

# City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

December 9, 1993

James Topmiller, P.E.  
Bohannon-Huston Inc.  
7500 Jefferson Street NE  
Albuquerque, New Mexico 87109

RE: ENGINEER'S CERTIFICATION FOR PALOMAS PARK SUBDIVISION, PHASE I & IA,  
(D-19/D1B), WITH ENGINEER'S STAMP DATED AUGUST 12, AND DECEMBER 2,  
1993.

Dear Mr. Topmiller:

Based on the information provided on the above referenced submittal received August 12, 1993 and December 6, 1993 the plan is acceptable for partial Certification plan approval. Please be advised that prior to Final Plat approval for Phase IV or the rainy season, whichever is first, the wall needs to be completed and certified.

If you should have any questions please do not hesitate to call me at 768-2650.

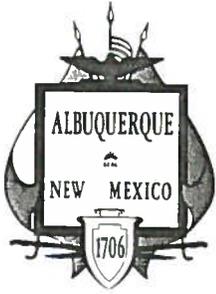
Cordially,

Gilbert Aldaz, P.E. & P.S.  
Civil Engineer/Hydrology

xc: File

GA/wp+3409

PUBLIC WORKS DEPARTMENT



# City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

*phase*

April 22, 1993

James Topmiller, P.E.  
Bohannon-Huston, Inc.  
7500 Jefferson St. NE  
Albuquerque, NM 87109

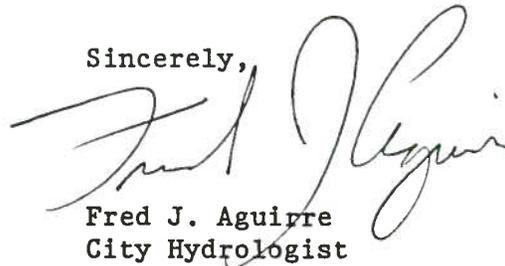
RE: PALOMAS PARK SUBDIVISION, PHASES 1 AND 1A, GRADING CERTIFICATION  
(D19-D1B).

Dear Mr. Topmiller:

In reference to your letter dated 4/22/93 regarding your certification  
submission for Palomas Park Subdivision, Phases 1 and 1a, I will tentatively  
approve your certification so that the financial guarantees can be released.

It is understood that you will resubmit the revised certifications per our  
discussion and the D.P.M. checklist within three (3) weeks.

Sincerely,



Fred J. Aguirre  
City Hydrologist

FJA/dl/WPHYD/7709

xc: LyndaMichelle Devanti  
File

PUBLIC WORKS DEPARTMENT



# City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

July 29, 1992

James Topmiller, P.E.  
Bohannon-Huston, Inc.  
7500 Jefferson Street, NE  
Albuquerque, New Mexico 87109

RE: DRAINAGE REPORT FOR PALOMAS PARK SUBDIVISION, (D-19/D1B),  
ENGINEER'S STAMP DATED JUNE 24, 1992

Dear Mr. Topmiller:

Based on the information provided on the referenced plan, the drainage report is approved for the overall subdivision.

As for the grading plans submitted, they are only approved for Phase I and IA. Future phases will require detailed grading plans.

Be advised that Phase I cannot be accepted by the City until Phase IA construction is complete.

If you should have any questions please do not hesitate to call me at 768-2650.

Cordially,

Gilbert Aldaz, P.E. & P.S.  
Civil Engineer/Hydrology

GA

xc: Roger Green, DRC Chairman  
Peter Chang, Construction

wp+3409 **F.I.E**

PUBLIC WORKS DEPARTMENT



# *City of Albuquerque*

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

November 1, 1994

## ***CERTIFICATE OF COMPLETION AND ACCEPTANCE***

Mr. Mike Adams  
Brown & Associates, Inc.  
3411 Candelaria N.E.  
Albuquerque, NM 87110

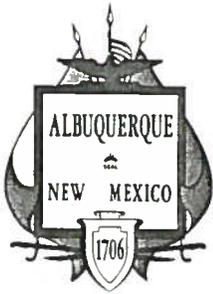
**RE: PROJECT NO. 4510.88, PALOMAS PARK - PHASE IV (MAP NO. D-19)**

Dear Mr. Adams:

This is to certify that the City of Albuquerque accepts Project No. 4510.88 as being completed according to approved plans and construction specifications. Please be advised this certificate of completion and acceptance shall only become effective upon final plat approval and filing in the office of the Bernalillo County Clerk's Office.

