

# CITY OF ALBUQUERQUE

Planning Department  
Brennon Williams, Director



Mayor Timothy M. Keller

February 18, 2022

Anthony Santi  
AKT Architect, LLC  
Dekker/ Perich/ Sabatini  
7601 Jefferson NE, Suite100  
Albuquerque, NM 87109

**Re: Presbyterian Emergency Care and Urgent Care**  
**6400 Paseo Del Norte**  
**Traffic Circulation Layout**  
Architect's Stamp 01-3-22 (D18-D056)

Dear Mr. Santi,

The TCL submittal received 02-17-2022 is approved for Building Permit with. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

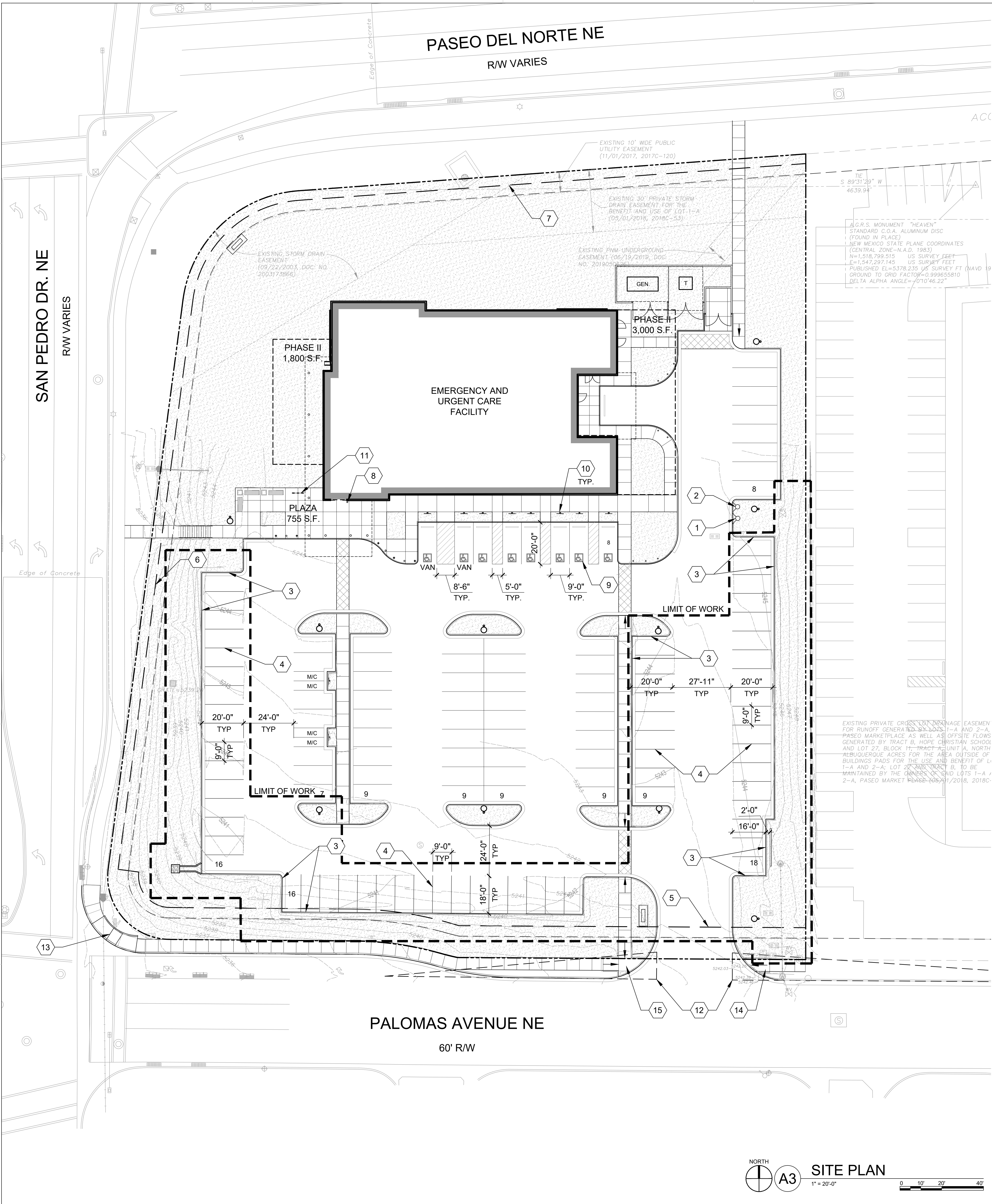
Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Jeanne Wolfenbarger, P.E.  
Traffic Engineer, Planning Dept.  
Development Review Services

\xxx via: email  
C: CO Clerk, File





GENERAL SHEET NOTES

- 1. ALL PARKING AREAS DRIVE AISLES AND AUTOMOTIVE CIRCULATION PATHS TO BE ASPHALT PAVING.
- 2. ALL SIDEWALKS AND RAMPS TO BE CONCRETE.
- 3. IF ANY EXISTING SIDEWALK, CURB&GUTTER IS DAMAGED DURING CONSTRUCTION THE CONTRACTOR SHALL REPAIR AND/OR REPLACE TO MATCH THE ADJACENT MATERIALS AND CONDITION.

