

# CITY OF ALBUQUERQUE

*Planning Department*  
Alan Varela, Director



*Mayor Timothy M. Keller*

March 22, 2023

Dennis Lorenz, P.E.  
Lorenz Design & Consulting  
2501 Rio Grande NW  
Albuquerque, NM 87104

**RE: NMDOT Garage**  
**7500 Pan American Freeway NE**  
**Permanent C.O. – Accepted**  
**Engineer's Certification Date: 03/09/23**  
**Engineer's Stamp Date: 04/08/21**  
**Hydrology File: D18D057**

Dear Mr. Lorenz:

PO Box 1293

Based on the Certification received 03/10/2023 and site visit on 03/21/2023, this letter serves as a “green tag” from Hydrology Section for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

Albuquerque

If you have any questions, please contact me at 924-3995 or [rbrissette@cabq.gov](mailto:rbrissette@cabq.gov).

NM 87103

Sincerely,

*Renée C. Brissette*

[www.cabq.gov](http://www.cabq.gov)

Renée C. Brissette, P.E. CFM  
Senior Engineer, Hydrology  
Planning Department



# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

**Project Title:** NMDOT Garage **Building Permit #:** \_\_\_\_\_ **Hydrology File #:** D18D057  
**DRB#:** NA **EPC#:** NA **Work Order#:** NA  
**Legal Description:** New Mexico State Highway Department Tract  
**City Address:** 7500 Pan American Freeway NE

**Applicant:** New Mexico Department of Transportation **Contact:** Jerry Gonzales  
**Address:** 7500 Pan American Freeway NE, Albuquerque, NM  
**Phone#:** 505-553-3690 **Fax#:** \_\_\_\_\_ **E-mail:** Jerry.Gonzales@state.nm.us

**Other Contact:** Lorenz Design & Consulting LLC **Contact:** Dennis Lorenz  
**Address:** 3308 Calle de Daniel NW, Albuquerque, NM 87104  
**Phone#:** 505-220-0869 **Fax#:** \_\_\_\_\_ **E-mail:** dennisl@lorenznm.com

**TYPE OF DEVELOPMENT:** \_\_\_\_\_ PLAT (# of lots) \_\_\_\_\_ RESIDENCE \_\_\_\_\_ DRB SITE ☒ ADMIN SITE

IS THIS A RESUBMITTAL? \_\_\_\_\_ Yes ☒ No

**DEPARTMENT** \_\_\_\_\_ TRANSPORTATION ☒ HYDROLOGY/DRAINAGE

Check all that Apply:

### TYPE OF SUBMITTAL:

- ☒ ENGINEER/ARCHITECT CERTIFICATION  
\_\_\_\_ PAD CERTIFICATION  
\_\_\_\_ CONCEPTUAL G & D PLAN  
\_\_\_\_ GRADING PLAN  
\_\_\_\_ DRAINAGE REPORT  
\_\_\_\_ DRAINAGE MASTER PLAN  
\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT APPLIC  
\_\_\_\_ ELEVATION CERTIFICATE  
\_\_\_\_ CLOMR/LOMR  
\_\_\_\_ TRAFFIC CIRCULATION LAYOUT (TCL)  
\_\_\_\_ TRAFFIC IMPACT STUDY (TIS)  
\_\_\_\_ STREET LIGHT LAYOUT  
\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_  
\_\_\_\_ PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- \_\_\_\_ BUILDING PERMIT APPROVAL  
☒ CERTIFICATE OF OCCUPANCY  
\_\_\_\_ PRELIMINARY PLAT APPROVAL  
\_\_\_\_ SITE PLAN FOR SUB'D APPROVAL  
\_\_\_\_ SITE PLAN FOR BLDG. PERMIT APPROVAL  
\_\_\_\_ FINAL PLAT APPROVAL  
\_\_\_\_ SIA/ RELEASE OF FINANCIAL GUARANTEE  
\_\_\_\_ FOUNDATION PERMIT APPROVAL  
\_\_\_\_ GRADING PERMIT APPROVAL  
\_\_\_\_ SO-19 APPROVAL  
\_\_\_\_ PAVING PERMIT APPROVAL  
\_\_\_\_ GRADING/ PAD CERTIFICATION  
\_\_\_\_ WORK ORDER APPROVAL  
\_\_\_\_ CLOMR/LOMR  
\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT  
\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_

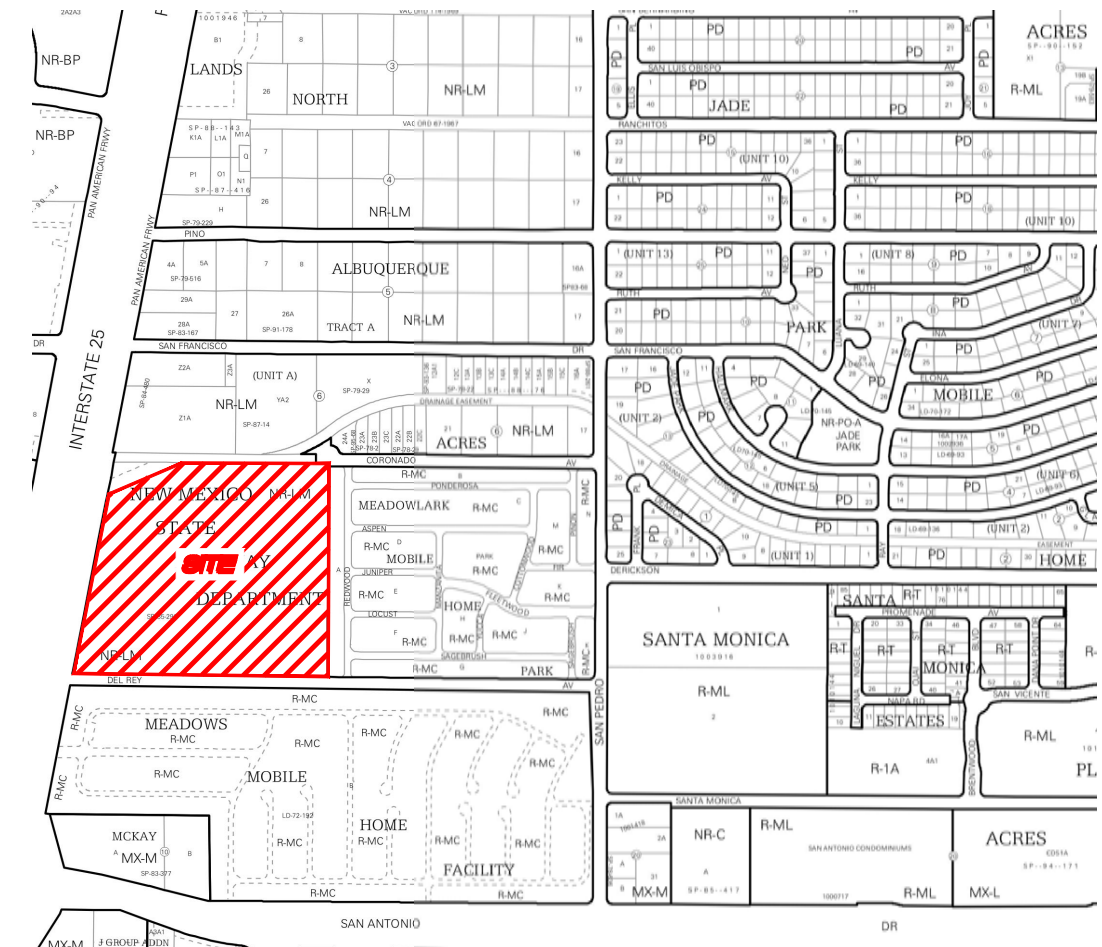
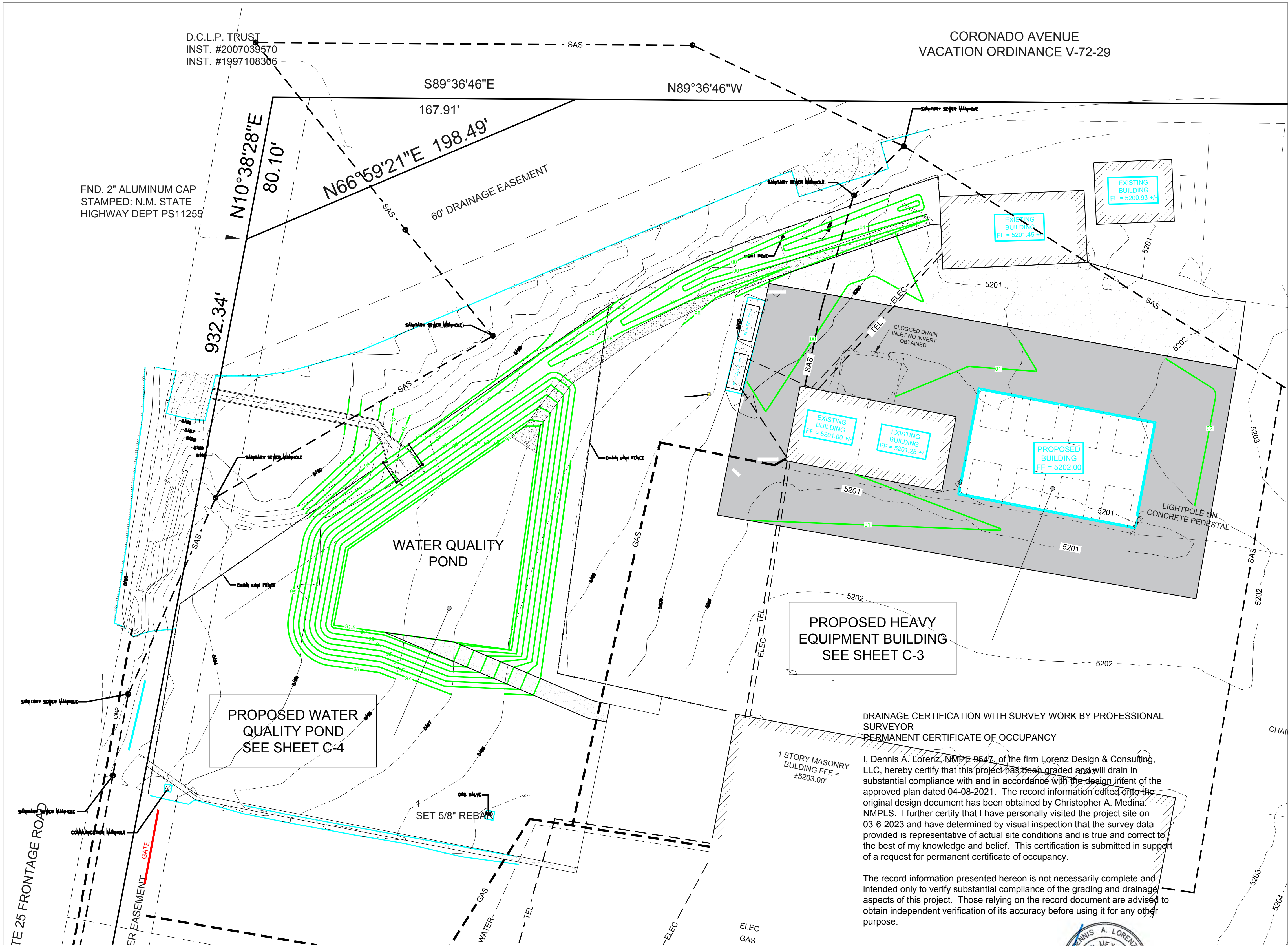
**DATE SUBMITTED:** March 9, 2023 **By:** Dennis A. Lorenz PE