The project is described as follows:

- Construction of water, water services, sanitary sewer, sewer services, and curb and gutter, and paving on Capitan Ave. between Palomas Park Ave, and Storrie Place and on Storrie Place from 100 ft. north of Capitan Ave. to 144 ft. south of Capitan Ave.
- Constructed with this project were storm sewer mains, laterals and inlets in Capitan Ave. from 72 ft. east of Storrie Place to Storrie Place. Also, constructed with this project were waterline revisions on Laster Ave., and surrounding area and on Palomas Park and Galinas Aves. as shown on sheets 11 thru 18 of the City approved project plans.



# City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

December 9, 1993

James Topmiller, P.E.  
Bohannon-Huston Inc.  
7500 Jefferson Street NE  
Albuquerque, New Mexico 87109

RE: ROUGH GRADING PLAN FOR PALOMAS PARK SUBDIVISION, PHASE IV,  
(D-19/D1B), ENGINEER'S STAMP DATED OCTOBER 29, 1993.

Dear Mr. Topmiller:

Based on the information provided on the above referenced submittal received November 2, 1993, the plan is acceptable for Rough Grading permit approval.

Please be advised that a top soil disturbance permit is required prior to the Contractor commencing his grading operations.

If you should have any questions please do not hesitate to call me at 768-2650.

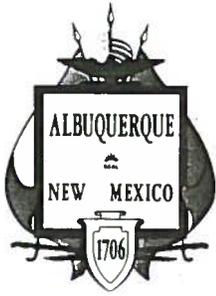
Cordially,

Gilbert Aldaz, P.E. & P.S.  
Civil Engineer/Hydrology

xc: **File**

GA/wp+3409

PUBLIC WORKS DEPARTMENT



# City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

September 21, 1994

James Topmiller  
Bohannan-Huston  
7500 Jefferson ST. NE  
Albuquerque, NM 87109

RE: REVISED ENGINEER CERTIFICATION FOR PALOMAS PARK SUBDIVISION  
PHASE III FINANCIAL GUARANTEE RELEASE FOR HYDROLOGY (D19-D1B)  
REVISED CERTIFICATION STATEMENT DATED 9/7/94 (W.O. 4510.92).

Dear Mr. Topmiller:

Based on the information provided on your September 8, 1994 resubmittal,  
Engineer Certification for Financial Guarantee release is acceptable.

If I can be of further assistance, please feel free to call me at 768-2667.

Sincerely,

Bernie J. Montoya, CE  
Engineering Associate

BJM/d1/WPHYD/7709

c: Andrew Garcia  
LyndaMichelle DeVanti  
File



# City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

July 12, 1994

## **CERTIFICATE OF COMPLETION AND ACCEPTANCE**

Mr. Mike Adams  
Brown & Associates, Inc.  
3411 Candelaria N.E.  
Albuquerque, NM 87110

**RE: PROJECT NO. 4510.86, PALOMAS PARK - PHASE III (MAP NO. D-19)**

Dear Mr. Adams:

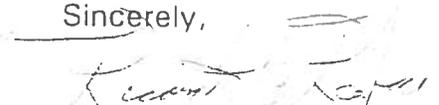
This is to certify that the City of Albuquerque accepts Project No. 4510.86 as being completed according to approved plans and construction specifications. Please be advised this certificate of completion and acceptance shall only become effective upon final plat approval and filing in the office of the Bernalillo County Clerk's Office.

The project is described as follows:

- Installation of water, water services, sewer & services, curbing and pavement on: Palomas Park Avenue between Capitan Avenue and Laster Avenue, El Morrow Place, Adele Place and Galinas Avenue from Adele Place to the east terminus.

The contractor's correction period begins the date of this letter and will be effective for a period of one (1) year.

Sincerely,

  
Rick Roybal, PE  
City Engineer,  
Engineering Group  
Public Works Department

Sincerely,

  
Russell B. Givler, PE  
Chief Construction Engineer,  
Engineering Group  
Public Works Department



# City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

April 20, 1993

James Topmiller, P.E.  
Bohannon-Huston, Inc.  
7500 Jefferson Street NE  
Albuquerque, New Mexico 87109

RE: DRAINAGE REPORT FOR PALOMAS PARK SUBDIVISION PHASE III, (D-19/D1B),  
ENGINEER'S STAMP DATED MARCH 30, 1993

Dear Mr. Topmiller:

Based on the information provided on the referenced plan received March 31, 1993, the plan is acceptable for Rough Grading Permit Approval.