SHEET KEYED NOTES

- 1. EXISTING PRIVATE FIRE HYDRANT.
- 2. EXISTING F.D.C.
- 3. CONCRETE CURB AND GUTTER. SEE A4/AS101
- 4. PARKING LOT STRIPING, 4" WIDE TYPICAL, COLOR: WHITE.
- 5. 15' FRONT SETBACK.
- 6. 5' SIDE STREET SETBACK.
- 7. 5' REAR SETBACK.
- 8. EXISTING KNOX BOX.
- 9. EXISTING ADA PARKING. SEE D4/AS501
- 10. EXISTING ADA SIGN. SEE C5/AS501
- 11. EXISTING BIKE RACK. SEE B4/AS501
- 12. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- 13. EXISTING ADA RAMP CONSTRUCTED PER CITY STANDARD DETAIL 2441
- 14. EXISTING ADA RAMP CONSTRUCTED PER CITY STANDARD DETAIL 2443
- 15. EXISTING ADA RAMP CONSTRUCTED PER CITY STANDARD DETAIL 2445

PROJECT DATA

**BUILDING AREA**  
PHASE I: 12,200 SF  
PHASE II: 4,800 SF  
  
FULL BUILD OUT AREA: 17,000 SF  
  
CONSTRUCTION TYPE: IIB  
OCCUPANCY TYPE: B  
  
AN AUTOMATIC SPRINKLER AND SMOKE DETECTION SYSTEM SHALL BE INSTALLED THROUGHOUT THE BUILDING. SPRINKLER CONTRACTOR TO SUBMIT SHOP DRAWINGS TO THE AUTHORITY HAVING JURISDICTION. FIRE ALARM SYSTEM TO BE PROVIDED.

PARKING CALCULATIONS

SPACE	PHASE I	PHASE II
EMERGENCY DEPARTMENT	5	8
URGENT CARE	5	7
TOTAL	10	15
<b>BASIC PARKING</b>		
PHASE I		
10 PROVIDERS AT 5 SPACES PER PROVIDER =	50 SPACES	118 SPACES
<b>FULL BUILD OUT</b>		
PHASE II		
15 PROVIDERS AT 5 SPACES PER PROVIDER =	75 SPACES	118 SPACES
<b>ACCESSIBLE PARKING</b>		
PHASE I: 50 SPACES, 4 REQUIRED PER ZONING CODE		
8 SPACES PROVIDED: 6 ACCESSIBLE, 2 VAN ACCESSIBLE		
PHASE II: 75 SPACES, 4 REQUIRED PER ZONING CODE		
8 SPACES PROVIDED: 6 ACCESSIBLE, 2 VAN ACCESSIBLE		
<b>MOTORCYCLE SPACES</b>		
3 REQUIRED FOR 51-100 SPACES (BOTH PHASE I AND II BUILD OUT)		
4 PROVIDED AT PHASE I		
<b>BICYCLE PARKING</b>		
1 PER 20 PARKING SPACES REQUIRED FOR AUTOMOBILES.		
75 SPACES = 4 BICYCLE SPACES REQUIRED FULL BUILD OUT.		
5 PROVIDED AT PHASE I		

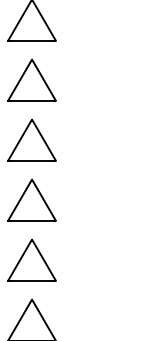
LEGEND

- PROPERTY LINE
- - - EASEMENT
- 6" WIDE CROSSWALK
- EXISTING 6' WIDE CONCRETE SIDEWALK
- LANDSCAPE AREA
- POLE LIGHT (20' MAX HEIGHT)
- SIDEWALK RAMP (ARROW POINTS DOWN)
- EXISTING FIRE HYDRANT
- EXISTING F.D.C.