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_





LEGEND

ITEM	EXISTING	PROPOSED
PROPERTY LINE	—	—
EASEMENT	---	---
CURB AND GUTTER	---	---
6" CONCRETE CURB	---	---
WATERLINE	— WATER —	—
SANITARY SEWER	— SAS —	—
ELECTRIC	— ELEC —	—
TELECOM	— TEL —	—
GAS	— GAS —	—
STORM DRAIN	— SD —	—
SPOT ELEVATION	× 75.5	01.5 ◆
CONTOUR W/ ELEVATION	— 5800 —	— 5800 —
DIRECTION OF FLOW	—	—
CONCRETE	—	—
RIP RAP ROCK	—	—
ASPHALT PAVEMENT	—	—



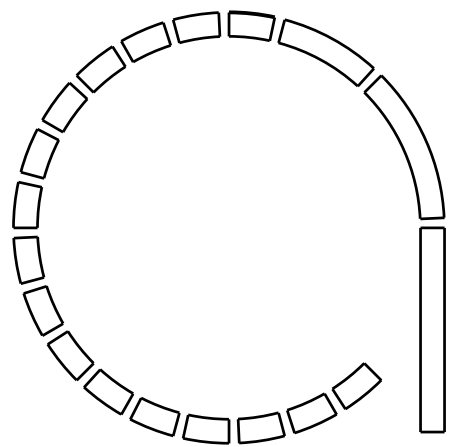
GRADING & DRAINAGE PLAN  
MASTERPLAN

NMDOT GARAGE  
7500 EAST I-25 FRONTAGE ROAD NE  
ALBUQUERQUE, NEW MEXICO

SANDERS & ASSOCIATES ARCHITECTS, P.C. 6000 ROGERS AVE. N.E. ALBUQUERQUE N.M. 87110 (505) 255-5040 FAX (505) 255-5040

Project No. 20203  
sheet  
C-2  
Sheet 4 of 30





GRADING & DRAINAGE PLAN  
HEAVY EQUIPMENT BUILDING

SANDERS & ASSOCIATES ARCHITECTS, P.C. 6000 ROGERS AVE. N.E. ALBUQUERQUE N.M. 87110 (505) 255-5040 FAX (505) 255-5040

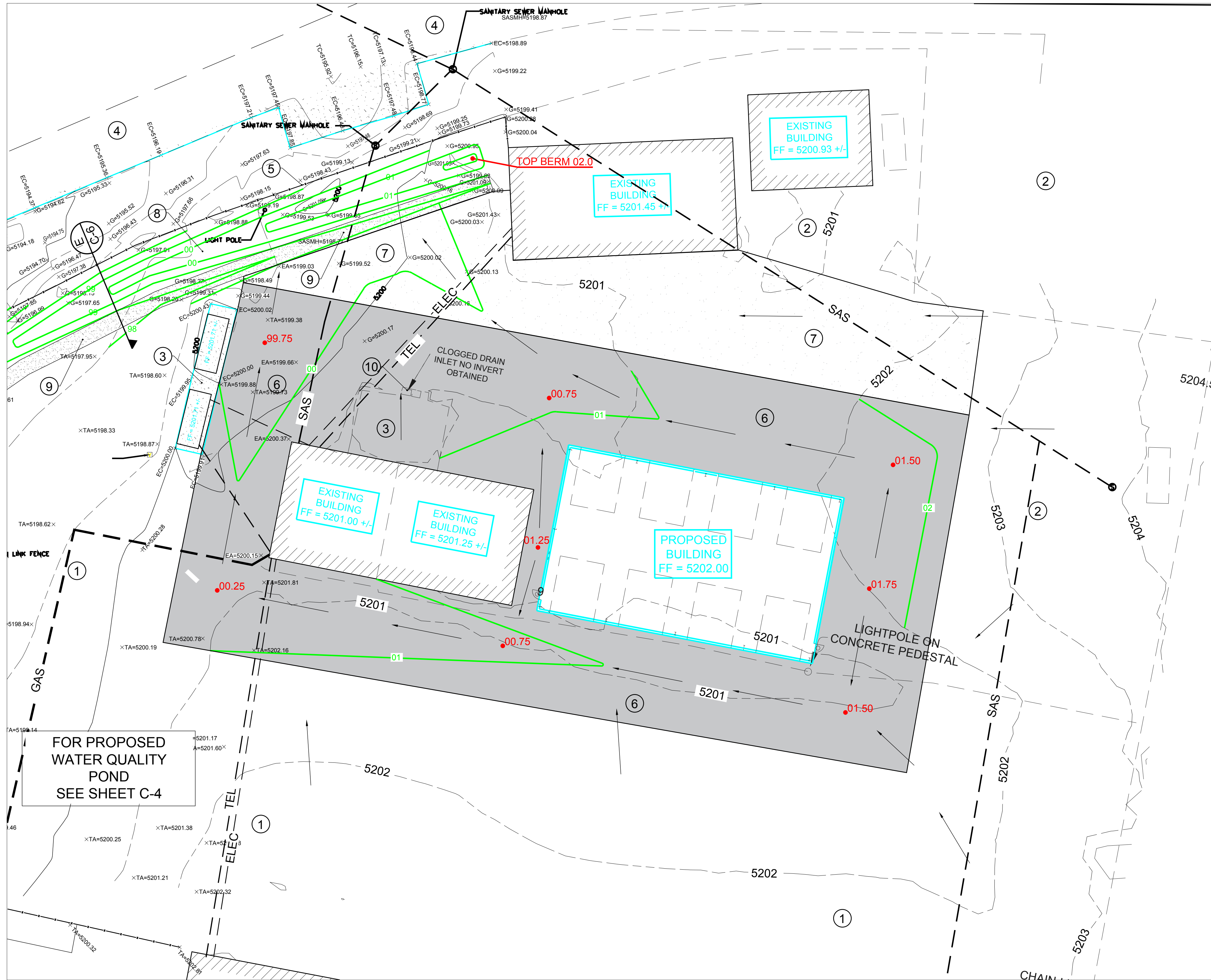
NMDOT GARAGE  
7500 EAST I-25 FRONTAGE ROAD NE  
ALBUQUERQUE, NEW MEXICO

Project No. 20203

sheet

C-3

Sheet 5 of 28



LEGEND

ITEM	EXISTING	PROPOSED
PROPERTY LINE	---	---
EASEMENT	---	---
CURB AND GUTTER	---	---
6" CONCRETE CURB	---	---
WATERLINE	---	---
SANITARY SEWER	---	---
ELECTRIC	---	---
TELECOM	---	---
GAS	---	---
STORM DRAIN	---	---
SPOT ELEVATION	×	●
CONTOUR W/ ELEVATION	---	---
DIRECTION OF FLOW	---	---
CONCRETE	---	---
RIP RAP ROCK	---	---
ASPHALT PAVEMENT	---	---

