

# CITY OF ALBUQUERQUE



September 29, 2020

Ronald Bohannon, P.E.  
Tierra West, LLC  
5571 Midway Park Place NE  
Albuquerque, NM 87109

**Re: Overture Senior Active Adult (ALL PHASES)  
6501 Palomas Ave NE  
Request for Certificate of Occupancy  
Transportation Development Final Inspection  
Engineer's/Architect's Stamp dated 3-26-20 (AA) (D18D056A)  
Certification dated 9-24-20**

Dear Mr. Bohannon,

Based upon the information provided in your submittal received 9-24-20, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact Ernie Gomez at (505) 924-3981.

Sincerely,

Jeanne Wolfenbarger, P.E.  
Traffic Engineer, Planning Dept.  
Development Review Services

Ernie Gomez  
Plan Checker, Planning Dept.  
Development Review Services

EG via: email  
C: CO Clerk, File

### GENERAL NOTES:

- APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
- LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER INCLUDING THAT WITHIN THE CITY RIGHT-OF-WAY.
- ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINES OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
- THERE SHALL BE NO BACKLIT, PLASTIC, OR VINYL AWNINGS OR ILLUMINATED PLASTIC BANDING ON SIGNAGE.
- NO FREESTANDING CELL TOWERS OR ANTENNA SHALL BE PERMITTED. ANY WIRELESS COMMUNICATIONS FACILITIES SHALL BE INTEGRATED INTO THE BUILDING ARCHITECTURE.
- THERE ARE NO TRANSIT FACILITIES ADJACENT TO OR WITHIN CLOSE PROXIMITY TO THE SITE.
- LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED IN PUBLIC WORK ORDER.

### SIGNAGE NOTES:

- ALL SIGNS SHOWN ON THIS PLAN MUST BE PERMITTED SEPARATELY.
- PROPOSED SIGNS MUST MEET THE REQUIREMENTS OF THE NORTH I-25 SECTOR DEVELOPMENT PLAN. SEE SHEET CS FOR SIGNAGE REGULATIONS.

### SITE DATA

LEGAL DESCRIPTION: LOT 1-A OF PLAT LOTS 1-A AND 2-A PASEO MARKETPLACE (BEING A REPLAT OF LOTS 1 THRU 5, PASEO MARKETPLACE)

ZONING: SU-2 C-1 OR SU-2 RC. DWELLING UNITS ALLOWED PER SPECIAL EXCEPTION 17ZHE-80268

SITE AREA: 4.07 ACRES

PROPOSED USE:  
SINGLE-FAMILY APARTMENTS (AGE-RESTRICTED)

PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS:  
THREE DRIVEWAY ENTRANCES WILL PROVIDE VEHICULAR ACCESS FROM PALOMAS AVENUE, ONE OF WHICH (EASTERLY ACCESS) IS FOR EMERGENCY VEHICLES ONLY. PEDESTRIAN ACCESS WILL BE PROVIDED TO PALOMAS AVENUE AT A POINT ADJACENT TO THE MIDDLE DRIVEWAY, PER PLAN.

INTERNAL CIRCULATION REQUIREMENTS :  
SOUTHERLY PARKING AREA IS ACCESSIBLE TO VISITORS AND RESIDENTS WHILE REMAINDER OF PARKING AREAS ARE GATE CONTROLLED. KNOX BOXES WILL PROVIDE ACCESS FOR EMERGENCY VEHICLES AT ALL GATES.