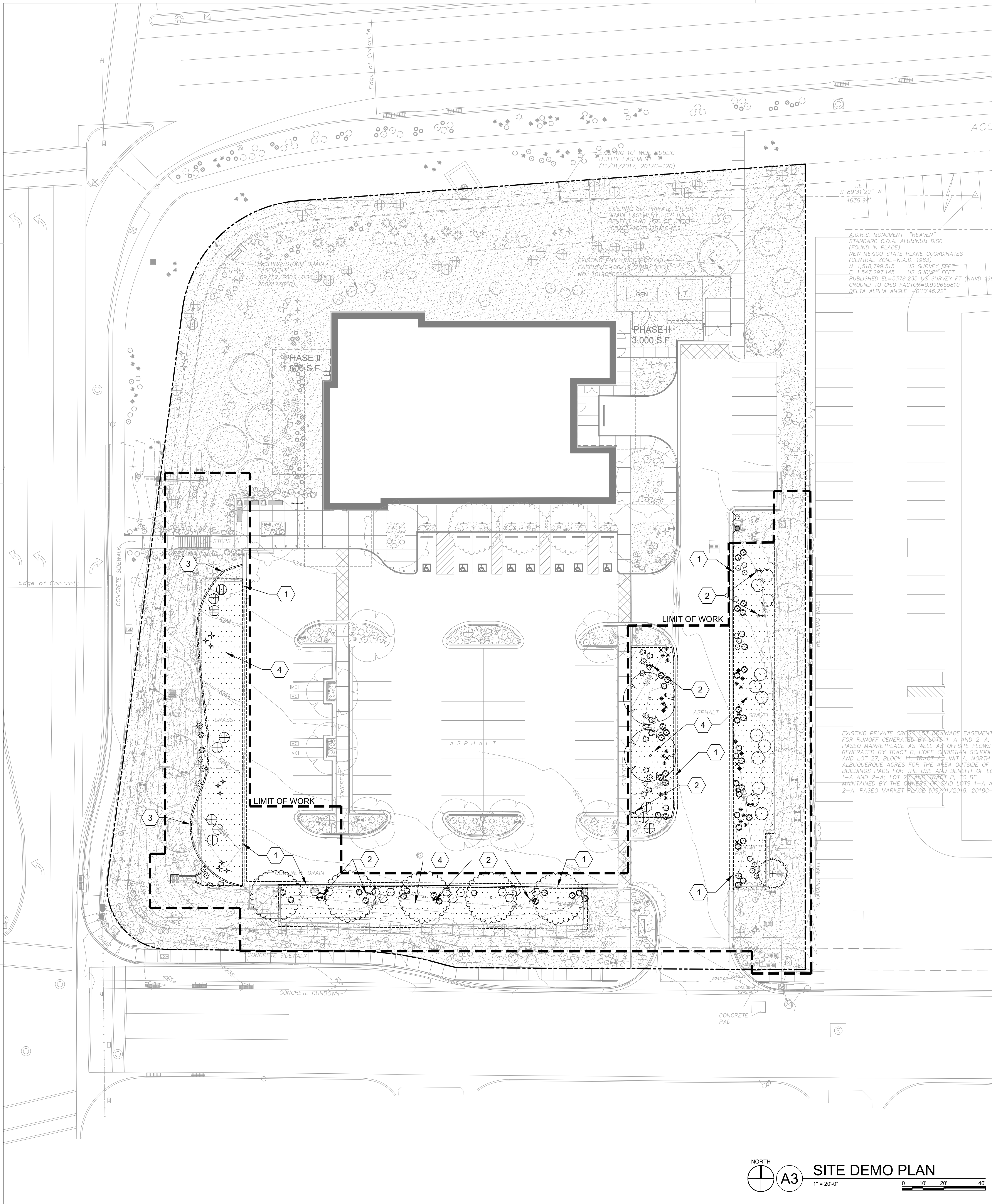


VICINITY MAP

SITE PLAN





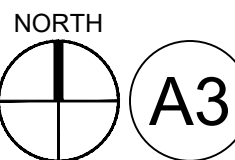


TRAFFIC CIRCULATION LAYOUT APPROVED  
02/18/2022

*Jeanne Wolfenbarger*

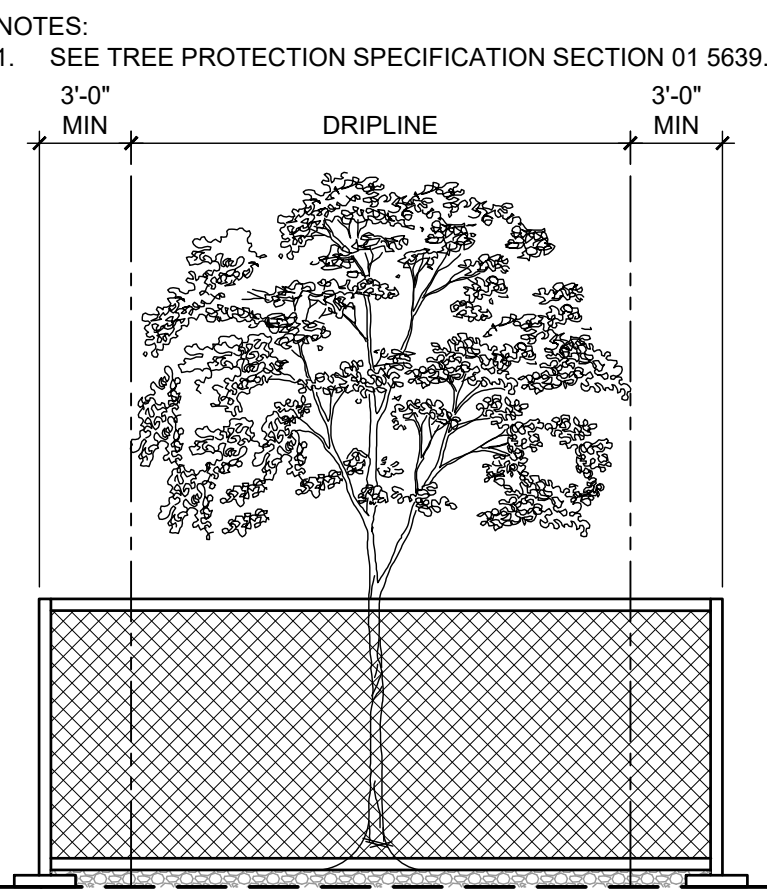
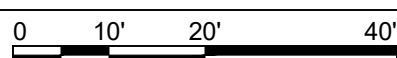
A.G.R.S. MONUMENT "HEAVEN"  
STANDARD C.O.A. ALUMINUM DISC  
(FOUND IN PLACE)  
NEW MEXICO STATE PLANE COORDINATES  
(CENTRAL ZONE-N.A.D. 1983)  
N=1,518,799.515 US SURVEY FEET  
E=1,547,297.145 US SURVEY FEET  
PUBLISHED EL=5378.235 US SURVEY FT (NAVD 1983)  
GROUND TO GRID FACTOR=0.99955810  
DELTA ALPHA ANGLE=-0°0'46.22"