KEYED NOTES

- EXISTING ASPHALT PAVEMENT
- EXISTING RECYCLED ASPHALT
- EXISTING CONCRETE SLAB
- EXISTING CONCRETE DRAINAGE CHANNEL
- EXISTING WIRE FENCE TO BE REMOVED AND REPLACED WITH BERM CONSTRUCTION
- REMOVE & DISPOSE EXISTING ASPHALT PAVEMENT TO LIMITS SHOWN. CONSTRUCT ASPHALT PAVEMENT. SEE DETAIL J/C-4
- REMOVE & DISPOSE EXISTING RECYCLED ASPHALT PAVEMENT TO LIMITS SHOWN. CONSTRUCT ASPHALT PAVEMENT. SEE DETAIL K/C-4
- CONSTRUCT EARTHEN BERM. SEE SECTION E/C-4
- CONSTRUCT RIP RAP SWALE ALONG BERM. SEE SECTION D/C-4
- FLUSH AND CLEAN EXISTING STORM INLET AND PIPE TO RESTORE DRAINAGE CAPACITY

PROJECT DATA

PROPERTY ADDRESS:  
7500 PAN AMERICAN FREEWAY NE  
ALBUQUERQUE, NEW MEXICO  
LEGAL DESCRIPTION:  
NEW MEXICO STATE HIGHWAY DEPARTMENT  
SURVEY:  
ALL PROJECT SURVEYING BY  
ANTHONY HARRIS NMPLS 11463  
AND NMDOT  
DATE OF SURVEY: MARCH 2021  
PROJECT BENCHMARK:  
ELEVATIONS ARE BASED ON READINGS TAKEN WITH  
STONEX S10A GPS UNIT.  
ELEVATIONS ARE NAVD 1988

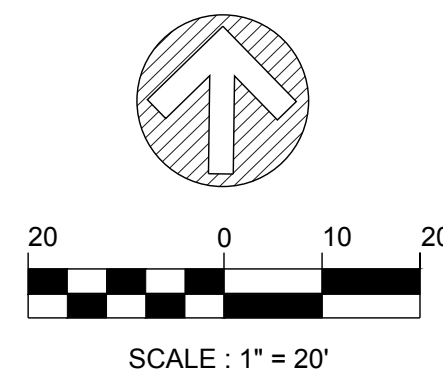
DRAINAGE CERTIFICATION WITH SURVEY WORK BY PROFESSIONAL SURVEYOR  
PERMANENT CERTIFICATE OF OCCUPANCY

I, Dennis A. Lorenz, NMPE 9647, of the firm Lorenz Design & Consulting, LLC, hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated 04-08-2021. The record information edited onto the original design document has been obtained by Christopher A. Medina, NMPLS. I further certify that I have personally visited the project site on 03-6-2023 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for permanent certificate of occupancy.

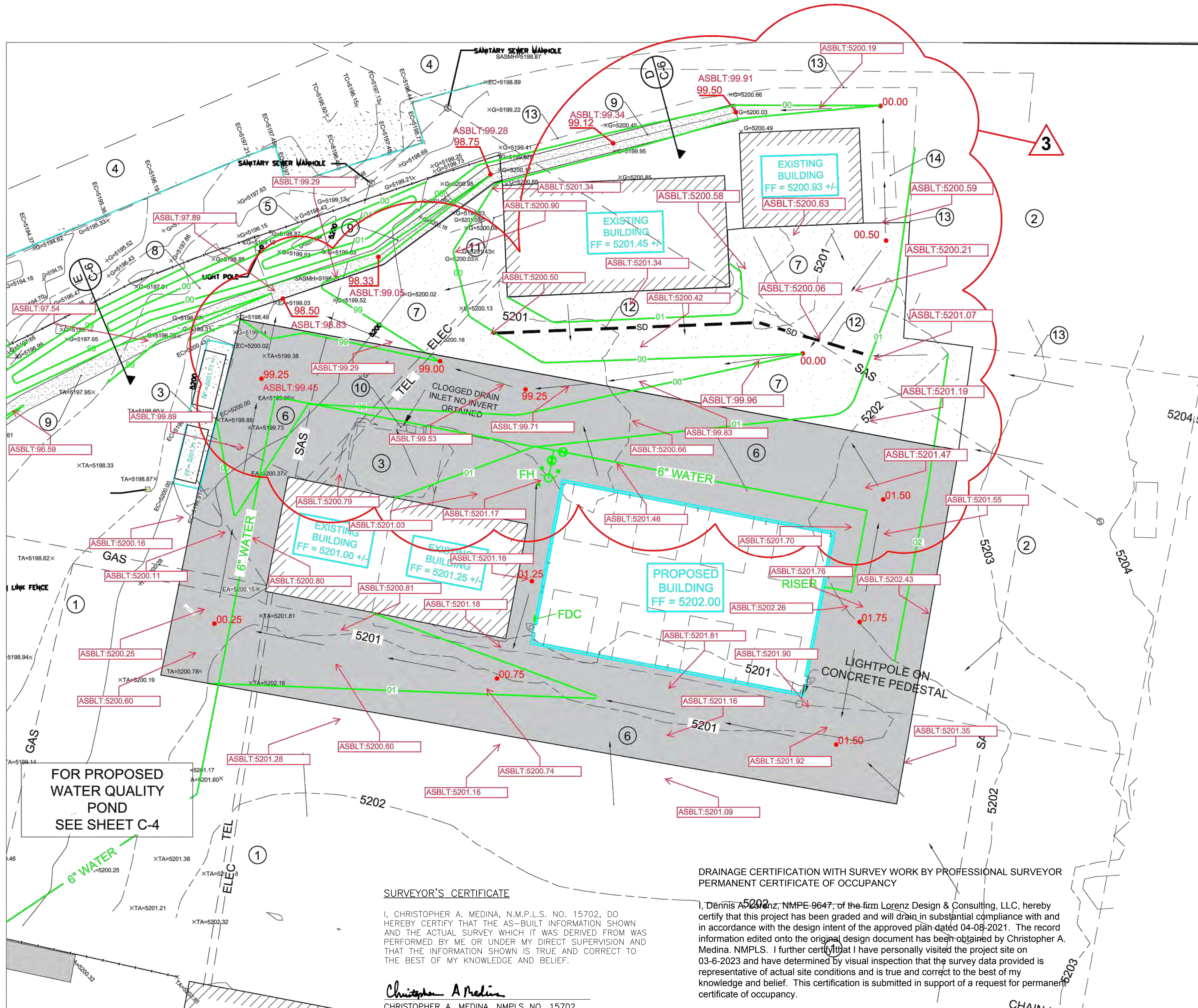
The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.



SEE SHEET C-3A FOR AS-BUILT  
ELEVATIONS AND CONSTRUCTION  
REVISIONS







LEGEND		
ITEM	EXISTING	PROPOSED
PROPERTY LINE	---	---
EASEMENT	----	----
CURB AND GUTTER	=====	=====
6" CONCRETE CURB	=====	=====
WATERLINE	—WATER—	—WATER—
SANITARY SEWER	—SAS—	—SAS—
ELECTRIC	—ELEC—	—ELEC—
TELECOM	—TEL—	—TEL—
GAS	—GAS—	—GAS—
STORM DRAIN	—SD—	—SD—
SPOT ELEVATION	× 75.5	01.5 ◆
CONTOUR W/ ELEVATION	—5800—	—5800—
DIRECTION OF FLOW		←
CONCRETE		
RIP RAP ROCK		
ASPHALT PAVEMENT		

- KEYED NOTES
- EXISTING ASPHALT PAVEMENT
  - EXISTING RECYCLED ASPHALT
  - EXISTING CONCRETE SLAB
  - EXISTING CONCRETE DRAINAGE CHANNEL
  - EXISTING WIRE FENCE TO BE REMOVED AND REPLACED WITH BERM CONSTRUCTION
  - REMOVE & DISPOSE EXISTING ASPHALT PAVEMENT TO LIMITS SHOWN. CONSTRUCT ASPHALT PAVEMENT. SEE DETAIL J/C-6.
  - REMOVE & DISPOSE EXISTING RECYCLED ASPHALT PAVEMENT TO LIMITS SHOWN. CONSTRUCT ASPHALT PAVEMENT. SEE DETAIL K/C-6.
  - CONSTRUCT EARTHEN BERM. SEE SECTION E/C-6.
  - CONSTRUCT RIP RAP SWALE ALONG BERM. SEE SECTION D/C-6.
  - FLUSH AND CLEAN EXISTING STORM INLET AND PIPE TO RESTORE DRAINAGE CAPACITY.
  - EXISTING STORM DRAIN PIPE TO REMAIN.
  - EXISTING STORM DRAIN PIPE TO BE REMOVED.
  - EXISTING CHAIN LINK FENCE.
  - RELOCATE EXISTING SHED. REMOVE & DISPOSE EXISTING CONCRETE SLAB. COORDINATE WITH NMDOT.