MAXIMUM BUILDING HEIGHT ALLOWED:  
65 FEET (5 STORIES)

MINIMUM BUILDING SETBACK:  
15' MIN.; SIDE- 5' MIN.; REAR-5' MIN. (GOVERNED BY NORTH I-25 SDP, REGIONAL COMMERCIAL)

MAXIMUM TOTAL DWELLING UNITS:  
200 DU (50 DU/AC) ALLOWED  
175 DU PROPOSED

NONRESIDENTIAL USES MAXIMUM FLOOR AREA RATIO:  
N/A

PHASING:  
NONE PROPOSED

STRUCTURE LOCATIONS:  
EXISTING SINGLE-STORY STRUCTURE ONSITE TO BE DEMOLISHED. PROPOSED STRUCTURE PER SITE PLAN

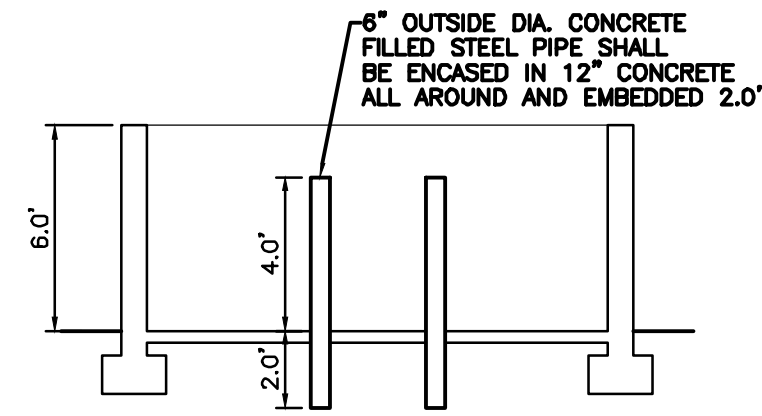
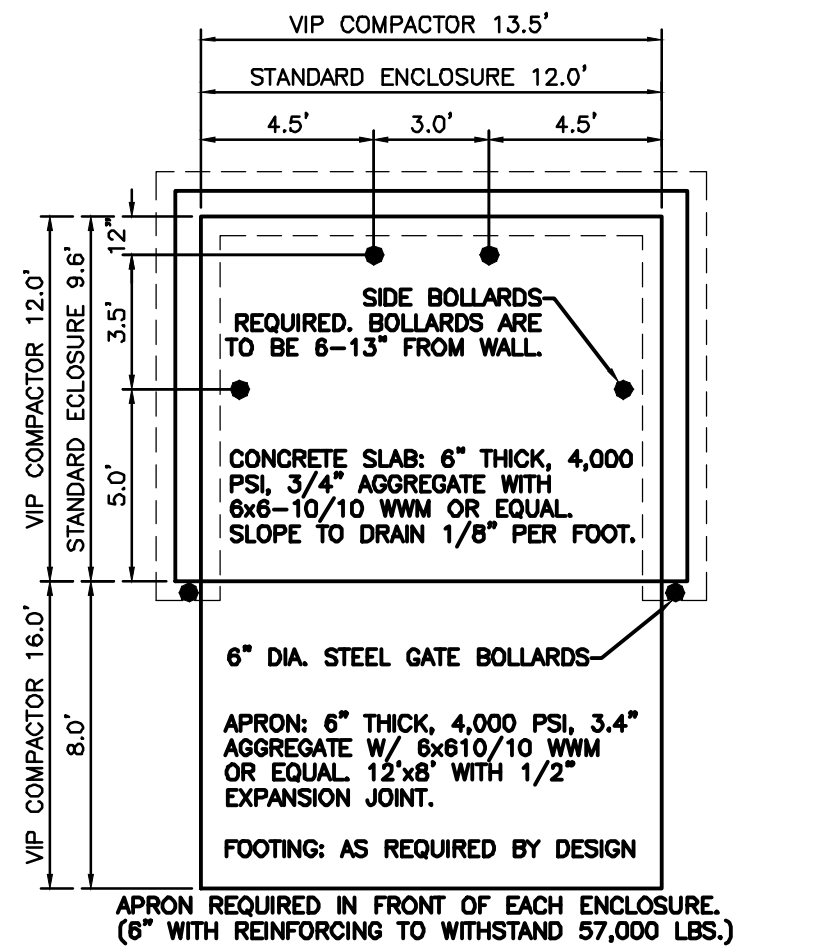
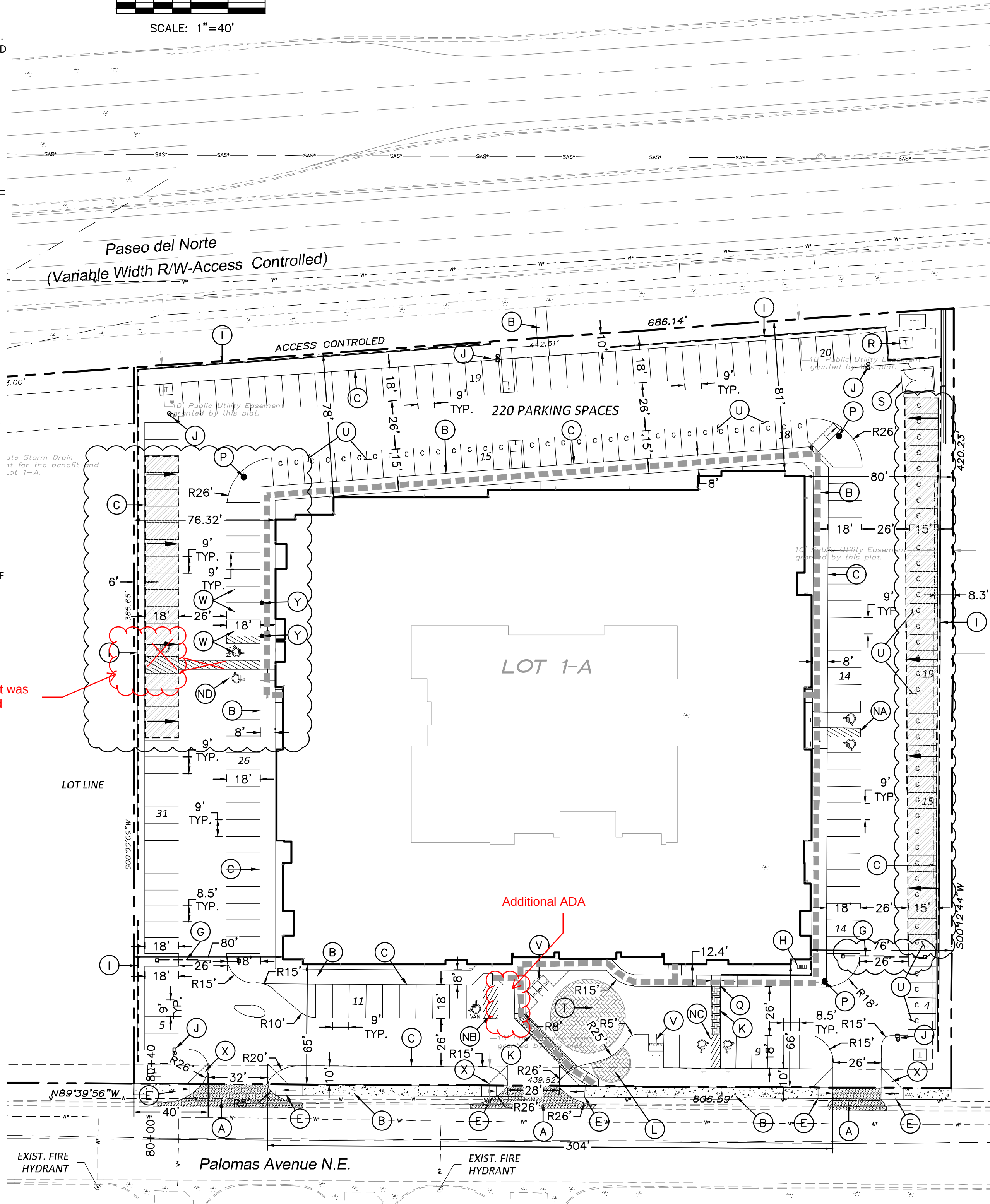
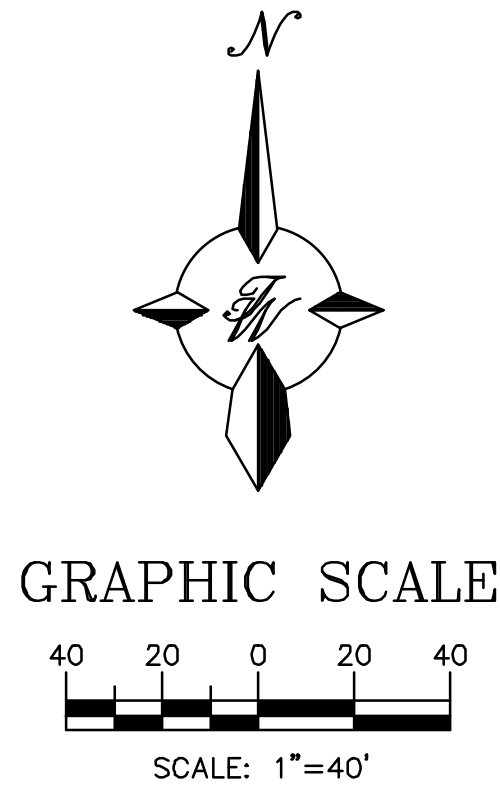
STRUCTURE ELEVATIONS AND DIMENSIONS:  
BUILDING AREA: 158,984 SF  
SEE SHEET A1 FOR STRUCTURE ELEVATIONS