EXISTING PRIVATE CROSS LOT DRAINAGE EASEMENT  
FOR RUNOFF GENERATED BY LOTS 1-A AND 2-A,  
PASEO MARKETPLACE AS WELL AS OFFSITE FLOWS  
GENERATED BY TRACT B, HOPE CHRISTIAN SCHOOL  
AND LOT 27, BLOCK 11, TRACT A, UNIT A, NORTH  
REBUQUERQUE ACRES FOR THE AREA OUTSIDE OF  
BUILDINGS PADS FOR THE USE AND BENEFIT OF LC  
1-A AND 2-A; LOT 27 AND TRACT B, TO BE  
MAINTAINED BY THE OWNERS OF SAID LOTS 1-A, A  
2-A, PASEO MARKET PLACE 105/31/2018, 2018C-



**A3 SITE DEMO PLAN**

1" = 20'-0"



**A4 TREE PROTECTION**

N.T.S.

**GENERAL SHEET NOTES**

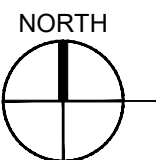
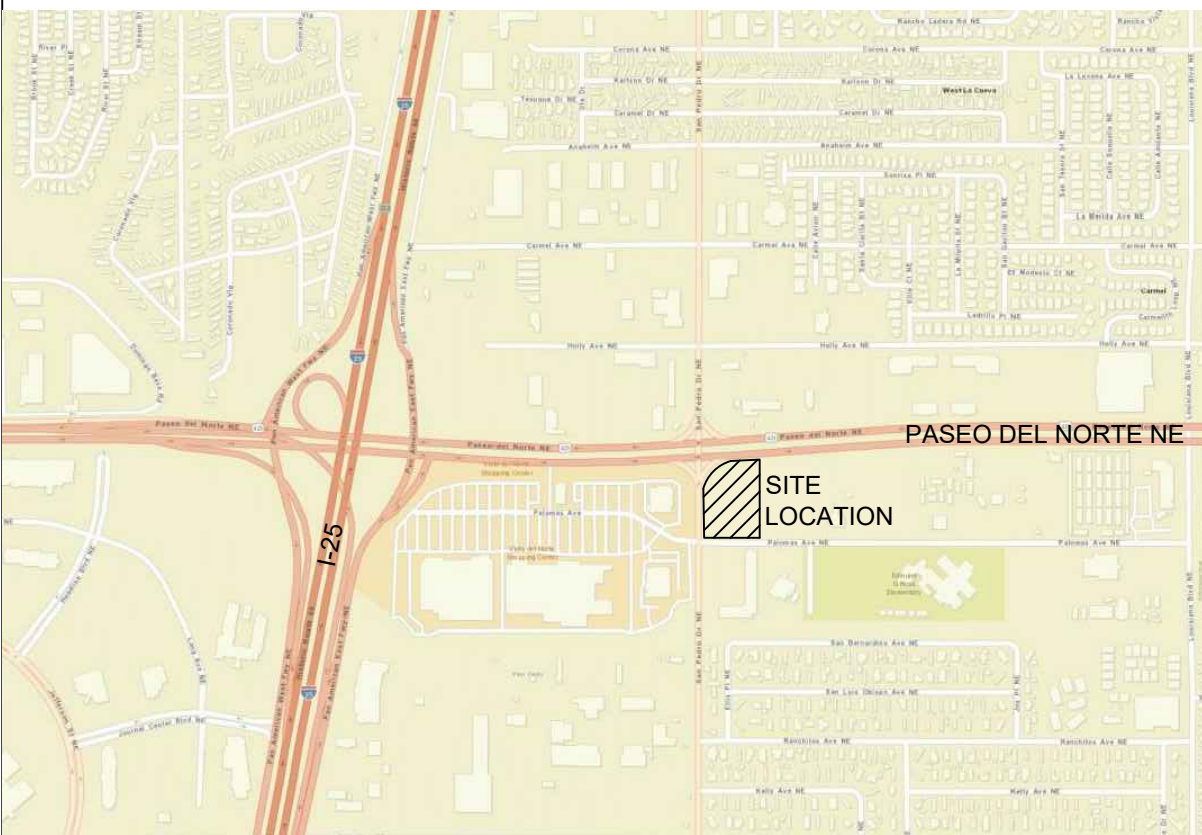
- A. CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS AND EXISTING UTILITIES AND IS RESPONSIBLE FOR REMOVAL AS REQUIRED TO COMPLETE THE WORK.
- B. CONTRACTOR TO SUPPLY REFUSE CONTAINERS AS REQUIRED FOR DEBRIS TO BE REMOVED, AS WELL AS ALL FEES ASSOCIATED WITH DISPOSAL OF REMOVED ITEMS.
- C. CONTRACTOR TO PROVIDE SAFETY MEASURES TO PROTECT PEDESTRIANS, VEHICLES, AND ALL EXISTING CONSTRUCTION TO REMAIN.
- D. CONTRACTOR TO COORDINATE WITH THE OWNER FOR ALLOWABLE STAGING AREAS DURING CONSTRUCTION.
- E. CONTRACTOR TO INCLUDE IN BASE BID DEMOLITION AND CAPPING OF IRRIGATION LINES AND THE RELOCATION OF EXISTING UTILITY LINES CONFLICTING WITH SCOPE OF WORK.
- F. "DEMOLISH" IN ALL NOTES MEANS TO REMOVE THE EXISTING ITEM AND ALL ASSOCIATED COMPONENTS AND PROPERLY DISPOSE OF OFF SITE. CAP ALL UTILITIES EITHER BELOW GRADE OR WITHIN CONCEALED CONSTRUCTION AND NOTE LOCATION ON CONTRACTORS RECORD DRAWING SET TO BE TURNED OVER TO OWNER.
- G. SALVAGED ITEMS NOT SCHEDULED FOR RE-USE IN THIS PROJECT TO BE SUBMITTED TO OWNER FOR CONSIDERATION PRIOR TO CONTRACTOR DISPOSAL.
- H. WHERE PARTIAL DEMOLITION OCCURS CONTRACTOR TO PATCH/REPAIR AND MATCH THE SURROUNDING MATERIALS AND CONDITIONS.
- I. CONTRACTOR SHALL COMPLY WITH OWNER'S ICRA AND LIFE SAFETY PROCEDURES AND OFFICERS.
- J. IT IS NOT THE INTENT OF THESE DOCUMENTS TO INDICATE ALL WORK TO ACHIEVE A COMPLETE INSTALLATION. THE CONTRACTOR, IS EXPECTED TO PROVIDE ALL ADDITIONAL SCOPE OF WORK AND ASSOCIATED BID AMOUNTS TO COMPLETE THE INSTALLATION IN A WORKMANLIKE MANNER, INCLUSIVE OF PROPER PATCHING AND REPAIRS.
- K. UTILITIES AND ASSOCIATED EQUIPMENT SHOWN FOR REFERENCE ONLY. CONTRACTOR TO COORDINATE LOCATION AND INSTALLATION. SEE CIVIL AND ELECTRICAL DRAWINGS.
- L. EXISTING LANDSCAPE AREAS ADJACENT TO THE PROJECT SITE ARE TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION.

