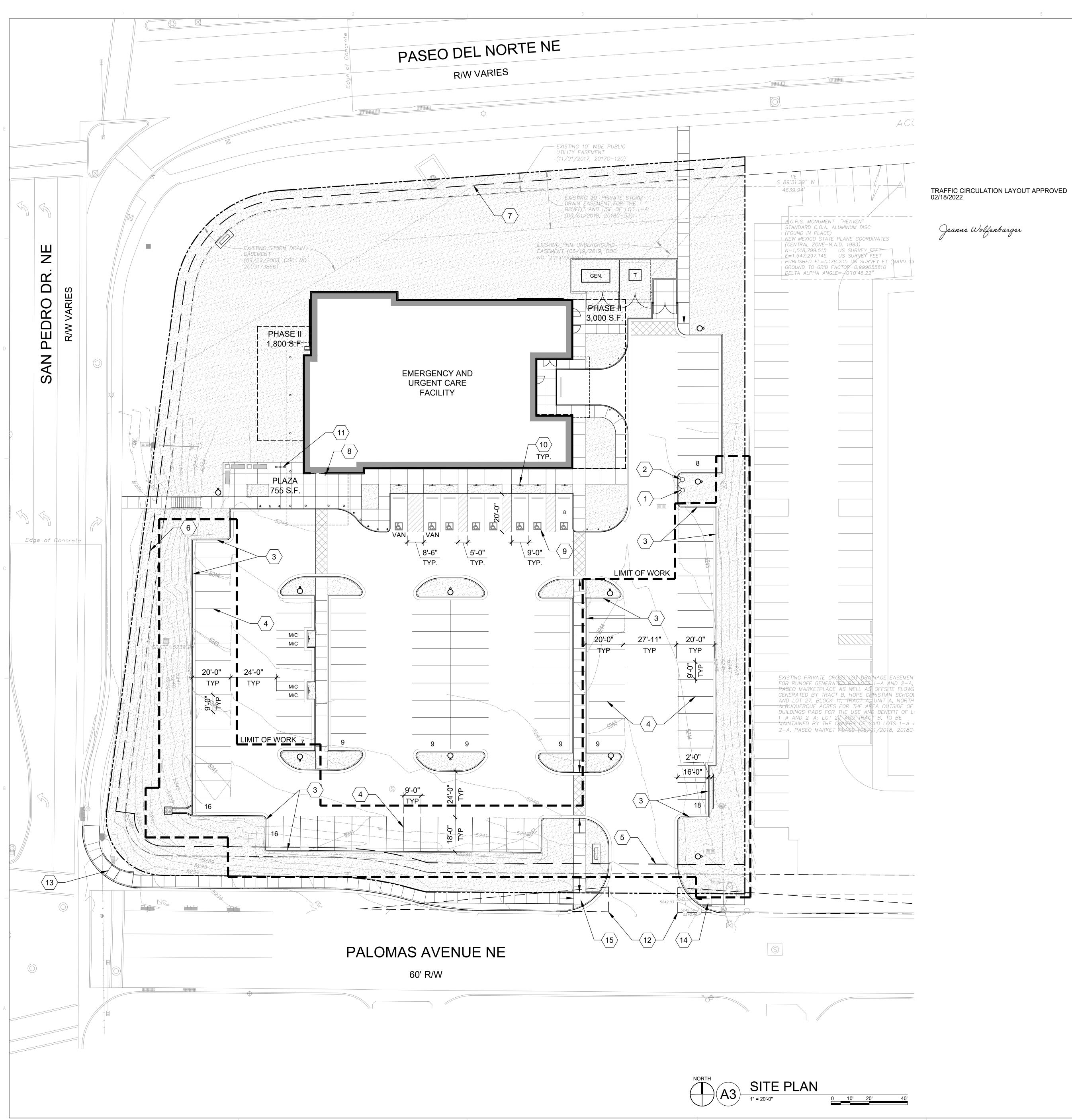
www.cabq.gov

eanne Wolfenbarger

Sincerely,

Jeanne Wolfenbarger, P.E. Traffic Engineer, Planning Dept. Development Review Services