PARKING FACILITIES:  
CAR CHARGING STATIONS REQUIRED: 4 SPACES  
CAR CHARGING STATIONS PROVIDED: 4 SPACES  
PARKING REQUIRED: 220 SPACES (PER ZHE VARIANCE) (17ZHE-80268)  
TOTAL PROVIDED: 220 SPACES (140 STANDARD; 72 COMPACT; 8 HC)  
TOTAL COVERED PARKING: 51 SPACES  
HC PARKING REQUIRED: 8 SPACES (2 VAN ACCESSIBLE)  
HC PARKING PROVIDED: 8 SPACES (2 VAN ACCESSIBLE)

MOTORCYCLE PARKING REQUIRED: 5 SPACES  
MOTORCYCLE PARKING PROVIDED: 5 SPACES

LOADING FACILITIES:  
PASSENGER DROP OFF AT MAIN ENTRANCE

NON AUTO TRANSPORTATION  
NO PUBLIC TRANSPORTATION ROUTE ADJACENT TO SITE



NOTE: THESE ARE THE MINIMUM REQUIREMENTS FOR TRASH ENCLOSURES. DESIGNS MAY VARY TO FIT THE SELECTED ENCLOSURE.

### DUMPSTER ENCLOSURE DETAIL

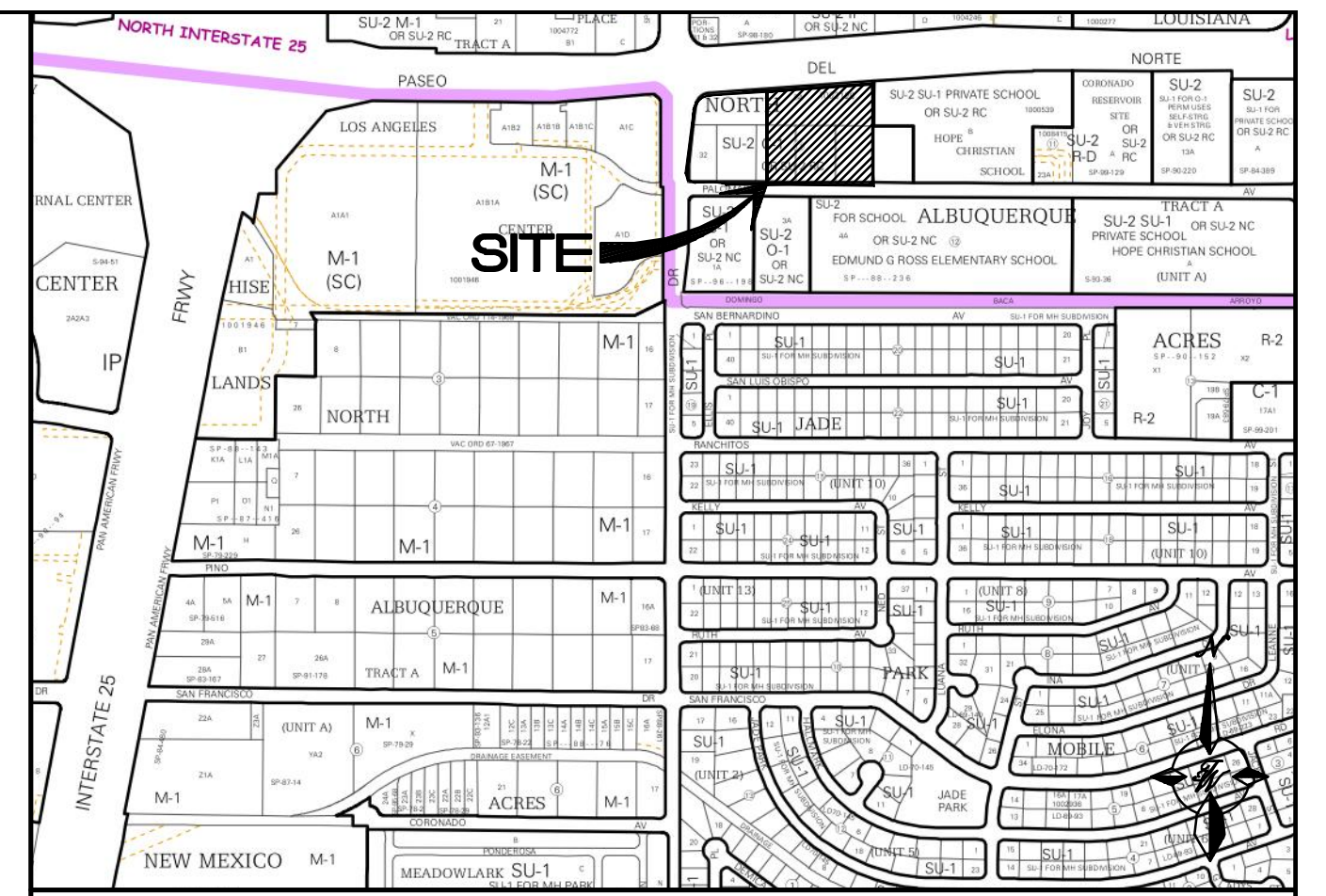
NTS

### KEYED NOTE:

- (A) 6" VALLEY GUTTER PER COA STD DWG #2420
- (B) SIDEWALK PER COA STD DWG #2430
- (C) 6" STANDARD CURB AND GUTTER PER COA STD DWG #2415B
- (D) ZERO CURB WITH TRUNCATED DOMES