PROJECT DATA

PROPERTY ADDRESS:  
7500 PAN AMERICAN FREEWAY NE  
ALBUQUERQUE, NEW MEXICO

LEGAL DESCRIPTION:  
NEW MEXICO STATE HIGHWAY DEPARTMENT

SURVEY:  
ALL PROJECT SURVEYING BY  
ANTHONY HARRIS NMPLS 11463  
AND NMDOT  
DATE OF SURVEY: MARCH 2021

PROJECT BENCHMARK:  
ELEVATIONS ARE BASED ON READINGS TAKEN WITH  
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ELEVATIONS ARE NAVD 1988

REVISIONS  
REVISION NO.1 9-12-22 MOVED POND TO AVOID  
EXISTING GAS.  
REVISION NO.2 10-14-22 ADDED CHANNEL NORTH  
OF SIGN BUILDING.  
REVISION NO.3 11-21-22 REVISED GRADES TO  
IMPROVE DRAINAGE AT EXISTING BUILDINGS



# GRADING & DRAINAGE PLAN

## HEAVY EQUIPMENT BUILDING

NMDOT GARAGE  
7500 EAST I-25 FRONTAGE ROAD NE  
ALBUQUERQUE, NEW MEXICO

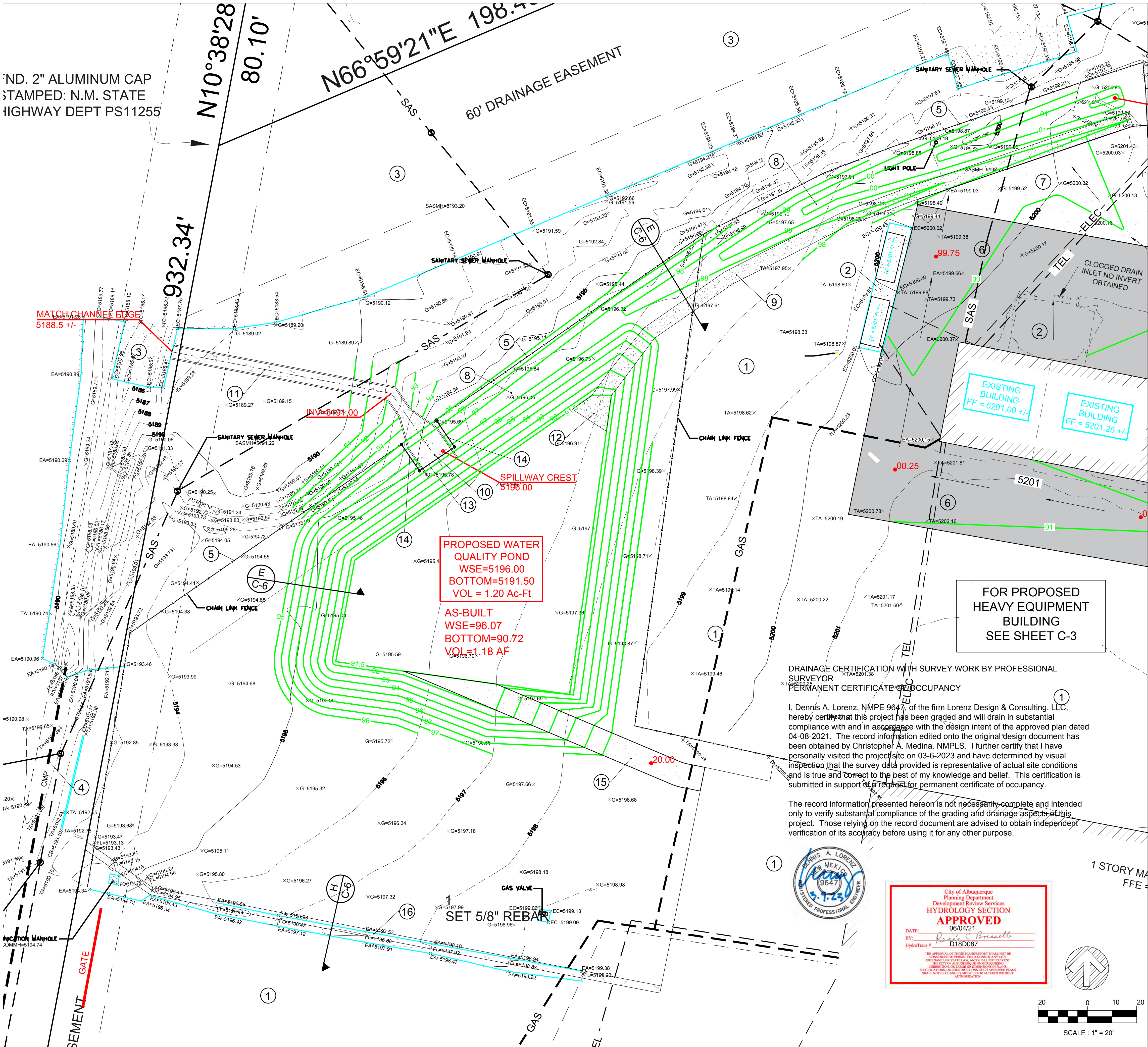
SANDERS & ASSOCIATES ARCHITECTS, P.C. 6000 ROGERS AVE. N.E. ALBUQUERQUE N.M. 87110 (505) 255-5040 FAX (505) 255-5040

Project No. 20203  
sheet

C-3

Sheet 5 of 28





LEGEND		
ITEM	EXISTING	PROPOSED
PROPERTY LINE	---	---
EASEMENT	---	---
CURB AND GUTTER	---	---
6" CONCRETE CURB	---	---
WATERLINE	---	---
SANITARY SEWER	---	---
ELECTRIC	---	---
TELECOM	---	---
GAS	---	---
STORM DRAIN	---	---
SPOT ELEVATION	75.5	01.5
CONTOUR W/ ELEVATION	5800	5800
DIRECTION OF FLOW	---	---
CONCRETE	---	---
RIP RAP ROCK	---	---
ASPHALT PAVEMENT	---	---

- KEYED NOTES
- EXISTING ASPHALT PAVEMENT
  - EXISTING CONCRETE SLAB
  - EXISTING CONCRETE DRAINAGE CHANNEL
  - EXISTING CMP
  - REMOVE AND REPLACE EXISTING WIRE FENCE AS NECESSARY WITH BERM CONSTRUCTION.
  - REMOVE & DISPOSE EXISTING ASPHALT PAVEMENT TO LIMITS SHOWN. CONSTRUCT ASPHALT PAVEMENT. SEE DETAIL J/C-6
  - REMOVE & DISPOSE EXISTING RECYCLED ASPHALT PAVEMENT TO LIMITS SHOWN. CONSTRUCT ASPHALT PAVEMENT. SEE DETAIL K/C-6
  - CONSTRUCT EARTHEN BERM. SEE SECTION E/C-6
  - CONSTRUCT RIP RAP SWALE ALONG BERM. SEE SECTION D/C-6
  - CONSTRUCT SPILLWAY. SEE SECTION B/C-6
  - CONSTRUCT CONCRETE CHANNEL FROM SPILLWAY. SEE SECTION C/C-6
  - CONSTRUCT EROSION CONTROL PAD AT SWALE TERMINUS IN POND. SEE SECTION G/C-6
  - CONSTRUCT TRASH SWING GATE. SEE DETAIL F/C-6. **NOT BUILT**
  - CONSTRUCT 4" CHAIN LINK FENCE. CONNECT TO EXISTING WIRE FENCE.
  - CONSTRUCT 10' WIDE MAINTENANCE RAMP. PROVIDE RECYCLED ASPHALT PAVING PER SECTION K/C-6
  - CONSTRUCT CONCRETE CHANNEL ALONG PARKING EDGE OF PARKING LOT. SEE SECTION H/C-6