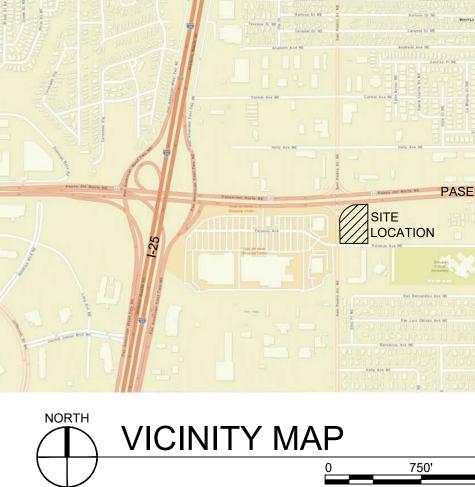
\xxx via: emailC: CO Clerk, File



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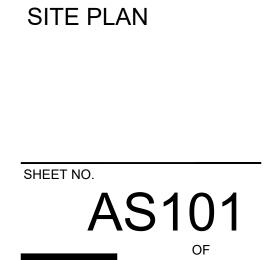
## LEGEND

	PROPERTY LINE
	EASEMENT
	6' WIDE CROSSWALK
	EXISTING 6' WIDE CONCRETE SIDEWALK
	LANDSCAPE AREA
•	POLE LIGHT (20' MAX HEIGHT)
V	SIDEWALK RAMP (ARROW POINTS DOWN)
۲ ک	EXISTING FIRE HYDRANT
У	EXISTING F.D.C.









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DRAWN BY	
REVIEWED BY	
DATE	1/3/2021
PROJECT NO.	18-0005.001
DRAWING NAME	

REVISIONS  $\triangle$  $\bigtriangleup$ 

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PROJECT





























ARCHITECTURE / DESIGN / INSPIRATION

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7601 JEFFERSON NE, SUITE 100 ALBUQUERQUE, NM 87109

