

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

September 30, 2024

Peter Butterfield, RA
Peter Butterfield Architect
13013 Glenwood Hills Ct NE
Albuquerque, NM 87111

peter@pba-lane.com

Re: The Original Pancake House
5161 Journal Center
Traffic Circulation Layout
Engineer's Stamp Dated 9-20-24 (D18D061)

Dear Mr. Butterfield,

The TCL submittal received 9-30-2024 is approved for Building Permit by Transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to the PLNDRS@cabq.gov for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Sertil A. Kanbar

Sertil Kanbar, PhD, PE, CFM
Sr. Engineer, Planning Dept.
Development Review Services

C: CO Clerk, File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

Project Title: The Original Pancake House **Building Permit #** _____ **Hydrology File #** _____

DRB# _____ **EPC#** _____

Legal Description: Lot 2A-2A-3B Journal Center subdivision **City Address OR Parcel** 5161 Journal Center Blvd NE

Applicant/Agent: Peter Butterfield architect **Contact:** Peter Butterfield

Address: 13013 Glenwood Hills Ct NE **Phone:** 505 514 1364

Email: peter@PBA-Lane.com

Applicant/Owner: The Original Pancake House LLC **Contact:** Mark Migliaccio

Address: 9401 Eagle Rock Ave NE, abq NM 87122 **Phone:** 505-249-1960

Email: Metrolinkabq@gmail.com

TYPE OF DEVELOPMENT: ☐ PLAT (#of lots) ☐ RESIDENCE ☐ DRB SITE ☐ ADMIN SITE: ☒ x

RE-SUBMITTAL: ☐ YES ☒ x ☐ NO

DEPARTMENT: ☒ x ☐ TRANSPORTATION ☐ HYDROLOGY/DRAINAGE

Check all that apply:

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G&D PLAN
- ☐ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOOD PLAN DEVELOPMENT PERMIT APP.
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☒ x ☐ TRAFFIC CIRCULATION LAYOUT (TCL) ADMINISTRATIVE
- ☐ TRAFFIC CIRCULATION LAYOUT FOR DRB APPROVAL
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) _____
- ☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

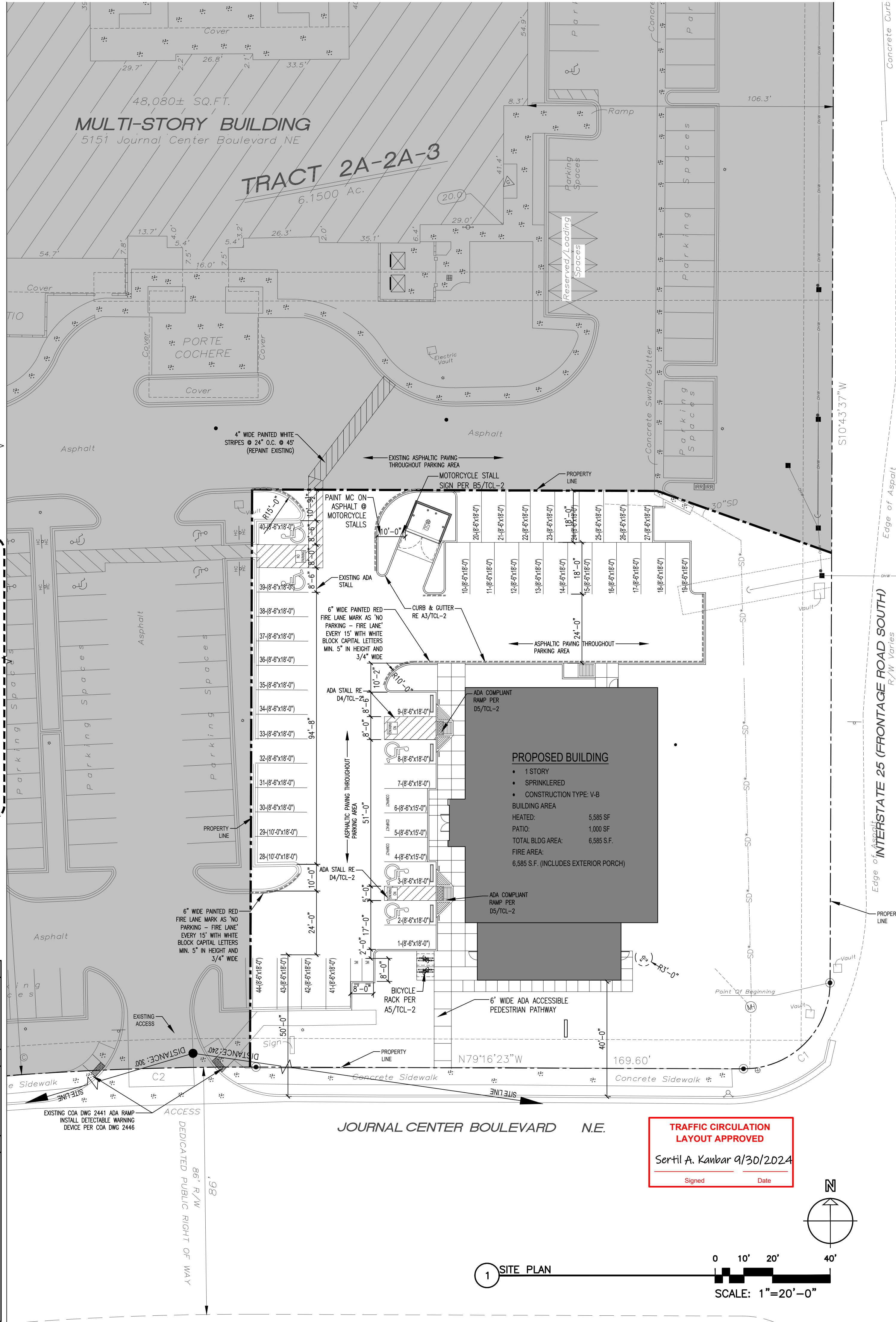
- ☒ x ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☐ CONCEPTUAL TCL DRB APPROVAL
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOOD PLAN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 9/27/2024

TRAFFIC APPROVAL PLAN - NOT FOR CONSTRUCTION

(CONTRACTOR NOTE: ELEMENTS OF THIS DRAWING ARE INCORPORATED IN SITE PLAN A001 WHICH IS TO BE USED FOR CONSTRUCTION)

EXECUTIVE SUMMARY		
PROJECT IS LOCATED IN ZONE GRID MAP LOCATION D-18-Z, ZONED NR-BP PER THE INTEGRATED DEVELOPMENT ORDINANCE. THE PROJECT IS A 5,585 HEATED SQUARE FEET WITH 1,000 PATIO RESTAURANT FOR A TOTAL AREA OF 6,585 S.F. IT HAS BEEN SUBMITTED AS MINOR AMENDMENT TO A PRE-IDO DRB SITE DEVELOPMENT PLAN APPROVAL		
ZONING DATA		
DESIGNATION: NR-BP		
LEGAL DESCRIPTION: LOT 2A-2A-3B JOURNAL CENTER SUBDIVISION		
TOTAL SITE ACRES: .9109 ACRES		
OCCUPANCY TYPE: RESTAURANT		
PARKING REQUIREMENTS:		
PARKING REQUIRED:		
INTERIOR: (5.6 STALLS PER 1000 S.F.):	5,585 SF/178.5 =	31.2 PARKING STALLS
PATIO: (3 STALLS PER 1000 S.F.):	1,000/333.3 =	3 PARKING STALLS
TOTAL PARKING REQUIRED:		34 STALLS
PARKING PROVIDED		44 STALLS
ADA STALLS REQUIRED: 3		
ADA STALLS PROVIDED: 3 (1 VAN ACCESSIBLE)		
MOTORCYCLE SPACES REQUIRED: 2		
MOTORCYCLE SPACES PROVIDED: 2		
BICYCLE SPACES REQUIRED: 34 x 10% = 3		
BICYCLE SPACES PROVIDED: 4		



SITE LEGEND		
	SIGN	
	FIRE HYDRANT	
	WATER VALVE	
	SAS MANHOLE	
	TELEPHONE MANHOLE	
	WATER METER	
	POWER POLE	

ADA SITE NOTES
SIGNAGE (NMBC 1110.1 AND ANSI 502.7)