PROJECT DATA

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7500 PAN AMERICAN FREEWAY NE  
ALBUQUERQUE, NEW MEXICO

LEGAL DESCRIPTION:  
NEW MEXICO STATE HIGHWAY DEPARTMENT

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ANTHONY HARRIS NMPLS 11463  
AND NMDOT  
DATE OF SURVEY: MARCH 2021

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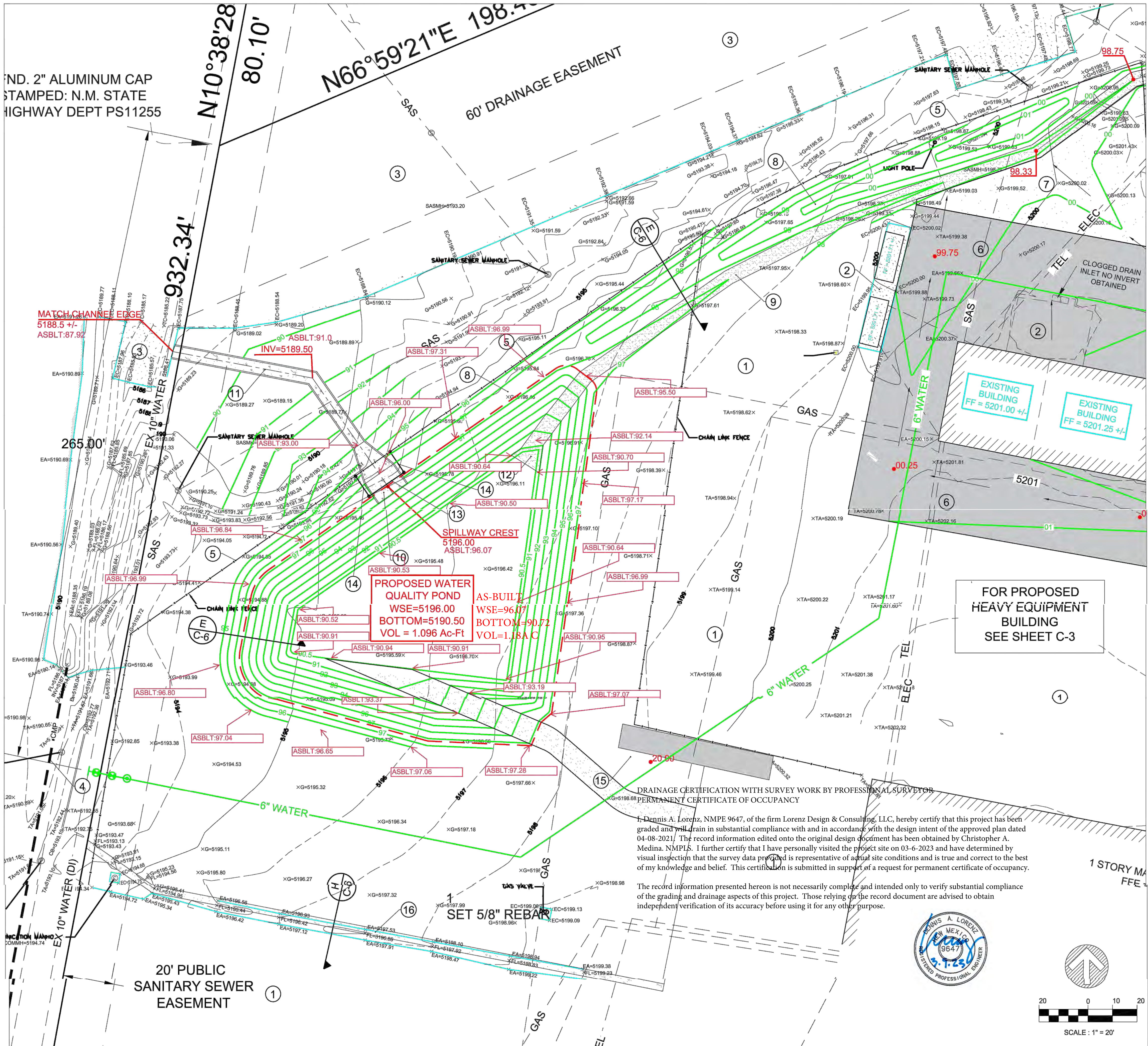
SEE SHEET C-4A FOR AS-BUILT  
ELEVATIONS AND CONSTRUCTION  
REVISIONS

GRADING & DRAINAGE PLAN  
WATER QUALITY POND

NMDOT GARAGE  
7500 EAST I-25 FRONTAGE ROAD NE  
ALBUQUERQUE, NEW MEXICO

SANDERS & ASSOCIATES ARCHITECTS, P.C. 6000 ROGERS AVE. N.E. ALBUQUERQUE N.M. 87110 (505) 255-5040 FAX (505) 255-5040





LEGEND		
ITEM	EXISTING	PROPOSED
PROPERTY LINE	---	---
EASEMENT	---	---
CURB AND GUTTER	---	---
6" CONCRETE CURB	---	---
WATERLINE	---	---
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ELECTRIC	---	---
TELECOM	---	---
GAS	---	---
STORM DRAIN	---	---
SPOT ELEVATION	75.5	01.5
CONTOUR W/ ELEVATION	5800	5800
DIRECTION OF FLOW		
CONCRETE		
RIP RAP ROCK		
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- KEYED NOTES
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7500 PAN AMERICAN FREEWAY NE  
ALBUQUERQUE, NEW MEXICO

LEGAL DESCRIPTION:  
NEW MEXICO STATE HIGHWAY DEPARTMENT

SURVEY:  
ALL PROJECT SURVEYING BY  
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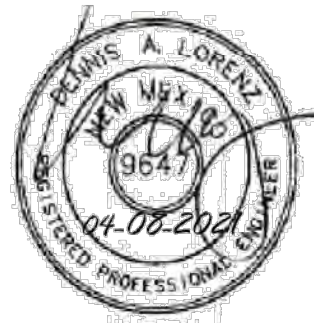
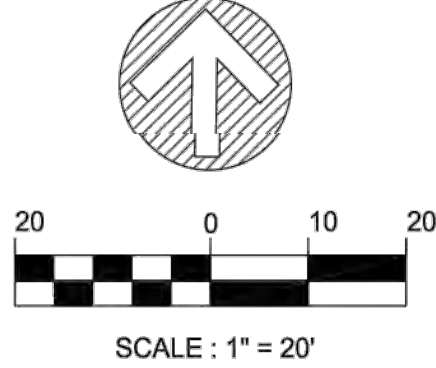
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EXISTING GAS.  
REVISION NO.2 10-14-22 ADDED CHANNEL NORTH  
OF SIGN BUILDING.

DRAINAGE CERTIFICATION WITH SURVEY WORK BY PROFESSIONAL SURVEYOR  
PERMANENT CERTIFICATE OF OCCUPANCY

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**LORENZ**  
DESIGN & CONSULTING, LLC  
Civil Engineering | Construction Management  
2501 Rio Grande Blvd NW, Suite A  
Albuquerque, New Mexico 87104  
Ph: 505-888-6088 Fax: 505-242-6655

# GRADING & DRAINAGE PLAN

## WATER QUALITY POND

NMDOT GARAGE  
7500 EAST I-25 FRONTAGE ROAD NE  
ALBUQUERQUE, NEW MEXICO

SANDERS & ASSOCIATES ARCHITECTS, P.C. 6000 ROGERS AVE. N.E. ALBUQUERQUE N.M. 87110 (505) 255-5040 FAX (505) 255-5040

Project No. 20203  
sheet

C-4A  
Sheet 6 of 30



GRADING AND DRAINAGE PLAN

PURPOSE AND SCOPE

Pursuant to the Drainage Ordinance for the City of Albuquerque and the Development Process Manual, this Grading and Drainage Plan outlines the drainage management criteria for controlling developed runoff from the project site. The project consists of the design and construction of a Heavy Equipment Facility for New Mexico Department of Transportation. The project includes a 6,000 square foot building with paving, utility, grading, and drainage improvements to support the project. The purpose of this Plan is to support building permit approval. The scope of this plan is to present grading and drainage criteria for the safe management of excess runoff impacting the site from upstream drainage basins, and controlling excess runoff from the project site in a well-managed, non-erosive manner.

EXISTING CONDITIONS

The property is located at 7500 Pan American Freeway west NE. The site is presently developed as the NMDOT campus, which serves administrative and operational functions. Site topography slopes to the west. All on-site runoff drains north and west to the I-25 frontage Road and North Pino Arroyo Channel. As shown by the attached FIRM Panel the site does not lie within a mapped 100 year Flood Zone, although the North Pino Arroyo Channel is a mapped floodplain.

PROPOSED IMPROVEMENTS

As stated above, the project consists of the construction of a 6,000 square foot building with paving, utility, grading, and drainage improvements. All onsite drainage flows will be routed overland within drainage swales and storm drains.

The site is divided into several drainage basins (see Onsite Drainage Basin Map) that discharge developed flows to the East Frontage Road and the North Pino Arroyo Channel. Each drainage basin is described as follows:

- Basin A contains the proposed Heavy Equipment Building. This drains overland to the North Pino Arroyo Channel. A berm will be constructed along the north project boundary directing runoff to a proposed Water Quality Pond. The pond will be equipped with a spillway and channel sized for the contributing 100 year 6 hour storm, draining flows to the Arroyo Channel. The Pond will provide the storage recommended by the Project SWPPP.
- Basin B is a small open space area that drains west to the Frontage Road and North Pino Arroyo Channel.
- Basin C drains west to the Frontage Road. Roadside drainage improvements convey runoff to the North Pino Arroyo Channel. An existing yard swale will be replaced with a concrete channel to mitigate erosion along the north edge of an existing parking lot.
- Basin D west to the Frontage Road. Roadside drainage improvements convey runoff to the North Pino Arroyo Channel.

First flush storage will be attained within the Basin 'A' storm water quality pond as described above. The project will utilize the existing Storm Water Pollution Prevention Plan.

CALCULATIONS

The calculations are provided on this Sheet that define the 100-year/6 hour design storm falling within the project area under existing and proposed conditions. The hydrology is per "Chapter 6, Development Process Manual", dated June 8, 2020.