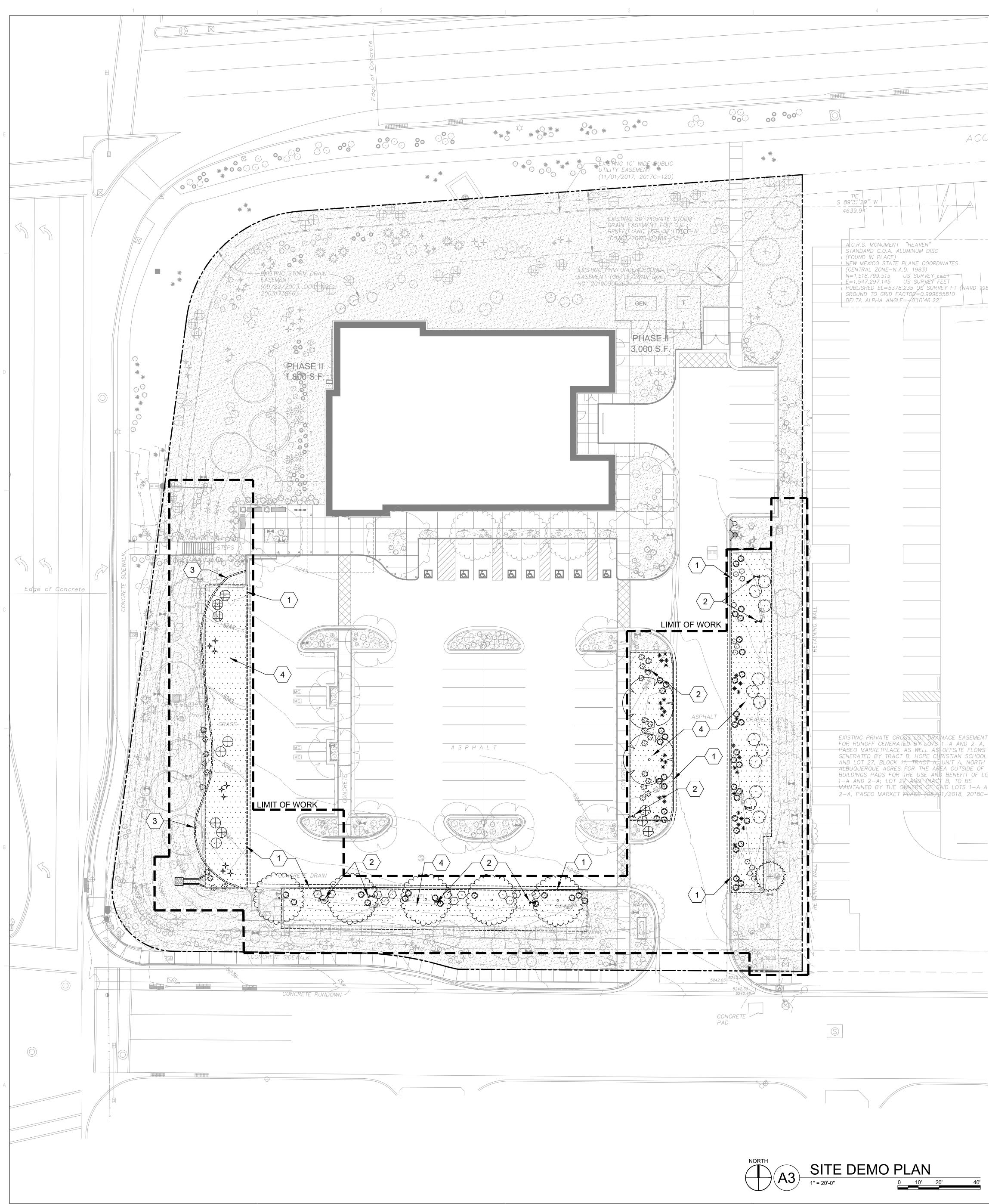
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NOTES: 1. SEE TREE PROTECTION SPECIFICATION SECTION 01 5639. 3'-0" MIN DRIPLINE A4 TREE PROTECTION N.T.S.

# GENERAL SHEET NOTES

- A. CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS AND EXISTING UTILITIES AND IS RESPONSIBLE FOR REMOVAL AS REQUIRED TO COMPLETE
- ITEMS.
- VEHICLES, AND ALL EXISTING CONSTRUCTION TO REMAIN.
- AREAS DURING CONSTRUCTION.
- CONFLICTING WITH SCOPE OF WORK.
- OVER TO OWNER.
- MATCH THE SURROUNDING MATERIALS AND CONDITIONS.

TRAFFIC CIRCULATION LAYOUT APPROVED

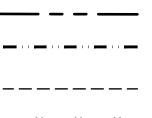
Jeanne Wolfenbarger

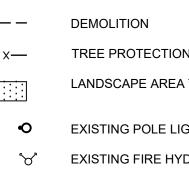
02/18/2022

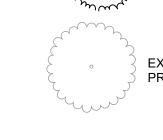
- PROCEDURES AND OFFICERS.
- PROPER PATCHING AND REPAIRS.
- PROTECTED DURING DEMOLITION AND CONSTRUCTION.