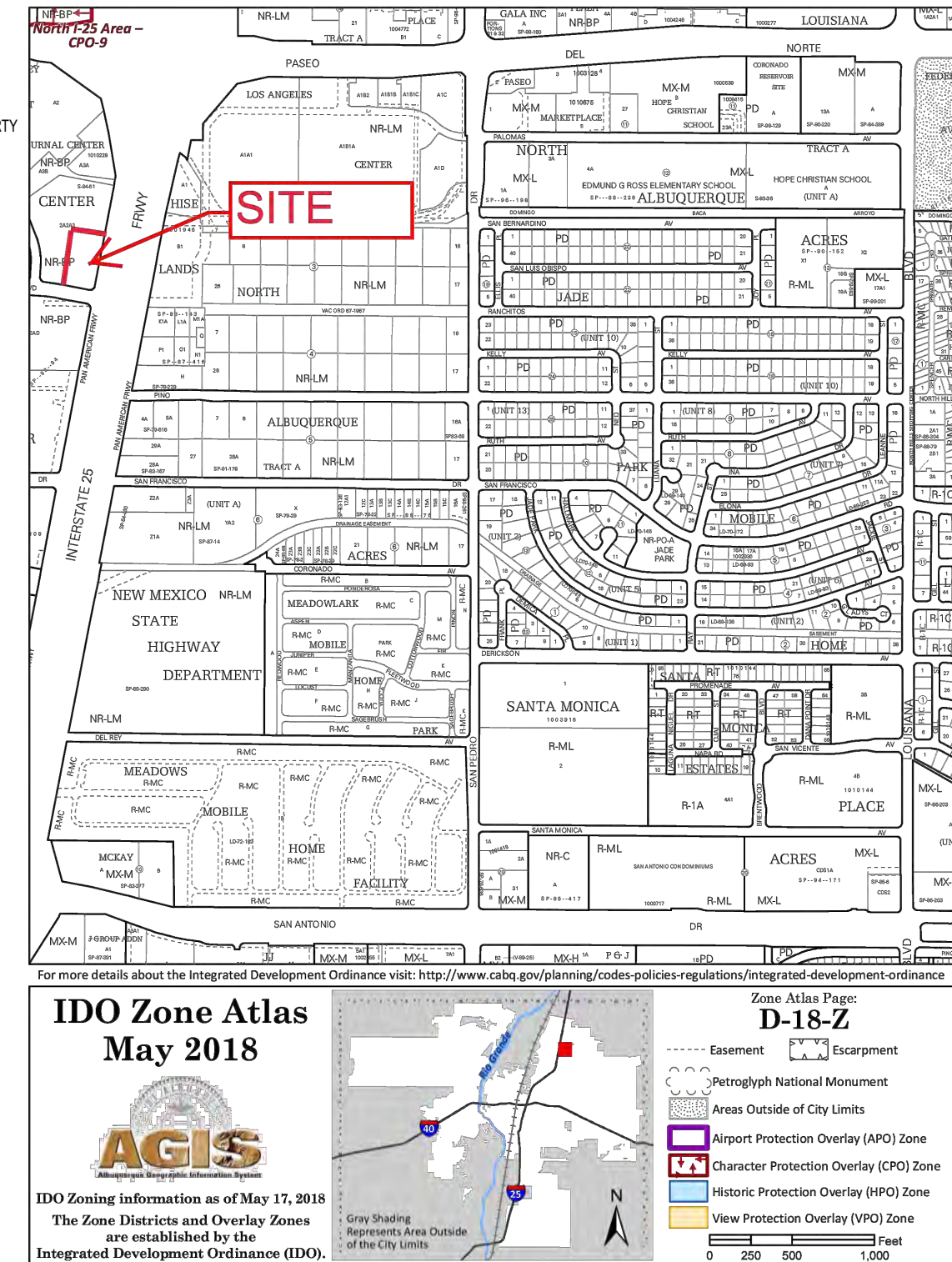
- A VERTICAL SIGN IS CENTERED AT THE HEAD OF EACH PARKING SPACE
- CHARACTERS AND THEIR BACKGROUND SHALL HAVE A NON-GLARE FINISH. CHARACTERS SHALL CONTRAST WITH THEIR BACKGROUND, WITH EITHER LIGHT CHARACTERS ON A DARK BACKGROUND, OR DARK CHARACTERS ON A LIGHT BACKGROUND.
- SIGN DISPLAYS THE INTERNATIONAL SYMBOL OF ACCESSIBILITY (NOTE: THE INTERNATIONAL SYMBOL OF ACCESSIBILITY PROVIDES WHITE SYMBOLS AND LETTERS ON A BLUE BACKGROUND, HOWEVER, ANSI AND 2010 STANDARDS DO NOT SPECIFY COLORS FOR SIGNAGE.)
- SIGNS TO BE WHITE BACKGROUND WITH A GREEN BORDER AND LEGEND (MUTCD SIGN # R7-8 AND R7-8A).
- SIGN MUST INCLUDE THE LANGUAGE "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING" (66-7-352.4C NMSA 1978, EFFECTIVE 7-01-2010). VAN ACCESSIBLE SIGNS ARE PROVIDED BELOW THE OTHER SIGN
- THE VAN SPACE SIGNAGE IS NEEDED TO ALERT VAN USERS TO THE PRESENCE OF THE WIDER AISLE, BUT THE SPACE IS NOT INTENDED TO BE RESTRICTED ONLY TO VANS. (2010 STANDARDS 502.5)
- IN PARKING LOTS THE BOTTOM OF THE SIGN IS 60" MINIMUM ABOVE THE GROUND OR PARKING SURFACE. (ANSI 502.7)
- ALONG THE PUBLIC RIGHTS-OF-WAY MUTCD REQUIRES THE BOTTOM OF THE MUTCD R7-8 SIGN TO BE 84" ABOVE THE GROUND.
- IN THE PUBLIC RIGHTS-OF-WAY MUTCD RECOMMENDS WHITE STRIPING.

PAVEMENT MARKINGS (NMBC 1110.3)

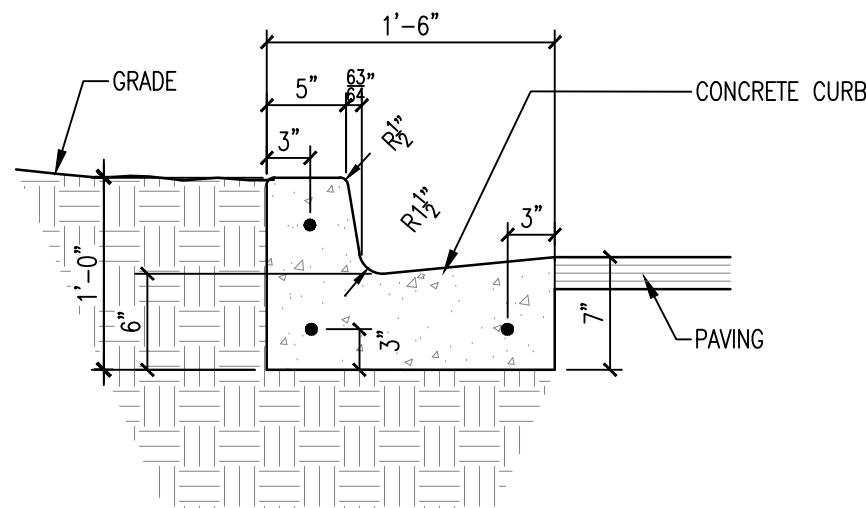
- PARKING SPACE HAS A CLEARLY VISIBLE, BLUE, INTERNATIONAL SYMBOL OF ACCESSIBILITY PAINTED ON THE PAVEMENT AT REAR OF THE SPACE (66-1-4.1.E NMSA 1978) OR MUTCD RECOMMENDS A WHITE SYMBOL ON A BLUE BACKGROUND.
- PARKING SPACE LINES WILL BE PAINTED BLUE
- ACCESS AISLE HAS BLUE, DIAGONAL STRIPING (45 DEGREES). (66-1-4.1.B NMSA 1978).
- ACCESS AISLE SHALL HAVE THE WORDS "NO PARKING" IN CAPITAL LETTERS, EACH OF WHICH SHALL BE AT LEAST ONE FOOT HIGH AND AT LEAST TWO INCHES WIDE, PLACED AT THE REAR OF THE PARKING SPACE SO AS TO BE CLOSE TO WHERE AN ADJACENT VEHICLE'S REAR TIRES WOULD BE PLACED. (66-1-4.1.B NMSA 1978)
- IN THE PUBLIC RIGHTS-OF-WAY MUTCD RECOMMENDS WHITE STRIPING.