PROJECT HYDROLOGY NMDOT HEAVY EQUIPMENT BUILDING AHYMO								
ZONE:	2							
P <sub>10</sub> H <sub>24</sub> JR	2.29							
P <sub>10</sub> DAY	3.62							
EXISTING CONDITIONS								
BASIN	AREA (ac)	A (ac)	B (ac)	C (ac)	D (ac)	E	Q (cfs)	VOL (ac ft)
SITE	22.60	0.00	1.20	2.00	19.40	2.13	93.13	4.019
A	9.04	0.00	0.30	0.24	8.50	2.24	38.33	1.691
B	0.66	0.00	0.40	0.16	0.10	1.09	1.87	0.060
C	4.70	0.00	0.00	0.50	4.20	2.19	19.75	0.858
D	8.20	0.00	0.50	1.10	6.60	2.06	33.18	1.409
PROPOSED CONDITIONS								
BASIN	AREA (ac)	A (ac)	B (ac)	C (ac)	D (ac)	E	Q (cfs)	VOL (ac ft)
SITE	22.60	0.00	1.00	2.20	19.40	2.14	93.27	4.022
A	8.90	0.00	0.10	0.44	8.50	2.25	38.47	1.669
B	0.66	0.00	0.40	0.16	0.10	1.09	1.87	0.060
C	4.70	0.00	0.00	0.50	4.20	2.19	19.75	0.858
D	8.20	0.00	0.50	1.10	6.60	2.06	33.18	1.409

DRAINAGE CERTIFICATION WITH SURVEY WORK BY PROFESSIONAL SURVEYOR  
PERMANENT CERTIFICATE OF OCCUPANCY

I, Dennis A. Lorenz, NMPE 9647, of the firm Lorenz Design & Consulting, LLC, hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated 04-08-2021. The record information edited onto the original design document has been obtained by Christopher A. Medina. NMPLS. I further certify that I have personally visited the project site on 03-6-2023 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for permanent certificate of occupancy.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.



ONSITE DRAINAGE BASIN MAP  
NOT TO SCALE



FIRST FLUSH CALCULATION

FIRST FLUSH VOLUME WILL BE PROVIDED IN ACCORDANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN NEW MEXICO DEPARTMENT OF TRANSPORTATION DISTRICT THREE, DECEMBER 22, 2015, PREPARED BY BOHANNAN HUSTON.

THE WATER QUALITY POND RECOMMENDED BY THIS PLAN PROVIDES THE STORAGE RECOMMENDED BY THE SWPPP FOR PONDS P1 AND P2.

POND REQUIREMENT = 0.539 acre feet

VOLUME PROVIDED = 1.120 acre feet (Provides 2.0 ft freeboard)

POND STORAGE TABLE			
ELEVATION	AREA (sf)	VOL (cf)	VOL (ac-ft)
91.50	8377	0	0.0000
92.00	9157	4383.5	0.1006
93.00	10479	14201.5	0.3260
94.00	11913	25397.5	0.5830
95.00	13376	38042	0.8733
96.00	14928	52194	1.1982