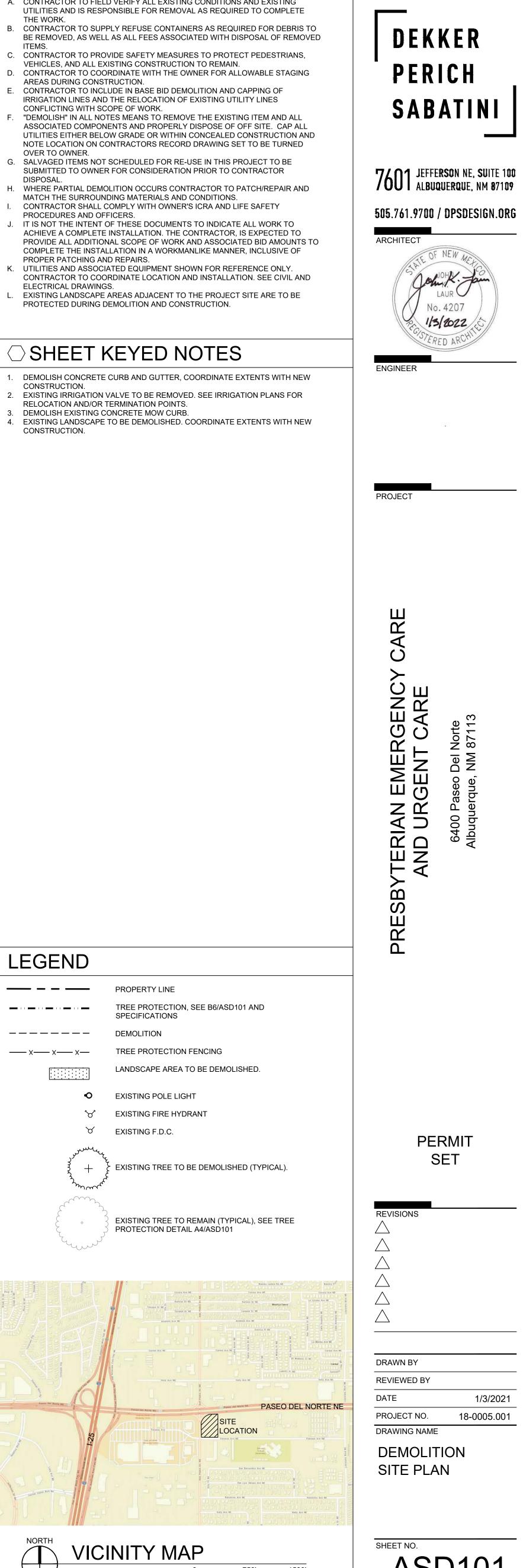
- RELOCATION AND/OR TERMINATION POINTS.