- (E) UNIDIRECTIONAL HC RAMP PER DETAIL ON SHEET C4
- (F) HANDICAP PARKING SIGN PER DETAIL SHEET C4
- (G) VEHICULAR GATE
- (H) BIKE RACK (SEE DETAIL SHEET C4)
- (I) RETAINING WALL (SEE GRADING PLAN SHEET C2)
- (J) SITE LIGHTING
- (K) CROSSWALK, PAVERS
- (L) PUBLIC PLAZA WITH PAVERS AND BENCHES PER LANDSCAPE PLAN
- (M) MOTORCYCLE PARKING SIGN (SEE DETAIL SHEET C4)
- (NX) ACCESSIBLE PARKING PER ADA (SEE DETAIL FOR EACH AREA "X", SHEET C4) (INCLUDES CALLOUTS NA, NB, NC, & ND THIS SHEET)
- (O) STOP SIGN
- (P) PROPOSED FIRE HYDRANT
- (Q) ADA RAMP (SEE "ADA RAMP DETAIL", SHEET C4)
- (R) MONUMENT SIGN LOCATION (SIGNS BY SEPARATE PERMIT)
- (S) TRASH ENCLOSURE PER DETAIL THIS SHEET
- (T) PAVERS
- (U) COMPACT PARKING SPACES (SEE DETAIL SHEET C4)
- (V) MOTORCYCLE PARKING SPACES (SEE DETAIL SHEET C4)
- (W) PARKING W/ELECTRIC VEHICLE CHARGING STATIONS
- (X) SIGHT TRIANGLE. SEE GENERAL NOTE 7 THIS SHEET.
- (Y) CAR CHARGING STATION (SEE SHEET C4.1)