AS-BUILT

WSE=96.07 @ SPILLWAY  
BOTTOM (AVE)=90.72  
VOL=1.18 AC-FT



GRADING & DRAINAGE PLAN

NMDOT GARAGE  
7500 EAST I-25 FRONTAGE ROAD NE  
ALBUQUERQUE, NEW MEXICO

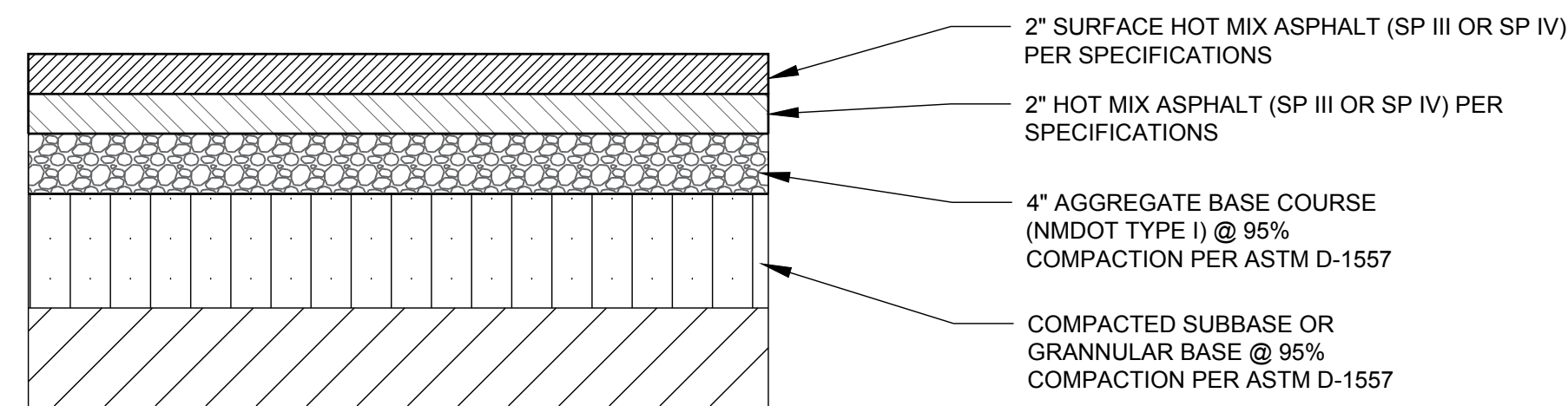
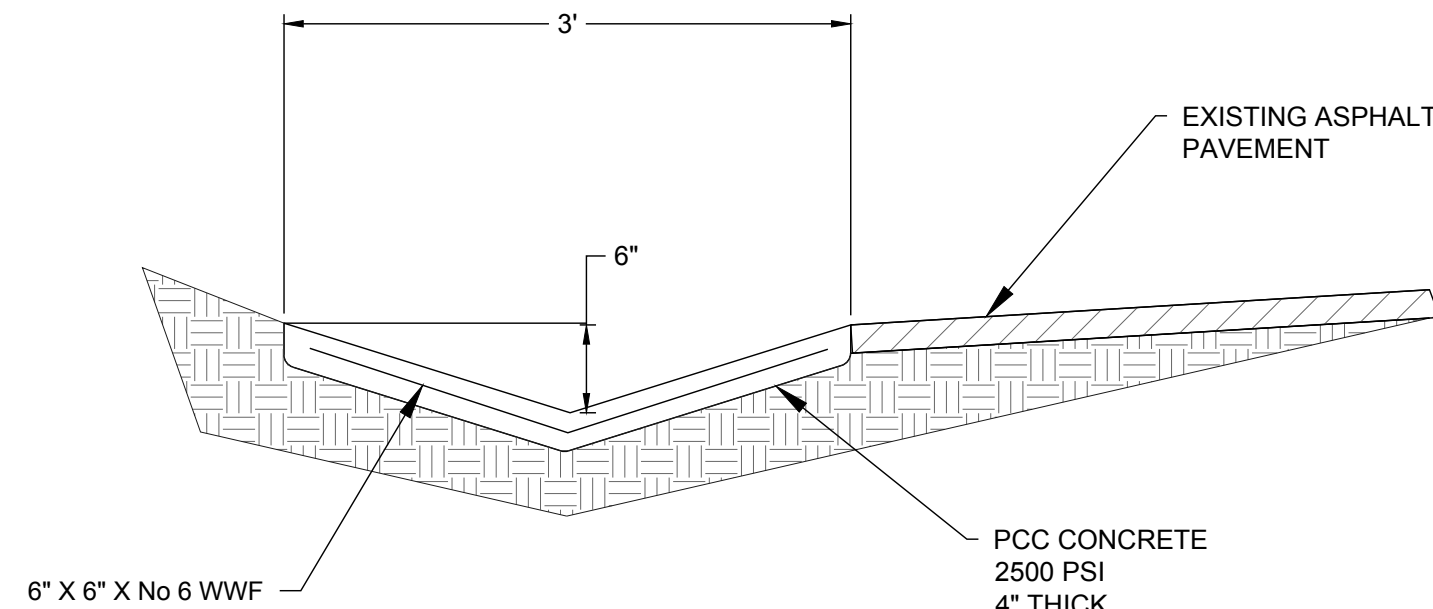
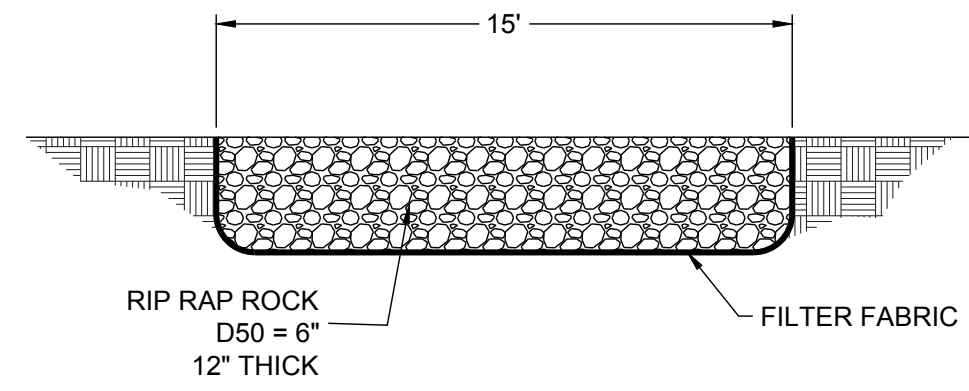
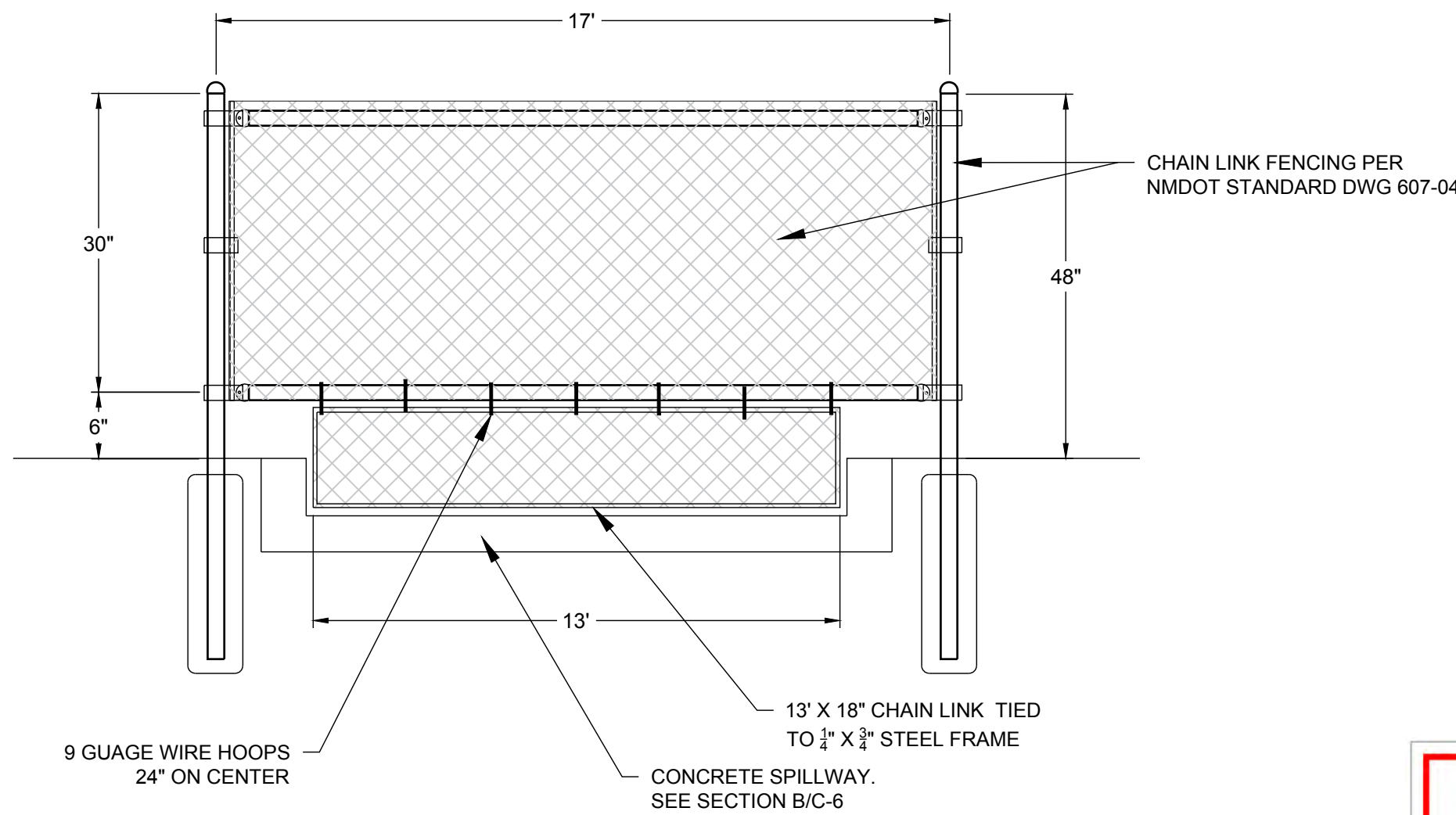
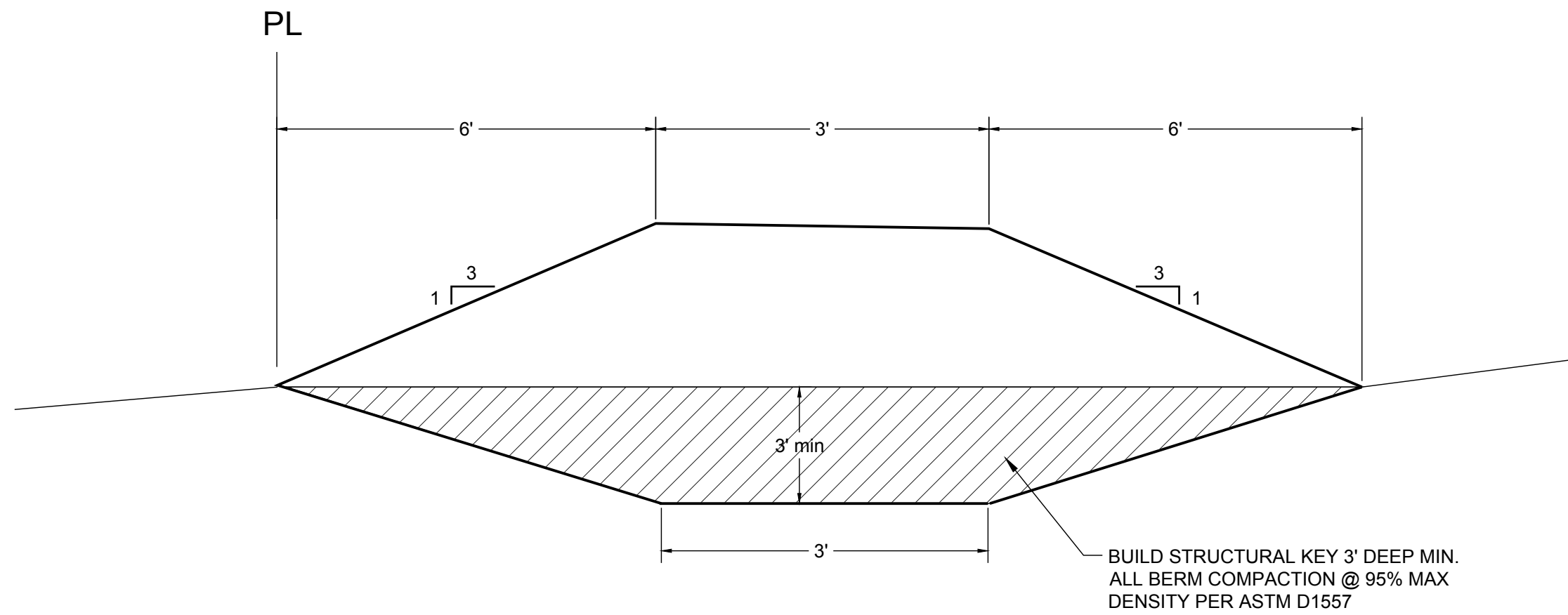
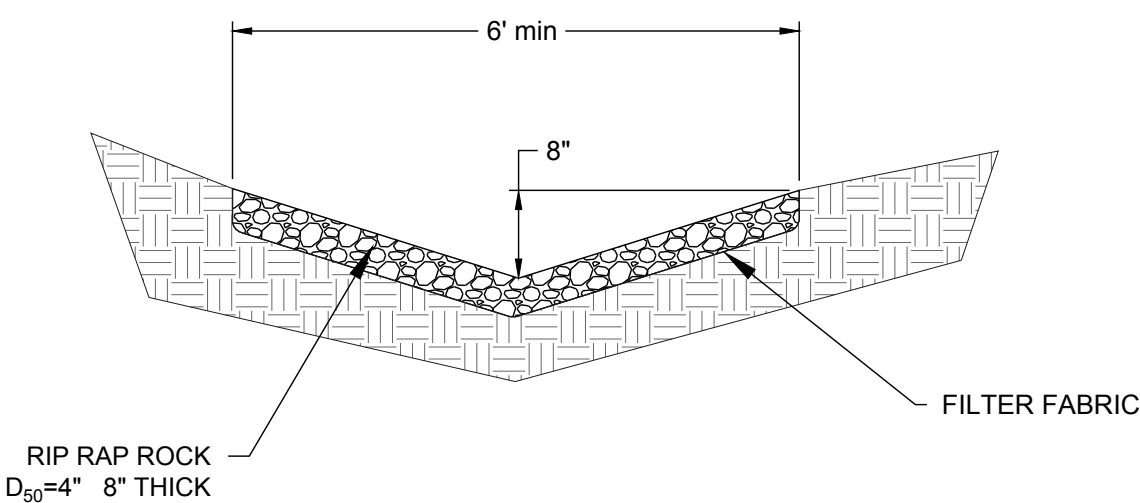
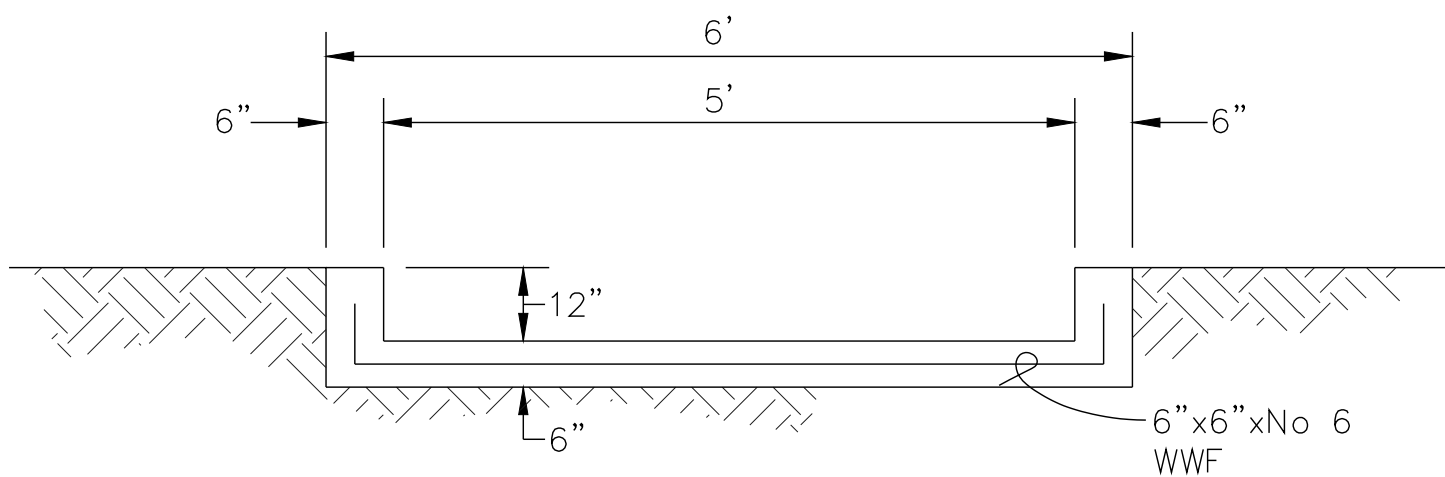
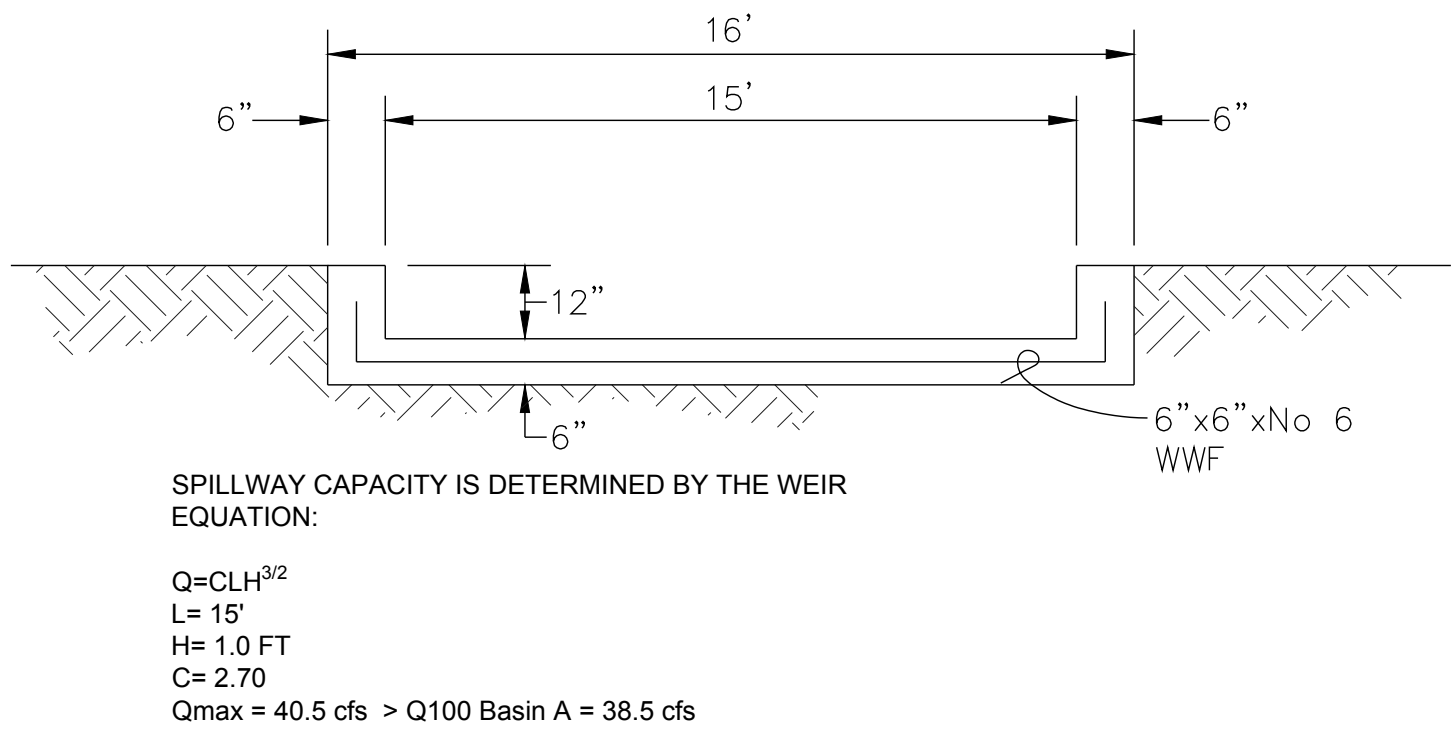
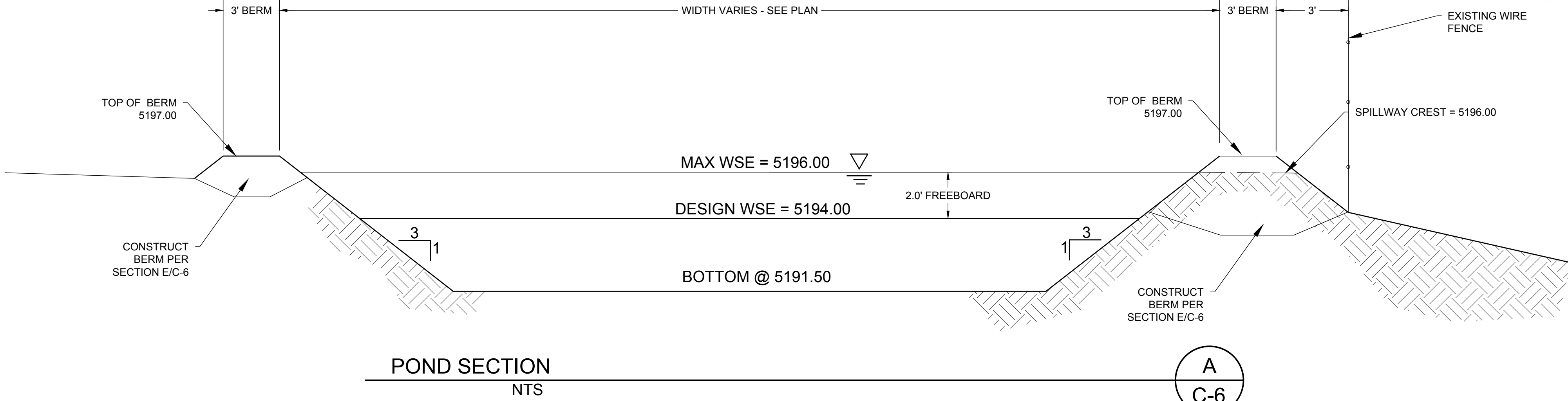
SANDERS & ASSOCIATES ARCHITECTS, P.C. 6000 ROGERS AVE. N.E. ALBUQUERQUE N.M. 87110 (505) 255-5040 FAX (505) 255-5040