**SHEET KEYED NOTES**

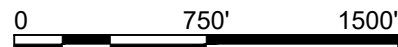
- 1. DEMOLISH CONCRETE CURB AND GUTTER, COORDINATE EXTENTS WITH NEW CONSTRUCTION.
- 2. EXISTING IRRIGATION VALVE TO BE REMOVED. SEE IRRIGATION PLANS FOR RELOCATION AND/OR TERMINATION POINTS.
- 3. DEMOLISH EXISTING CONCRETE MOW CURB.
- 4. EXISTING LANDSCAPE TO BE DEMOLISHED. COORDINATE EXTENTS WITH NEW CONSTRUCTION.

**LEGEND**

- PROPERTY LINE
- TREE PROTECTION, SEE B6/ASD101 AND SPECIFICATIONS
- DEMOLITION
- TREE PROTECTION FENCING
- LANDSCAPE AREA TO BE DEMOLISHED.
- EXISTING POLE LIGHT
- EXISTING FIRE HYDRANT
- EXISTING F.D.C.
- EXISTING TREE TO BE DEMOLISHED (TYPICAL).
- EXISTING TREE TO REMAIN (TYPICAL). SEE TREE PROTECTION DETAIL A4/ASD101



**VICINITY MAP**



ARCHITECTURE / DESIGN / INSPIRATION

**DEKKER  
PERICH  
SABATINI**

**7601** JEFFERSON NE, SUITE 100  
ALBUQUERQUE, NM 87109

**505.761.9700 / DPSDESIGN.ORG**

ARCHITECT



ENGINEER

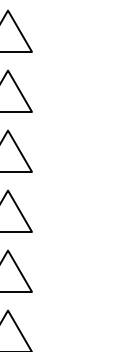
PROJECT

**PRESBYTERIAN EMERGENCY CARE  
AND URGENT CARE**

6400 Paseo Del Norte  
Albuquerque, NM 87113

**PERMIT  
SET**

REVISIONS



DRAWN BY

REVIEWED BY

DATE

PROJECT NO.