GENERAL NOTES

- WORK ORDER REQUIRED FOR WORK WITHIN PUBLIC RIGHT OF WAY WITH DRC APPROVED PLANS.
- ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON THE WORK ORDER
- ALL COA ROW CURB AND GUTTER, SIDEWALK, RAMPS AND DRIVEPADS MUST BE IN GOOD CONDITION AND ADA ACCESSIBLE IF APPLICABLE. ANY ITEMS IN DISREPAIR MUST BE REMOVED AND REPLACED TO NEAREST CONTROL JOINT
- LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SITE REQUIREMENTS. THEREFORE SIGNS, TREES, AND SHRUBBERY BETWEEN 3' AND 8' TALL (AS MEASURED FROM GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA
- MAXIMUM SLOPE PERMITTED AT ADA STALLS AND ACCESS AISLES IS 2% (1:50)
- ALL BROKEN OR CRACKED ASPHALT TRAIL MUST BE REPLACED WITH NEW ASPHALT PER COA DRAWING 2415C
- ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER COA DRAWING 2430

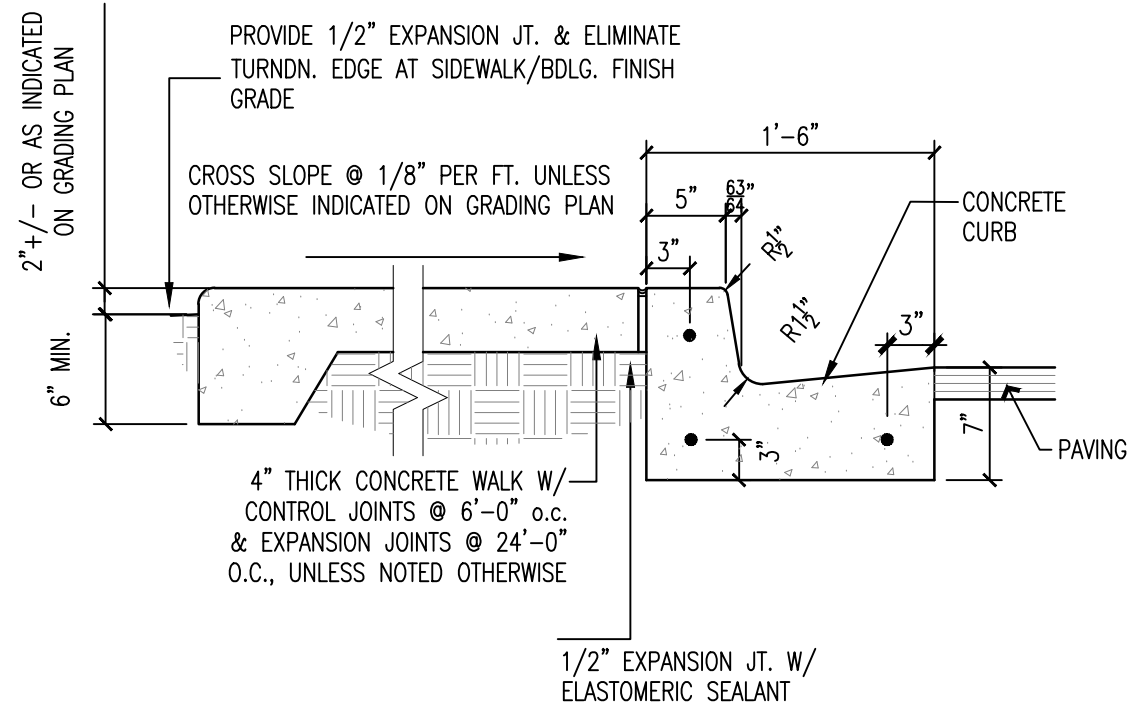


NOTE:
PROVIDE CONTROL JOINTS @ 6'-0" O.C. MAX. (MATCH CONTIGIOUS SIDEWALK) AND DOWELED
EXPANSION JOINTS @ 24'-0" O.C. MAX. UNLESS SHOWN OTHERWISE. CURB AND GUTTER
JOINTING SHALL REFLECT THE JOINTING OF ADJACENT FLATWORK.



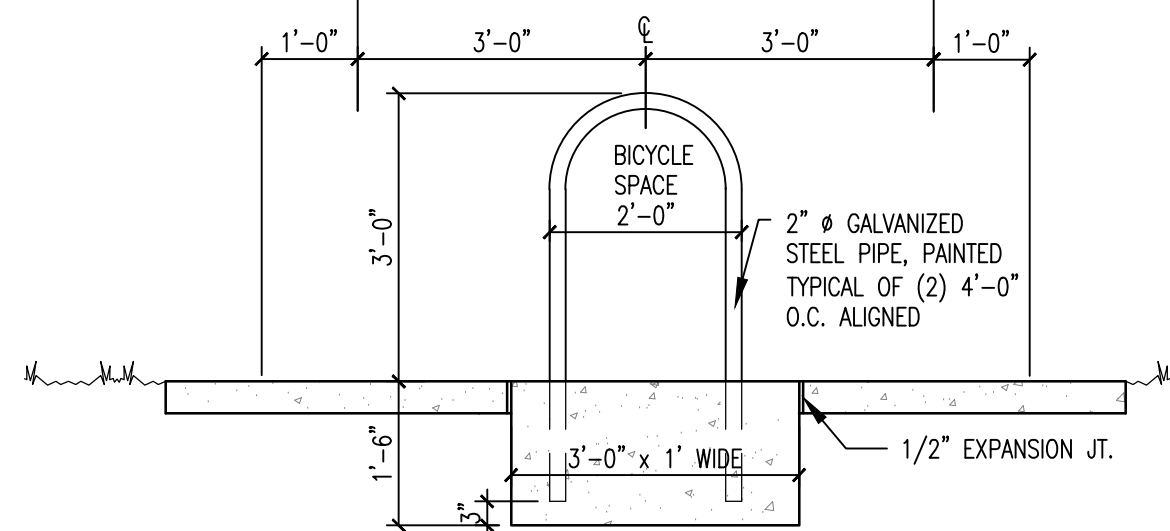
NOTE:
HEADER CURB MAYBE USED IN LIEU OF CURB
AND GUTTER AT NON-DRAINAGE LOCATIONS,
REFER CIVIL, VERIFY REPLACEMENT AREAS WITH
ARCHITECT.

A3 CONCRETE CURB & GUTTER
1"-1'-0"

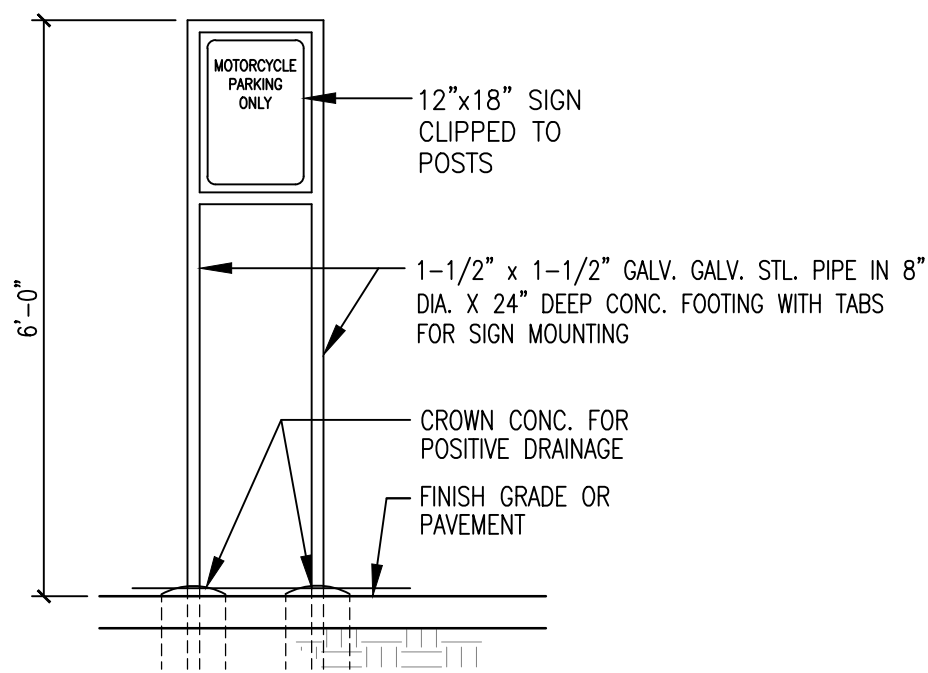


A4 SIDEWALK SECTION
1"-1'-0"