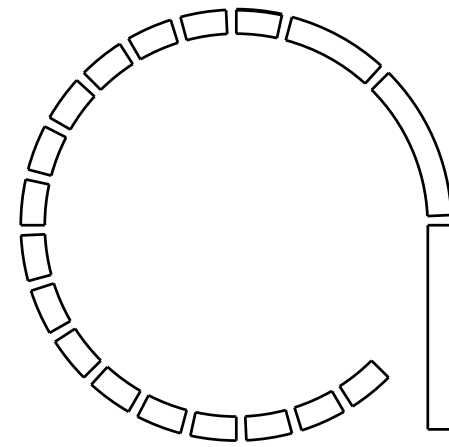
DRAINAGE CERTIFICATION WITH SURVEY WORK BY PROFESSIONAL SURVEYOR  
PERMANENT CERTIFICATE OF OCCUPANCY

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FOR PAVEMENT DESIGN SEE:  
GEOTECHNICAL ENGINEERING SERVICES REPORT NO. 1-00515  
NEW MEXICO DEPARTMENT OF TRANSPORTATION DISTRICT 3  
HEAVY EQUIPMENT FACILITY  
ALBUQUERQUE, NEW MEXICO  
GEO-TEST, INC  
JUNE 16, 2020



SITE DETAILS

NMDOT GARAGE  
7500 EAST I-25 FRONTAGE ROAD NE  
ALBUQUERQUE, NEW MEXICO  
SANDERS & ASSOCIATES ARCHITECTS, P.C.

Project No. 20203  
sheet

C-6

Sheet 8 of 30

6000 ROGERS AVE. N.E. ALBUQUERQUE N.M. 87110 (505) 255-5040 FAX (505) 255-5040