If you should have any questions please do not hesitate to call me at 768-2650.

Cordially,

Gilbert Aldaz, P.E. & P.S.  
Civil Engineer/Hydrology

GA/wp+3409

xc: Larry Caudill  
*File*

PUBLIC WORKS DEPARTMENT

# DRAINAGE CALCULATIONS

Lot 100/concrete V-channel  
and inlet discharge to  
street

Palomas Park Subdivision

A. Determine total flowrate.....

- assume  $\frac{1}{2}$  of lot 99 & 100 drain to  
Galinas Avenue (conservative)

- lot 99 = 0.11 ac. (total)

lot 100 = 0.13 ac

$0.24 \text{ ac} \times \frac{1}{2} = 0.12 \text{ ac.}$  (total drainage basin area)

- assume  $\frac{1}{2}$  of basin @ treatment "D"  
and  $\frac{1}{2}$  @ Treatment B, then:

$0.12 \times \frac{1}{2} (5.02) = 0.6 \text{ cfs}$

$0.12 \times \frac{1}{2} (2.6) = \underline{0.16 \text{ cfs}}$

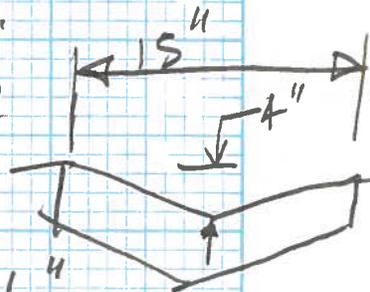
$0.76 \text{ cfs} = \text{total flowrate}$  (6-hr, 100-yr storm)

B. Concrete V-channel in lot 100.....

- calculate channel dimensions @  
 $Q = 0.76 \text{ cfs}$ , 15" wide @ 4" deep

- see attached sheet,  
labeled "conc. V-channel capacity"

- Cap. = 0.8 cfs > 0.76 cfs, OK



BOHANNAN-HUSTON INC.

SEP - 8 1994

PROJECT NAME \_\_\_\_\_

SHEET

OF

2

PROJECT NO. \_\_\_\_\_

BY

Jamet

DATE

7-23-94

SUBJECT \_\_\_\_\_

CH'D \_\_\_\_\_

DATE \_\_\_\_\_

### C. Required Open Area for Necessity Grate

- use Orifice equation,

$$Q = CA\sqrt{2gh} \text{ or}$$

$$A = \left( \frac{Q}{C\sqrt{2gh}} \right), \text{ if } h = 0.5' \\ C = 0.6$$

$$A = \left( \frac{0.76}{0.6\sqrt{2g(0.5)}} \right) = 0.22 \text{ sq. ft, } \text{Required grate open area}$$

X 1.3 (for clogging)

0.28 sq. ft ← USE

D. Head required to push  
0.76 cfs into 4" pipe opening, ...

$$h = \frac{\left( \frac{Q}{CA} \right)^2}{2g} = \frac{\left( \frac{0.76}{0.6(0.087)} \right)^2}{2(32.2)} = 3.3' < 3.4', \text{ OK}$$

Note: An emergency overflow is also available for flows to run east along the retaining wall, then out to the street.



BOHANNAN-HUSTON INC.

SEP - 8 1994

PROJECT NAME \_\_\_\_\_

SHEET

2

OF

2

PROJECT NO. \_\_\_\_\_

BY

Jsmct.