DRAWING NAME

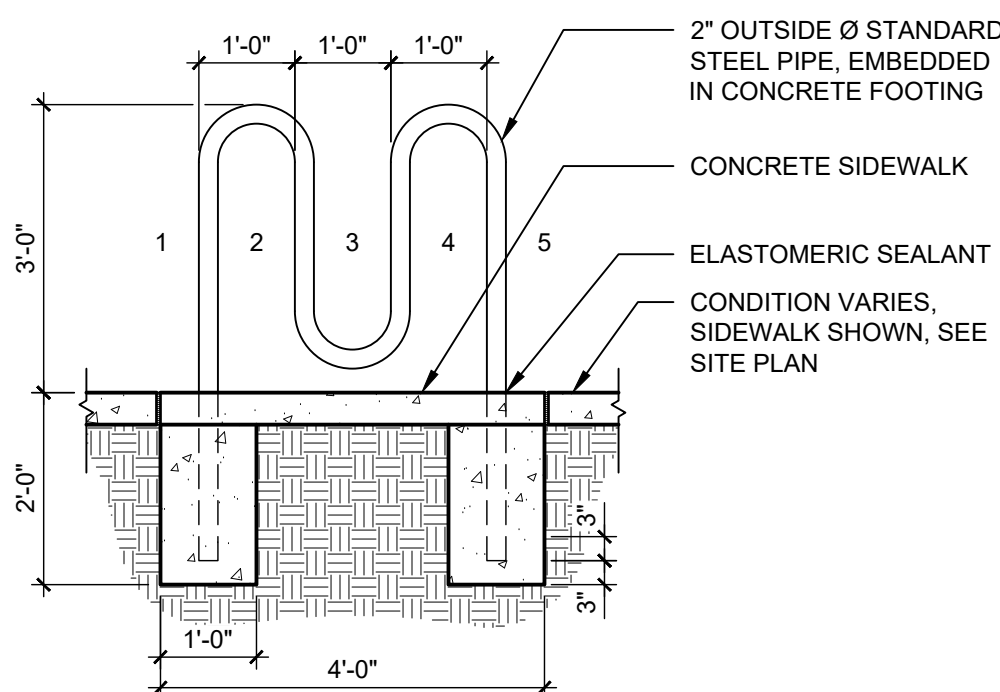
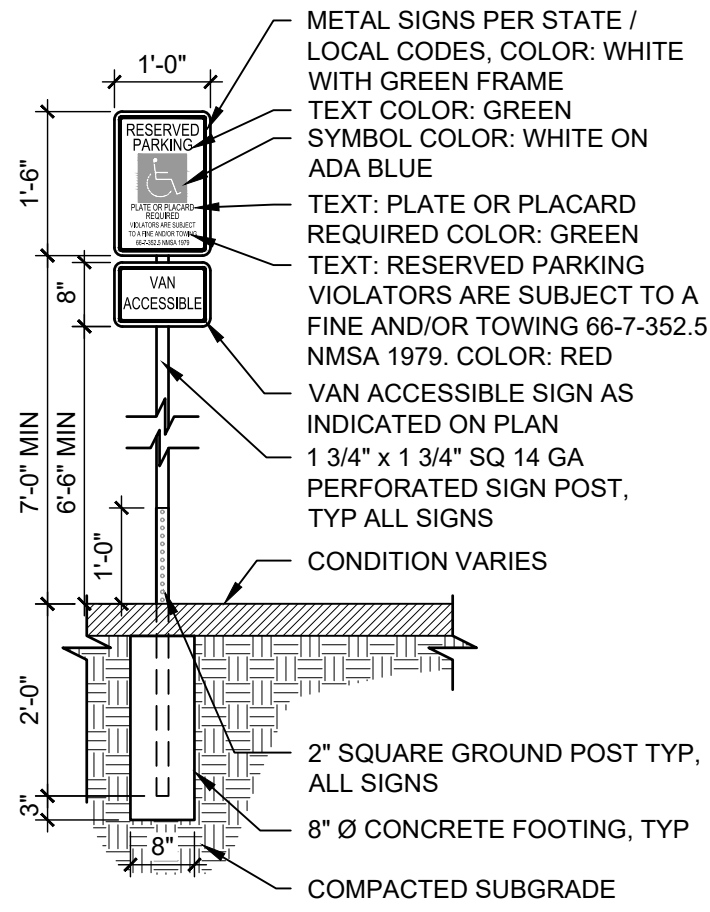