### INDEX TO DRAWINGS

- C1. SITE PLAN FOR BUILDING PERMIT
- C2. GRADING AND DRAINAGE PLAN
- C3. MASTER UTILITY PLAN
- C4. DETAILS SHEET
- C5. SIGNAGE REGULATIONS
- L1. LANDSCAPING PLAN
- A4.00 BUILDING ELEVATIONS
- A4.01 BUILDING ELEVATIONS



### LEGAL DESCRIPTION:

LOTS 1-A OF PLAT LOTS 1-A AND 2-A PASEO MARKETPLACE (BEING A REPLAT OF LOTS 1 THRU 5, PASEO MARKETPLACE)

### LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- BUILDING
- SIDEWALK
- RETAINING WALL
- EXISTING STREET LIGHTS
- STRIPING
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- EXISTING SIDEWALK
- PROPOSED ASPHALT
- PROPOSED PARKING LOT LIGHT
- ACCESSIBLE ROUTE
- COVERED PARKING
- DRAINAGE FLOW ARROW FOR CARPORT

PROJECT NUMBER: 1010675

APPLICATION NUMBER: 18DRB-70120

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated 10/17/2018, and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? ( ) Yes ( ) No If Yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

### DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

|                                                 |      |
|-------------------------------------------------|------|
| Traffic Engineer, Transportation Division       | Date |
| ABCWUA                                          | Date |
| Parks & Recreation Department                   | Date |
| City Engineer/Hydrology                         | Date |
| Code Enforcement                                | Date |
| * Environmental Health Department (conditional) | Date |
| Solid Waste Management                          | Date |
| DRB Chairperson, Planning Department            | Date |

\* Environmental Health, if necessary

ISSUED FOR PERMIT DATE: 09.17.18

|                                                                                                                                              |                                  |                   |
|----------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------|-------------------|
| ENGINEER'S SEAL<br><br>RONALD R. BOHANNAN<br>P.E. #7868 | OVERTURE SENIOR<br>ACTIVE ADULT  | DRAWN BY<br>DY    |
|                                                                                                                                              | SITE PLAN FOR<br>BUILDING PERMIT | DATE<br>3/02/2020 |
| TERRA WEST, LLC<br>5571 MIDWAY PARK PLACE NE<br>ALBUQUERQUE, NM 87109<br>(505) 858-3100<br>www.tierrawestllc.com                             |                                  | 2017086-SPB       |
|                                                                                                                                              |                                  | SHEET #<br>C1     |
|                                                                                                                                              |                                  | JOB #<br>2017086  |



gcm

TERRA WEST, LLC

September 24, 2020

Mr. Ernie Gomez  
Development Review Services  
City of Albuquerque  
P.O. Box 1293  
Albuquerque, NM 87103

RE: TRAFFIC CIRCULATION LAYOUT CERTIFICATION (OVERALL)  
CERTIFICATION FOR PERMANENT CERTIFICATE OF OCCUPANCY  
OVERTURE SENIOR ACTIVE ADULT, 6451 PALOMAS AVE, NE, 87112

Dear Mr. Gomez:

I, Ronald R. Bohannan, NMPE #7868, of the firm Terra West LLC, hereby request approval of the AA Site Plan for Building Permit (SPBP) for issuance of a Permanent Certificate of Occupancy for the project referenced above. This project is in substantial compliance as inspected on September 24, 2020 and is in accordance with the design intent of the AA Site Plan for Building Permit Approved dated 3/16/20.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Enclosed, please find the information sheet and the as-built AA Approved Site Plan for Building Permit. Therefore, we request approval of the as-built AA Approved Site Plan for Building Permit and issuance of the Permanent Certificate of Occupancy.

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.