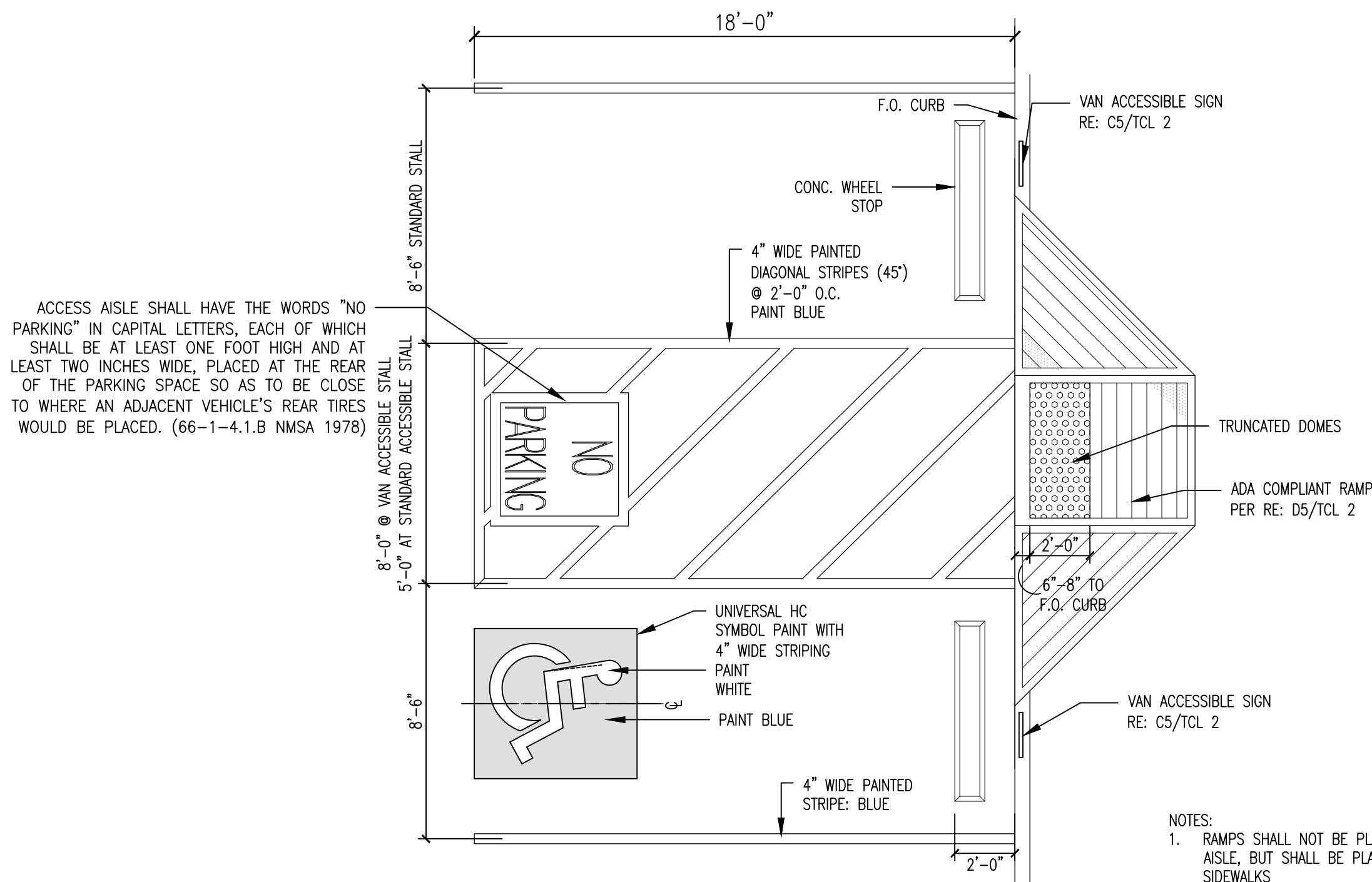
PLAN VIEW
1/2"-1'-0"



A5 BICYCLE RACK
1/2"-1'-0"

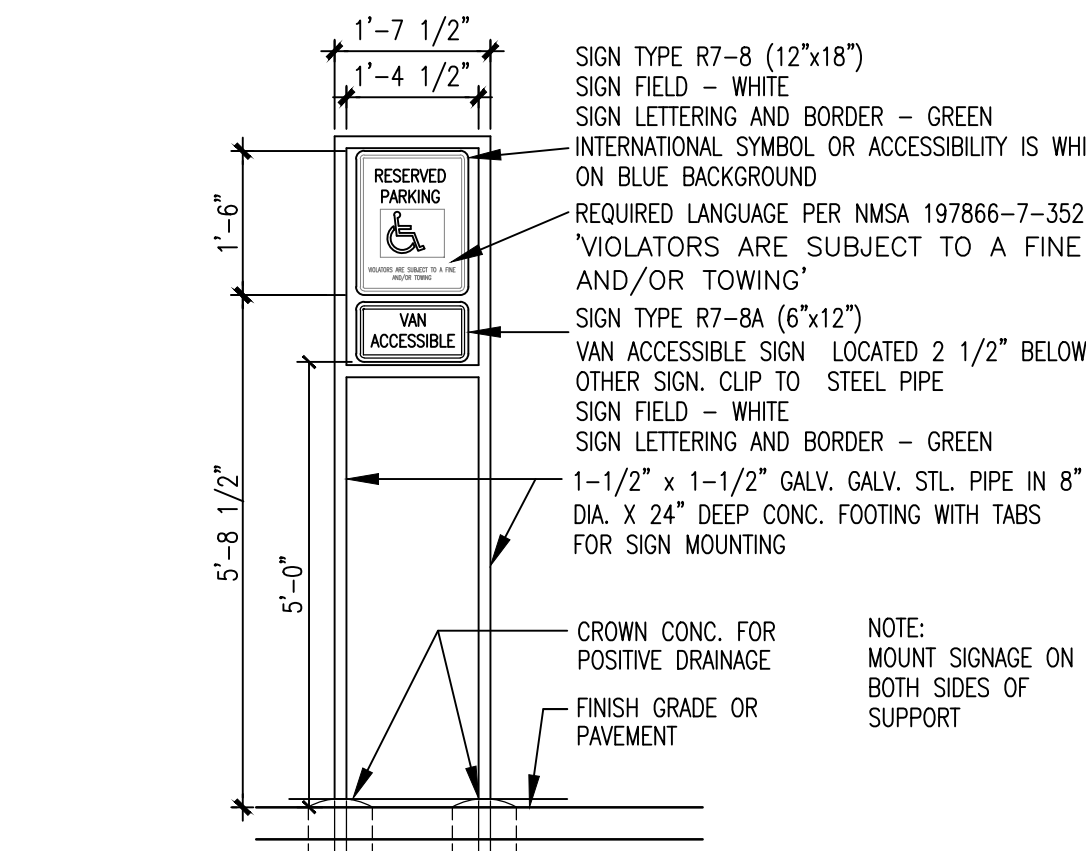


B5 MOTORCYCLE SIGN ELEVATION
1/2"-1'-0"