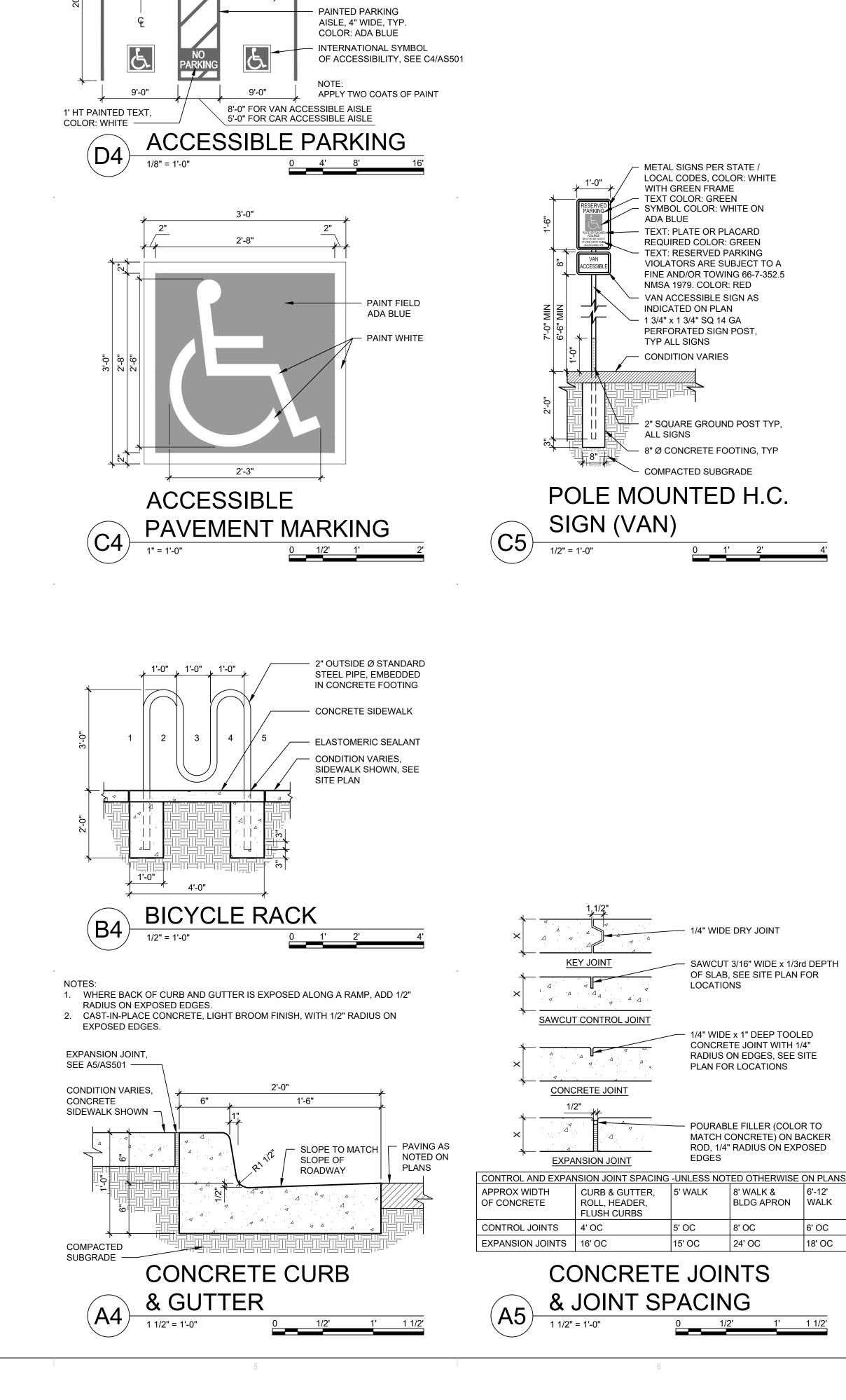




ARCHITECTURE / DESIGN / INSPIRATION

TRAFFIC CIRCULATION LAYOUT APPROVED 02/18/2022

Jeanne Wolfenbarger



– LANDSCAPE AREA, SEE PLAN

ASPHALT PAVING FLUSH W/

CONCRETE SIDEWALK. — PARKING BUMPER

ACCESSIBILITY SIGNAGE,

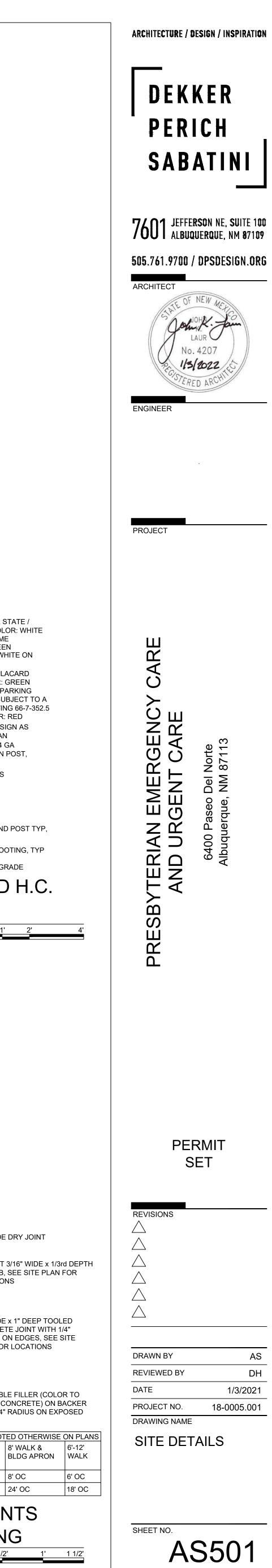
SEE C5/AS501

MAX 2%

SLOPE TYP

HEADER CURB

6'-0"



OF