JN: 2017086  
RRB/AR/bf

|                                                                              |                                                                 |
|------------------------------------------------------------------------------|-----------------------------------------------------------------|
| <b>ADMINISTRATIVE AMENDMENT</b>                                              |                                                                 |
| <b>FILE #</b> <small>SI-2020</small> <b>PROJECT #</b> <small>PR-2020</small> | <small>00012</small> <small>003271</small>                      |
| Age Restricted Senior Living Facility                                        |                                                                 |
| Minor Changes per comments from                                              |                                                                 |
| Transportation Development (10 Mar 2020).                                    |                                                                 |
| <b>RBrito</b>                                                                | <small>PR-2020</small> <small>003271</small> <b>26 Mar 2020</b> |
| <b>APPROVED BY</b>                                                           | <b>DATE</b>                                                     |



# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: Overture Senior Active Adult Building Permit #: \_\_\_\_\_ Hydrology File #: 01900564  
DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_  
Legal Description: Lot 5-A, 28, 29 and 30 of Blk II North Albuquerque Acres  
City Address: \_\_\_\_\_

Applicant: Tierra West, LLC Contact: Jon Niski  
Address: 5571 Midway Park Place NE Albuquerque NM 87109  
Phone#: 505-858-3100 Fax#: 505-858-1118 E-mail: jniski@tierrawestllc.com

Other Contact: \_\_\_\_\_ Contact: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

TYPE OF DEVELOPMENT: \_\_\_\_\_ PLAT (# of lots) \_\_\_\_\_ RESIDENCE \_\_\_\_\_ X \_\_\_\_\_ DRB SITE \_\_\_\_\_ ADMIN SITE

IS THIS A RESUBMITTAL? \_\_\_\_\_ Yes \_\_\_\_\_ X \_\_\_\_\_ No

DEPARTMENT \_\_\_\_\_ TRANSPORTATION \_\_\_\_\_ X \_\_\_\_\_ HYDROLOGY/DRAINAGE

Check all that Apply:

### TYPE OF SUBMITTAL:

- \_\_\_\_\_ ENGINEER/ARCHITECT CERTIFICATION
- \_\_\_\_\_ PAD CERTIFICATION
- \_\_\_\_\_ CONCEPTUAL G & D PLAN
- \_\_\_\_\_ GRADING PLAN
- \_\_\_\_\_ DRAINAGE REPORT
- \_\_\_\_\_ DRAINAGE MASTER PLAN
- \_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- \_\_\_\_\_ ELEVATION CERTIFICATE
- \_\_\_\_\_ CLOMR/LOMR
- ☒ X \_\_\_\_\_ TRAFFIC CIRCULATION LAYOUT (TCL)
- \_\_\_\_\_ TRAFFIC IMPACT STUDY (TIS)
- \_\_\_\_\_ STREET LIGHT LAYOUT
- \_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_
- \_\_\_\_\_ PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- \_\_\_\_\_ BUILDING PERMIT APPROVAL
- ☒ X \_\_\_\_\_ CERTIFICATE OF OCCUPANCY (Permanent)
- \_\_\_\_\_ PRELIMINARY PLAT APPROVAL
- \_\_\_\_\_ SITE PLAN FOR SUB'D APPROVAL
- \_\_\_\_\_ SITE PLAN FOR BLDG. PERMIT APPROVAL
- \_\_\_\_\_ FINAL PLAT APPROVAL
- \_\_\_\_\_ SIA/ RELEASE OF FINANCIAL GUARANTEE
- \_\_\_\_\_ FOUNDATION PERMIT APPROVAL
- \_\_\_\_\_ GRADING PERMIT APPROVAL
- \_\_\_\_\_ SO-19 APPROVAL
- \_\_\_\_\_ PAVING PERMIT APPROVAL
- \_\_\_\_\_ GRADING/ PAD CERTIFICATION
- \_\_\_\_\_ WORK ORDER APPROVAL
- \_\_\_\_\_ CLOMR/LOMR
- \_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT
- \_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_

DATE SUBMITTED: 09/24/20 By: Jon Niski

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_