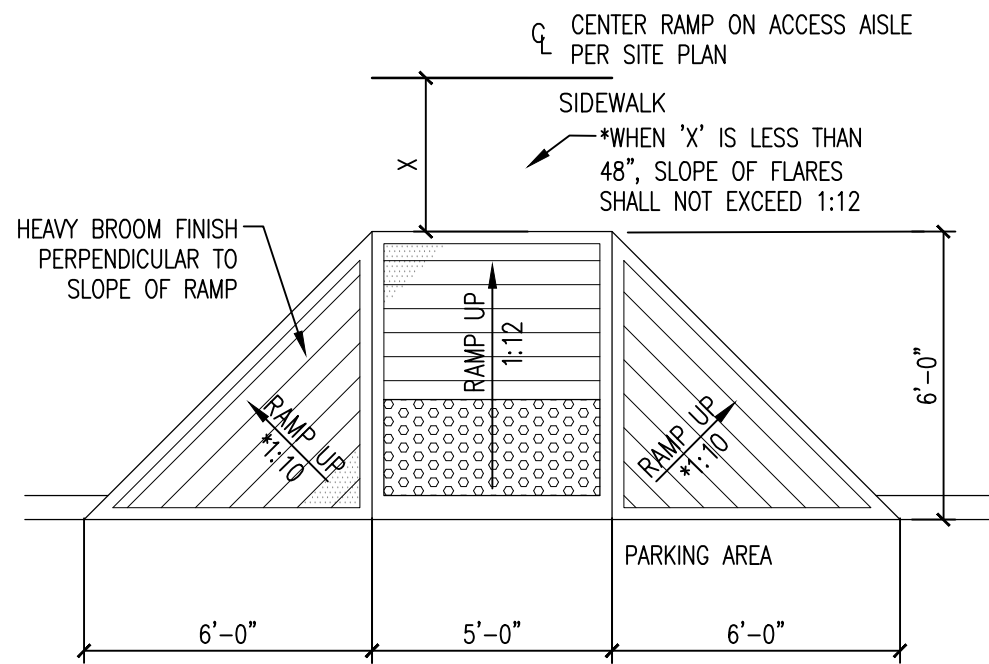


- NOTES:
1. RAMPS SHALL NOT BE PLACED IN HANDICAP ACCESS AISLE, BUT SHALL BE PLACED WITHIN THE SIDEWALKS
 2. ACCESS AISLE MAY NOT EXCEED 2% IN ANY DIRECTION.
 3. HANDICAP ACCESS RAMPS MAY NOT EXCEED A SLOPE OF 8%.
 4. MINIMUM WIDTH OF HANDICAP ACCESS RAMPS IS 3'-0"
 5. SIDES OF RAMPS MAY NOT EXCEED SLOPE OF 10% UNLESS HANDRAIL IS PROVIDED.
 6. HANDICAP PARKING SHALL MEET ALL OTHER APPLICABLE CITY AND ADA CODE REQUIREMENTS

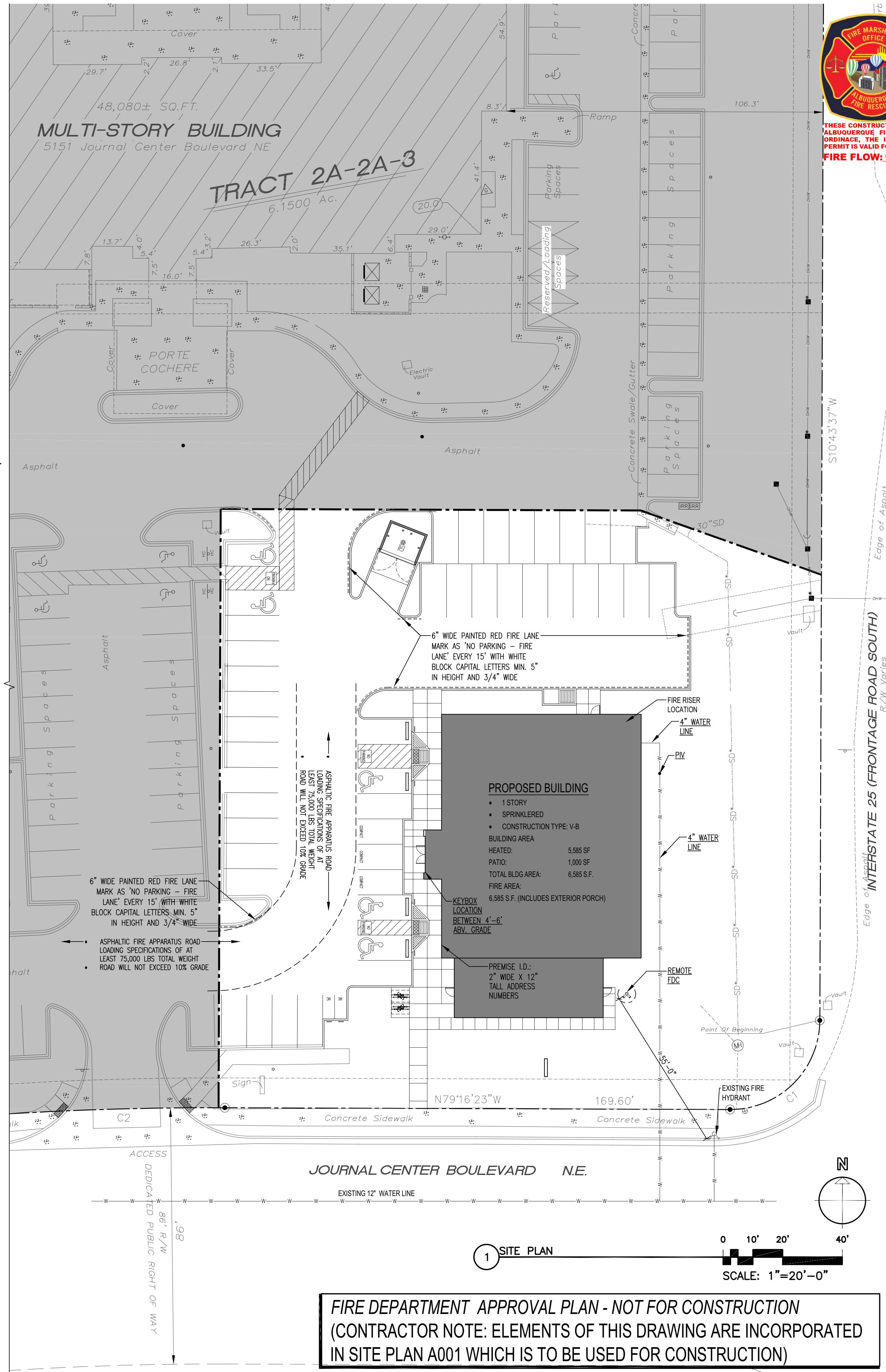
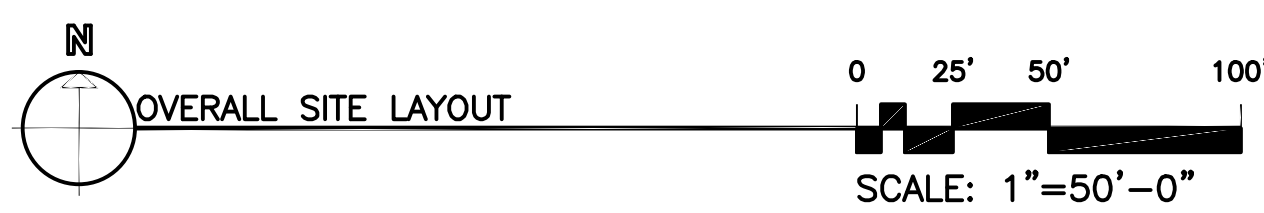
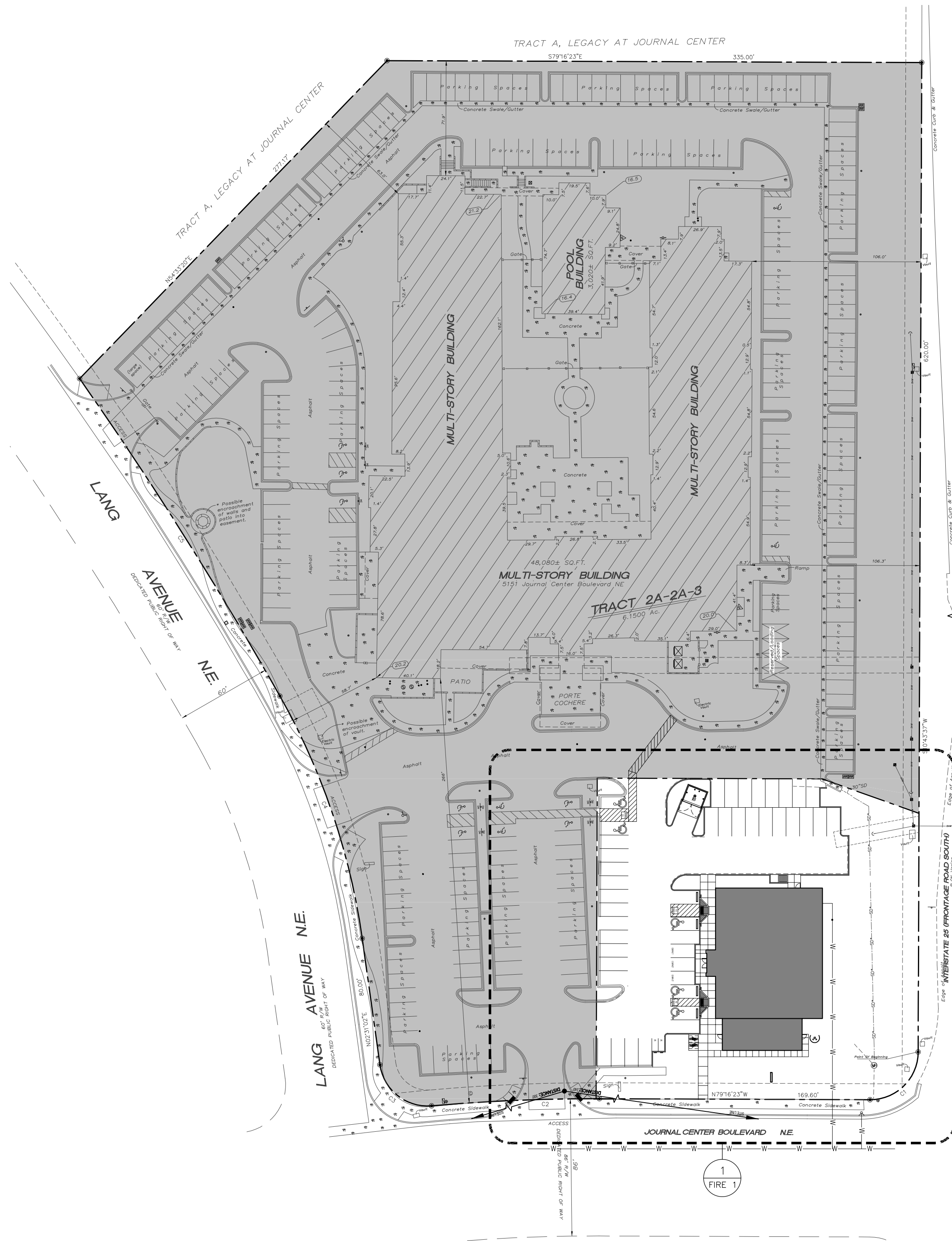
D4 TYPICAL ADA PARKING STALLS DETAIL
1/4"-1'-0"