DATE \_\_\_\_\_

SUBJECT \_\_\_\_\_

CH'D \_\_\_\_\_

DATE \_\_\_\_\_

conc. v-channel capacity

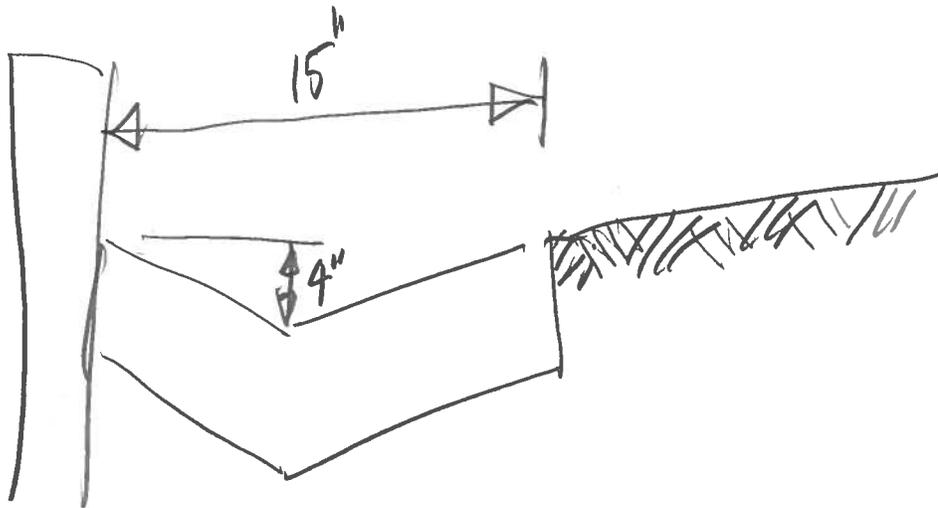
MANNING'S N = .0130

SLOPE = .0150

POINT	DIST	ELEV	POINT	DIST	ELEV	POINT	DIST	ELEV
1	0.00	0.33	2	0.62	0.00	3	1.25	0.33

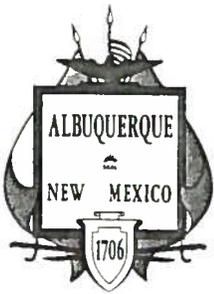
WSEL (FT)	DEPTH INC	FLOW AREA (SQ FT)	FLOW RATE (CFS)	WETTED PER (FT)	FLOW VEL (FPS)	TOP WID
0.10	0.10	0.0	0.0	0.4	1.8	0.38
0.20	0.20	0.1	0.2	0.9	2.8	0.76
0.30	0.30	0.2	0.6	1.3	3.6	1.14
0.33	0.33	0.2	0.8	1.4	3.9	1.25

4"



SEP - 8 1994





# City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

December 9, 1993

James Topmiller, P.E.  
Bohannon-Huston Inc.  
7500 Jefferson Street NE  
Albuquerque, New Mexico 87109

RE: ENGINEER'S CERTIFICATION FOR PALOMAS PARK SUBDIVISION, PHASE II,  
(D-19/D1B), WITH ENGINEER'S STAMP DATED NOVEMBER 29, 1993.

Dear Mr. Topmiller:

Based on the information provided on the above referenced submittal received December 7, 1993 the plan is acceptable for Engineer's Certification approval. Please be advised that future submittals will require more as-built elevations along the side yard and back yard.

If you should have any questions please do not hesitate to call me at 768-2650.

Cordially,

Gilbert Aldaz, P.E. & P.S.  
Civil Engineer/Hydrology

xc: File

wp+3409

PUBLIC WORKS DEPARTMENT

PRIVATE FACILITY  
DRAINAGE COVENANT

0006363

This Drainage Covenant, between [state the name of the present real property owner exactly as shown on the real estate document conveying title to the present owner and state the legal status of the owner, for example, "single person," "husband and wife," "corporation of the State of \_\_\_\_\_," "partnership":] Brown and Associates, Inc.

whose address is 3411 Candelaria NE, Albuquerque, NM ("Owner"), and the City of Albuquerque, a New Mexico municipal corporation ("City"), whose address is P. O. Box 1293, Albuquerque, New Mexico 87103, is made in Albuquerque, Bernalillo County, New Mexico and is entered into as of the date Owner signs this Covenant.

1. Recital. The Owner is the owner of the following described real property located at [give legal description, and street address:] Palomas Park Subdivision (Phase 2)

in Bernalillo County, New Mexico (the "Property").

Pursuant to City ordinances, regulations and other applicable laws, the Owner is required to construct and maintain certain drainage facilities on the Property, and the parties wish to enter into this Covenant to establish the obligations and responsibilities of the parties.

2. Description and Construction of Drainage Facility. The Owner shall construct the following "Drainage Facility" within the Property at the Owner's sole expense in accordance with the standards, plans and specifications approved by the City: Drainage File No. D19/D1B; Two Temporary earthen retention ponds; one is west of Storrie Place and one is south of Palomas Park Ave. One temporary earthen swale along the southern boundary of Phase 2.

The Drainage Facility is more particularly described in Exhibit A attached hereto and made a part hereof.

3. Maintenance of Drainage Facility. The Owner shall maintain the Drainage Facility at the Owner's sole cost in accordance with the approved Drainage Report and plans.

4. Benefit to Property. The Owner acknowledges and understands that the Drainage Facility required herein to be constructed on the Owner's property is for the private benefit