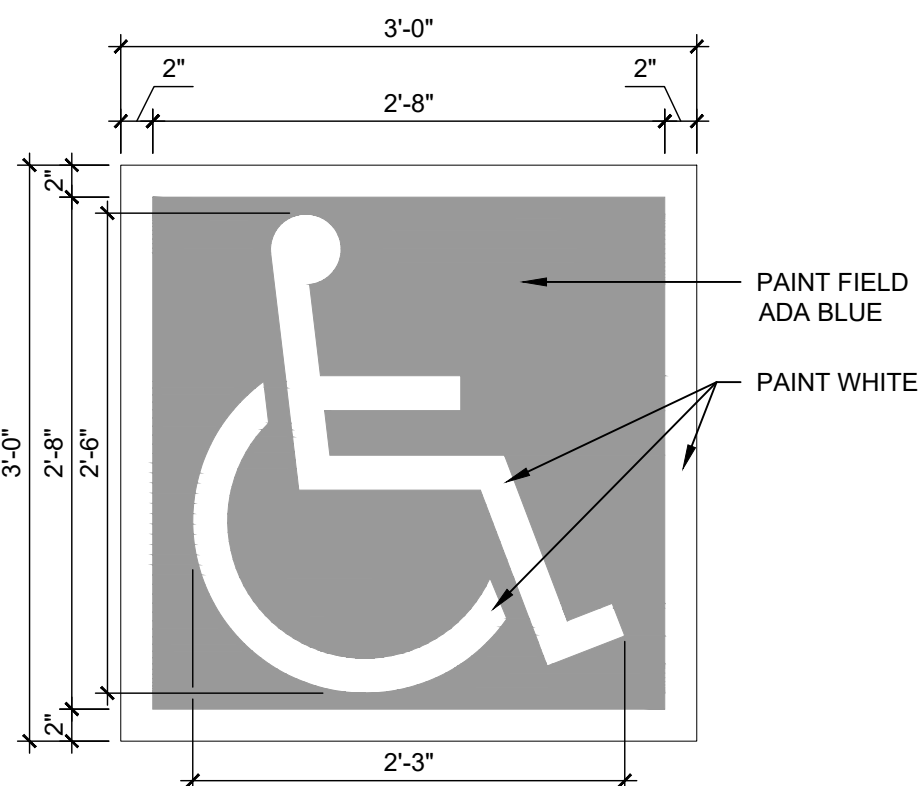
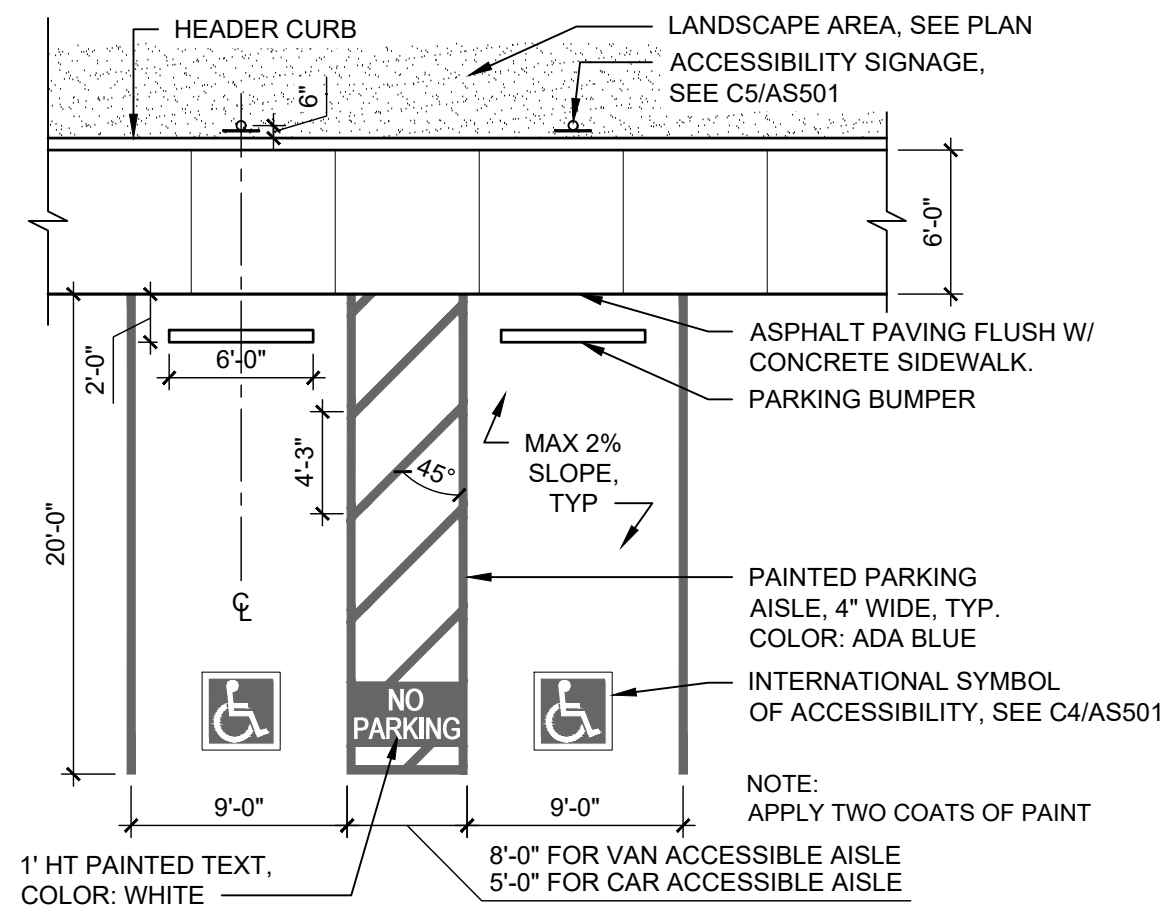
**DEMOLITION  
SITE PLAN**