C5 H.C. SIGN ELEVATION
1/2"-1'-0"



D5 ACCESSIBLE SIDEWALK RAMP
1/4"-1'-0"



FIRE DEPARTMENT APPROVAL PLAN - NOT FOR CONSTRUCTION
(CONTRACTOR NOTE: ELEMENTS OF THIS DRAWING ARE INCORPORATED IN SITE PLAN A001 WHICH IS TO BE USED FOR CONSTRUCTION)



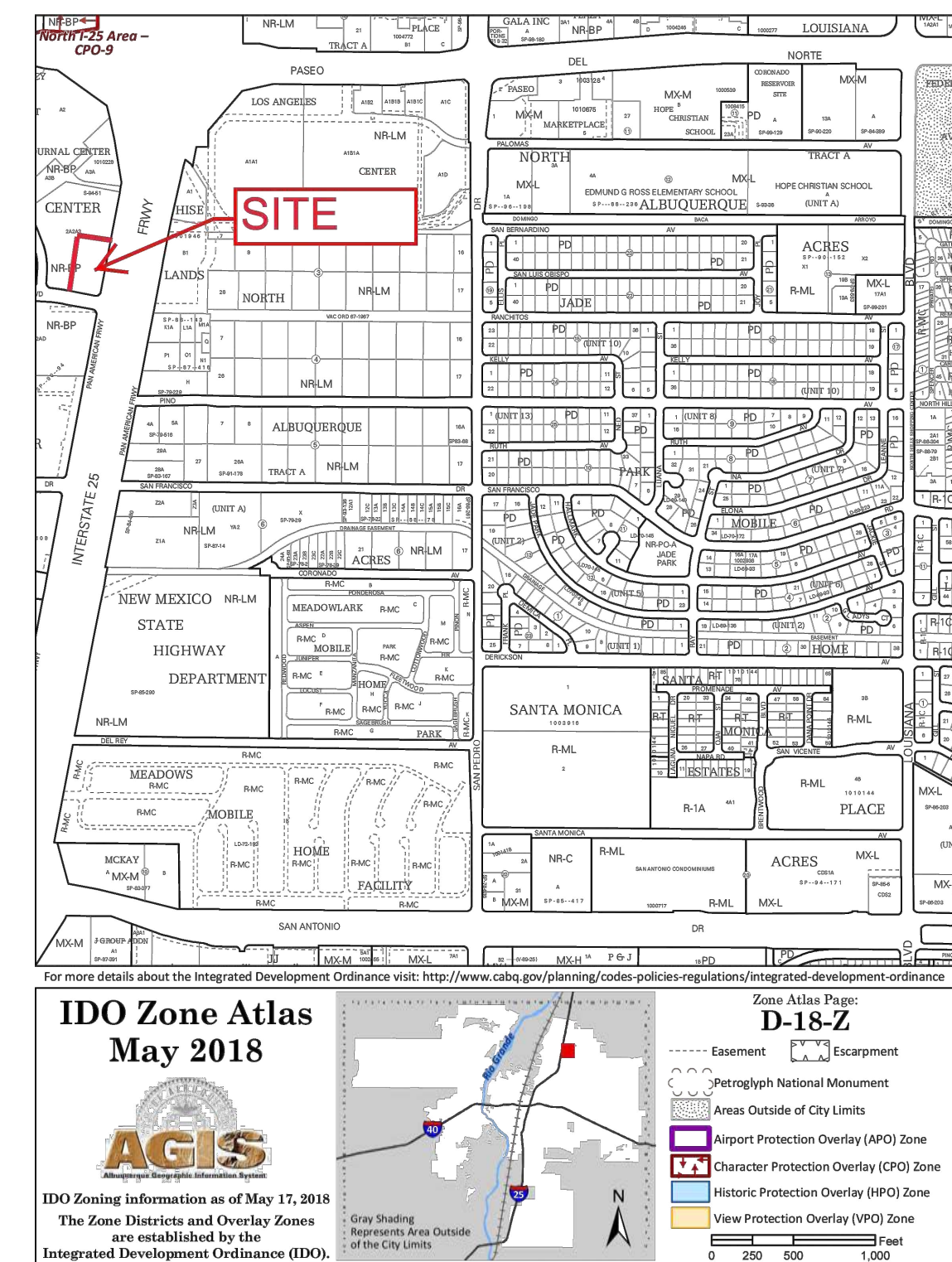
SITE LEGEND

•	ALBUQUERQUE FIRE MARSHAL'S OFFICE	•	LIGHT POLE (2" DIA BASE)
•	FIRE HYDRANT	•	BOLLARD
•	WATER VALVE	•	WATER LINE
•	UNDERGROUND POWER LINE	•	GAS LINE
•	SAS WALK	•	SAS LINE
•	TELEPHONE DUCT	•	OVERHEAD POWER LINE

PERMIT
DIVISION OFFICE PLANS
CHECKING DIVISION
SAS WALK
TELEPHONE DUCT
APPROVED DATE: 09/26/24
APPROVED

THESE CONSTRUCTION DOCUMENTS WERE REVIEWED AND APPROVED BY THE ALBUQUERQUE FIRE MARSHAL'S OFFICE IN ACCORDANCE WITH THE CITY ORDINANCE, THE INTERNATIONAL FIRE CODE, AND NFPA STANDARDS. THIS PERMIT IS VALID FOR 180 DAYS. FINAL INSPECTION IS REQUIRED.
FIRE FLOW: 6,585sqft, VB, -Sprinklered, 1500gpm, 1 Hydrant

FIRE DEPARTMENT DATA		OCCUPANCY TYPE-A2
• 1 STORY (30'-0" MAXIMUM HEIGHT)		
• SPRINKLERED (903.3.1.1)		
• CONSTRUCTION TYPE: V-B		
• FIRE AREA: 6,585 S.F.		
1. FIRE HYDRANTS: PER IFC TABLE B105.2, VALUE IN TABLE B105.1(2) REQUIRED.		
1.1. TOTAL BUILDING AREA: 6,585 S.F.		
1.2. CONSTRUCTION TYPE: V-B		
1.3. REQUIRED FIRE FLOW: VALUE IN TABLE B105.1(2)		
1.4. VALUE IN TABLE B105.1(2) - 2,250 GPM		
2. REQUIRED: VALUE IN TABLE B105.1(2)		
2.1. (COA - 50% OF VALUE) - 1,500 GPM (MIN. PER TABLE B105.2 FOOTNOTE B)		
3. REQUIRED # OF FIRE HYDRANTS PER TABLE C102.1:		1 HYDRANT
3.1. 1,750 OR LESS REQUIREMENT:		250'
3.2. MAXIMUM SPACING FROM ANY POINT ON STREET TO HYDRANT:		500'
3.3. MAXIMUM SPACING BETWEEN HYDRANTS:		500'





peter butterfield architect

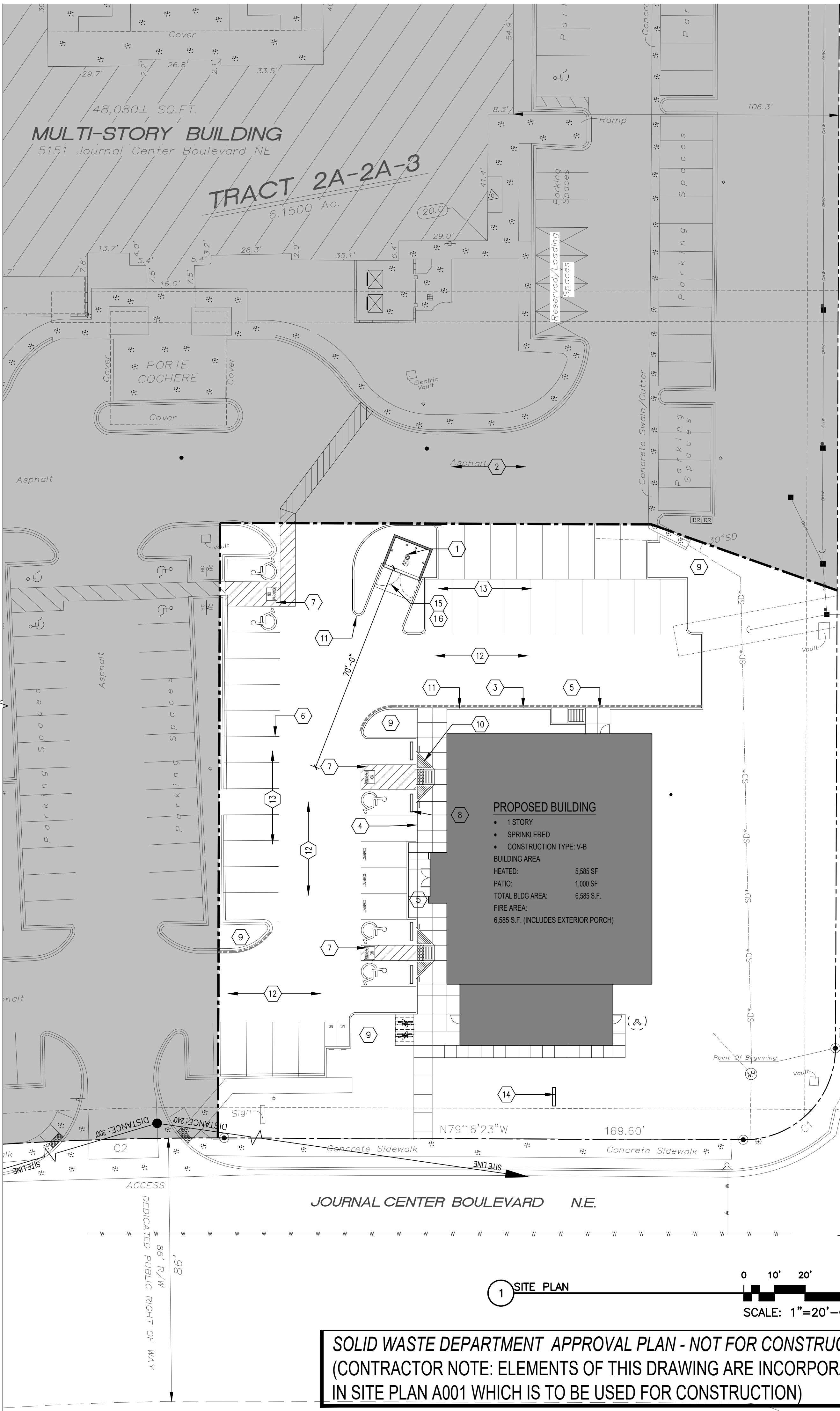
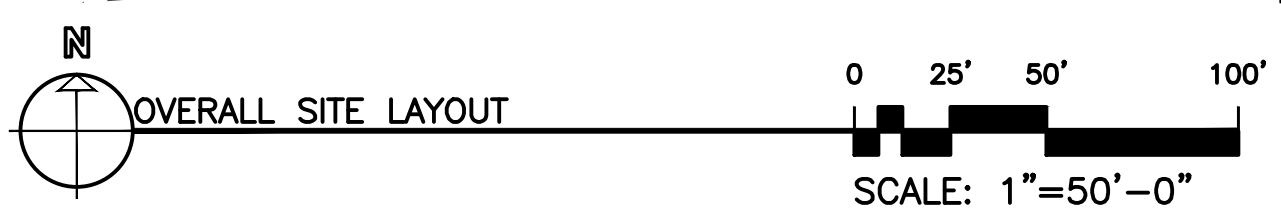
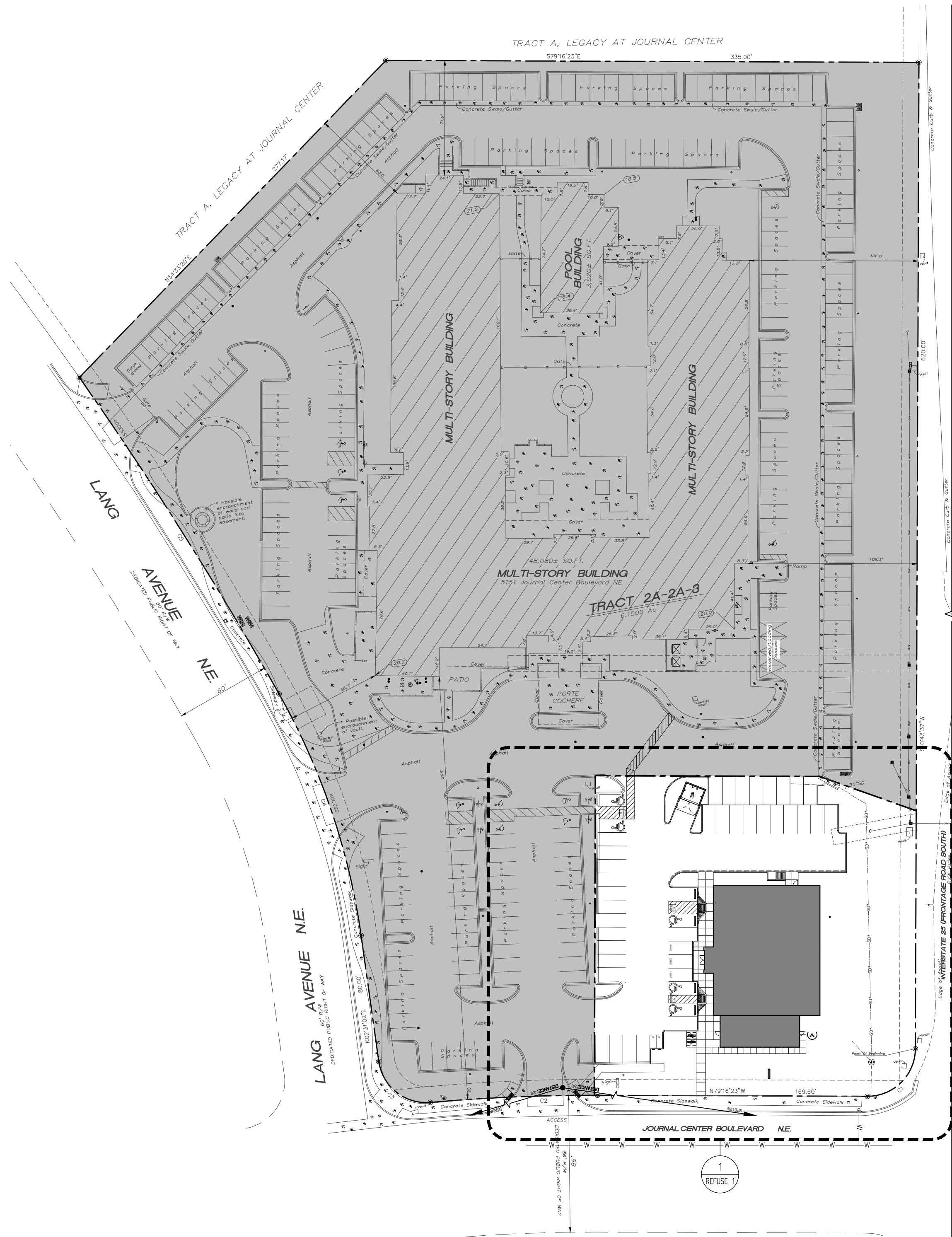
13013 glenwood hills ct. ne
albuquerque nm 87111
(ph) 505 514 1364