SHEET NO.

**ASD101**

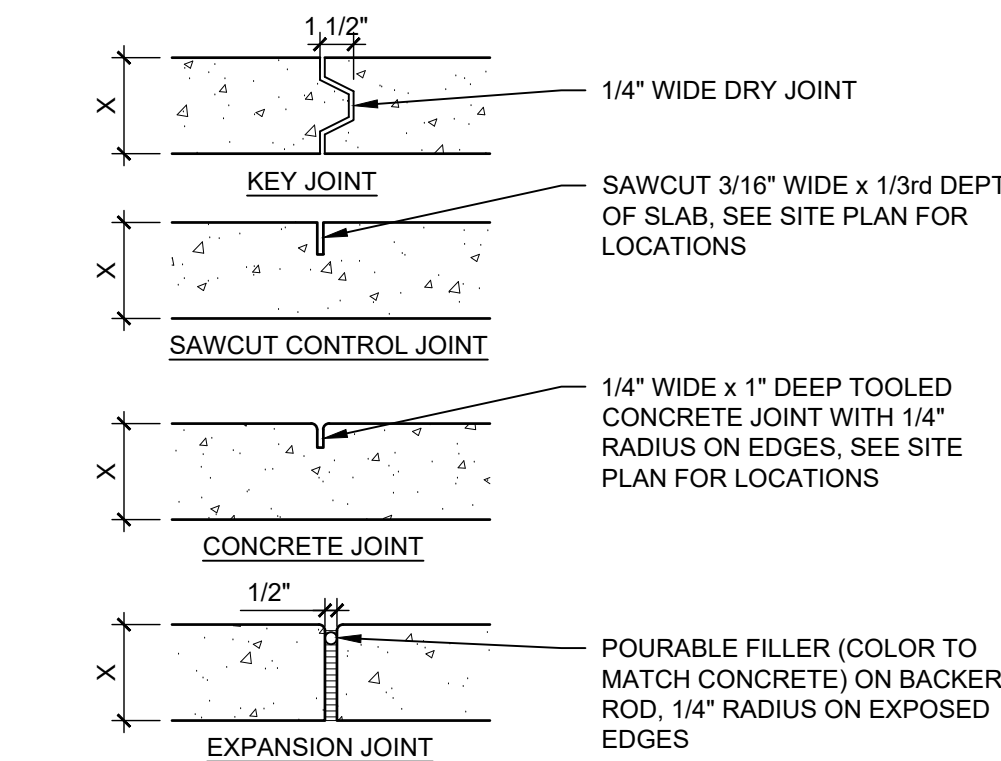
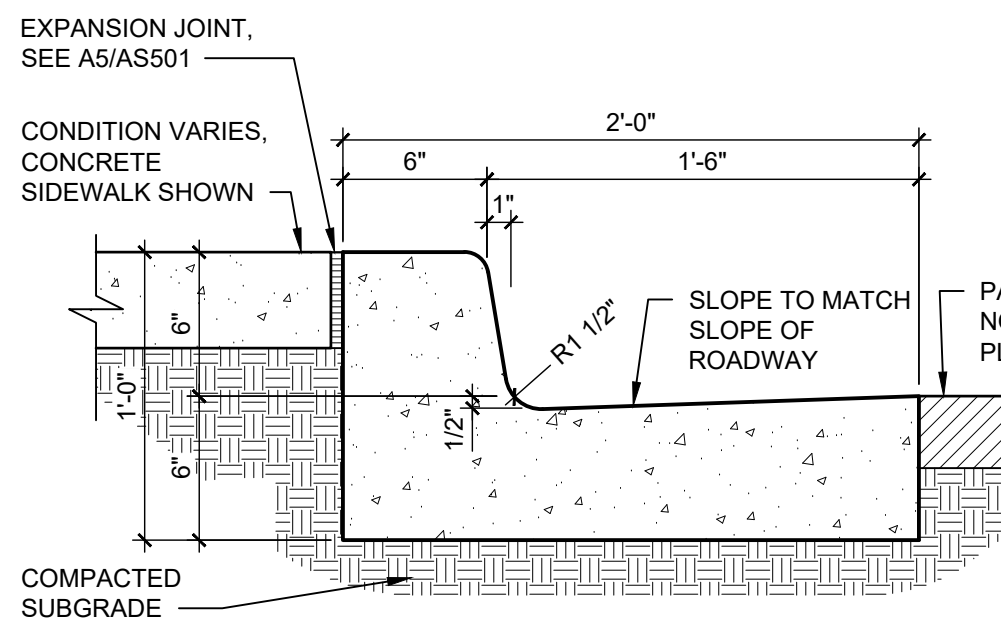
OF





NOTES:

1. WHERE BACK OF CURB AND GUTTER IS EXPOSED ALONG A RAMP, ADD 1/2" RADIUS ON EXPOSED EDGES.
2. CAST-IN-PLACE CONCRETE, LIGHT BROOM FINISH, WITH 1/2" RADIUS ON EXPOSED EDGES.



CONTROL AND EXPANSION JOINT SPACING - UNLESS NOTED OTHERWISE ON PLANS				
APPROX WIDTH OF CONCRETE	CURB & GUTTER, ROLL, HEADER, FLUSH CURBS	5' WALK	8' WALK & BLDG APRON	6'-12" WALK
CONTROL JOINTS	4' OC	5' OC	8' OC	6' OC
EXPANSION JOINTS	16' OC	15' OC	24' OC	18' OC