DRAWING NAME
REVISIONS

The Original Pancake House
5161 Journal Center Blvd NE
Albuquerque, New Mexico

FIRE 1
9/20/24



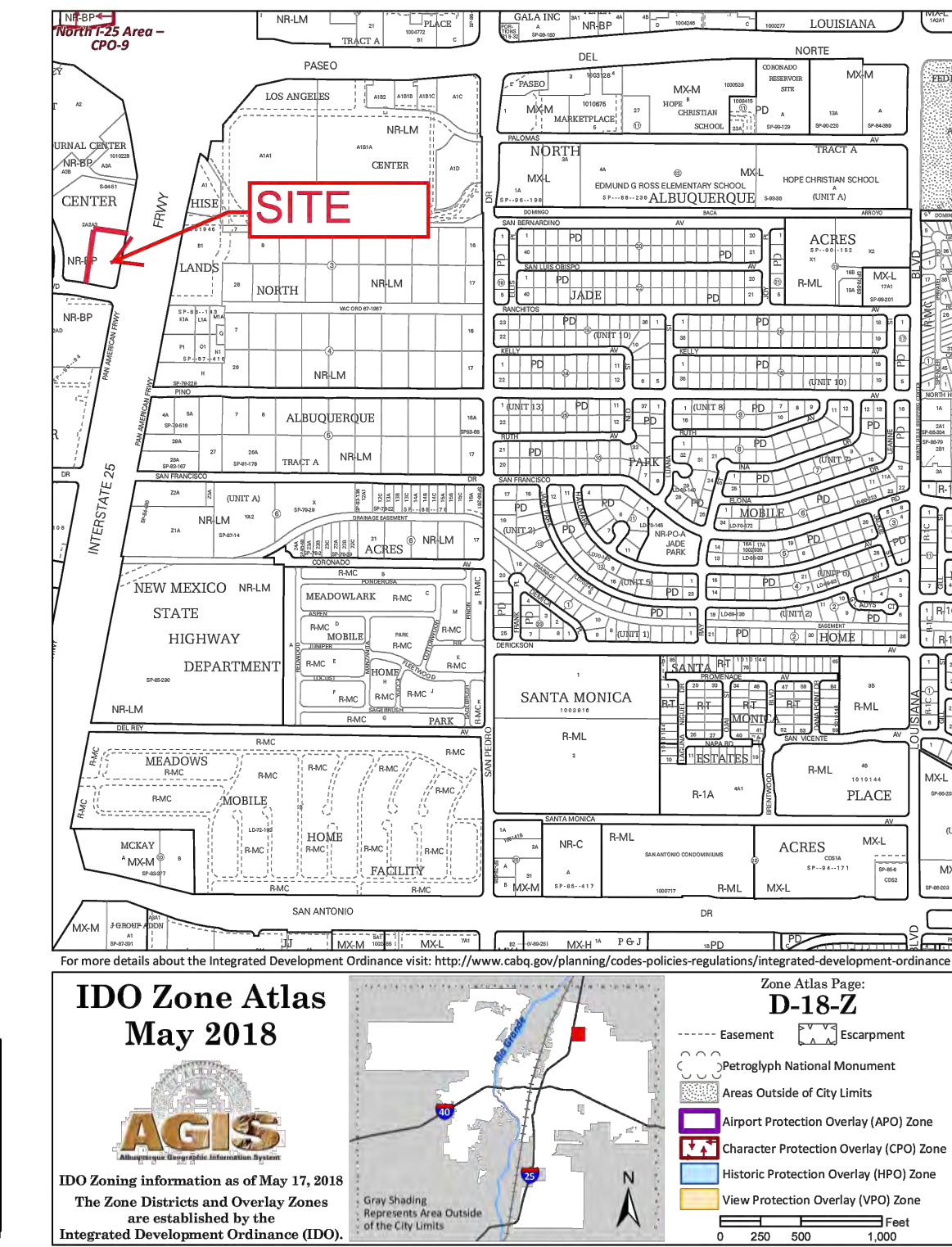
SOLID WASTE DEPARTMENT APPROVAL PLAN - NOT FOR CONSTRUCTION
(CONTRACTOR NOTE: ELEMENTS OF THIS DRAWING ARE INCORPORATED
IN SITE PLAN A001 WHICH IS TO BE USED FOR CONSTRUCTION)

SITE LEGEND	
SIGN	LIGHT POLE (2" DIA BASE)
FIRE HYDRANT	BOLLARD
WV WATER VALVE	WATER LINE
SAS MANHOLE	UNDERGROUND POWER LINE
TELEPHONE MANHOLE	GAS LINE
WATER METER	SAS LINE
POWER POLE	OHL OVERHEAD POWER LINE

- SITE PLAN KEYED NOTES
1. SINGLE UNIT DUMPSTER ENCLOSURE WITH AREA DRAIN TO GREASE INTERCEPTOR
 2. SHARED ACCESS EASEMENT
 3. CURB, 6" HIGH CONCRETE AND GUTTER REFER
 4. CURB, 6" HIGH CONCRETE AND GUTTER REFER
 5. CONCRETE SIDEWALK, WIDTH AS NOTED
 6. 4" WIDE PAINTED PARKING STALL STRIPING, TYP. COLOR: WHITE
 7. TYP. ACCESSIBLE PARKING SPACE W/ LOADING ZONE
 8. PRECAST CONCRETE WHEEL STOP AT MC STALLS & AS NOTED
 9. LANDSCAPE AREA, REFER TO LANDSCAPE PLAN
 10. ACCESSIBLE CURB RAMP
 11. 6" WIDE PAINTED RED FIRE LANE MARK AS "NO PARKING - FIRE LANE" EVERY 15' WITH WHITE BLOCK CAPITAL LETTERS MIN. 5" IN HEIGHT AND 3/4" WIDE "WITH" ON PAVING OR FACE OF CURB AT CURB LOCATIONS, REFER FIRE-1 PLAN
 12. NEW ASPHALTIC PAVING FOR HEAVY DUTY OVER PREPARED SUBGRADE (AS SITE CONDITIONS REQUIRE-VERIFY WITH GEOTECHNICAL ENGINEER) PER GEOTECHNICAL REPORT.
 13. NEW ASPHALTIC PAVING FOR STANDARD DUTY OVER PREPARED SUBGRADE (AS SITE CONDITIONS REQUIRE-VERIFY WITH GEOTECHNICAL ENGINEER) PER GEOTECHNICAL REPORT.
 14. MONUMENT SIGN
 15. CONCRETE APRON PER COA SOLID WASTE STANDARDS
 16. SLOPE APPROACH TO ENCLOSURE AT .125:12



Approved for access by the Solid Waste Department.
All containers must be made accessible for pick up
between the hours of 5AM and 8PM.
Reviewer: Herman Gallegos
Date: 09-26-24
Hazard Route Only
Recycle service declined



pba
peter butterfield architect
13013 glenwood hills ct. ne
albuquerque nm 87111
(ph) 505 514 1364



DRAWING NAME
REVISIONS

The Original Pancake House
5161 Journal Center Blvd NE
Albuquerque, New Mexico
Refuse
9/20/24