



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

December 9, 1993

James Topmiller, P.E.
Bohannon-Huston Inc.
7500 Jefferson Street NE
Albuquerque, New Mexico 87109

RE: ENGINEER'S CERTIFICATION FOR PALOMAS PARK SUBDIVISION, PHASE I & IA,
(D-19/D1B), WITH ENGINEER'S STAMP DATED AUGUST 12, AND DECEMBER 2,
1993.

Dear Mr. Topmiller:

Based on the information provided on the above referenced submittal received August 12, 1993 and December 6, 1993 the plan is acceptable for partial Certification plan approval. Please be advised that prior to Final Plat approval for Phase IV or the rainy season, whichever is first, the wall needs to be completed and certified.

If you should have any questions please do not hesitate to call me at 768-2650.

Cordially,

Gilbert Aldaz, P.E. & P.S.
Civil Engineer/Hydrology

xc: File

GA/wp+3409

PUBLIC WORKS DEPARTMENT



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

phase

April 22, 1993

James Topmiller, P.E.
Bohannon-Huston, Inc.
7500 Jefferson St. NE
Albuquerque, NM 87109

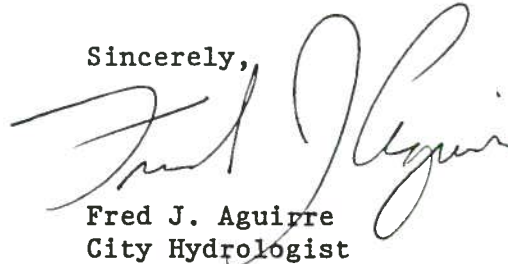
RE: PALOMAS PARK SUBDIVISION, PHASES 1 AND 1A, GRADING CERTIFICATION
(D19-D1B).

Dear Mr. Topmiller:

In reference to your letter dated 4/22/93 regarding your certification
submittal for Palomas Park Subdivision, Phases 1 and 1a, I will tentatively
approve your certification so that the financial guarantees can be released.

It is understood that you will resubmit the revised certifications per our
discussion and the D.P.M. checklist within three (3) weeks.

Sincerely,



Fred J. Aguirre
City Hydrologist

FJA/dl/WPHYD/7709

xc: LyndaMichelle Devanti
File

PUBLIC WORKS DEPARTMENT



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

July 29, 1992

James Topmiller, P.E.
Bohannon-Huston, Inc.
7500 Jefferson Street, NE
Albuquerque, New Mexico 87109

RE: DRAINAGE REPORT FOR PALOMAS PARK SUBDIVISION, (D-19/D1B),
ENGINEER'S STAMP DATED JUNE 24, 1992

Dear Mr. Topmiller:

Based on the information provided on the referenced plan, the drainage report is approved for the overall subdivision.

As for the grading plans submitted, they are only approved for Phase I and IA. Future phases will require detailed grading plans.

Be advised that Phase I cannot be accepted by the City until Phase IA construction is complete.

If you should have any questions please do not hesitate to call me at 768-2650.

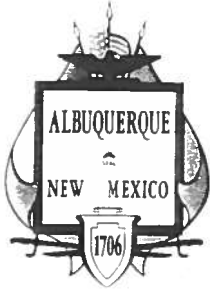
Cordially,

Gilbert Aldaz, P.E. & P.S.
Civil Engineer/Hydrology

GA

xc: Roger Green, DRC Chairman
Peter Chang, Construction
wp+3409 **F.I.E**

PUBLIC WORKS DEPARTMENT



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

November 1, 1994

CERTIFICATE OF COMPLETION AND ACCEPTANCE

Mr. Mike Adams
Brown & Associates, Inc.
3411 Candelaria N.E.
Albuquerque, NM 87110

RE: PROJECT NO. 4510.88, PALOMAS PARK - PHASE IV (MAP NO. D-19)

Dear Mr. Adams:

This is to certify that the City of Albuquerque accepts Project No. 4510.88 as being completed according to approved plans and construction specifications. Please be advised this certificate of completion and acceptance shall only become effective upon final plat approval and filing in the office of the Bernalillo County Clerk's Office.

The project is described as follows:

- Construction of water, water services, sanitary sewer, sewer services, and curb and gutter, and paving on Capitan Ave. between Palomas Park Ave. and Storrie Place and on Storrie Place from 100 ft. north of Capitan Ave. to 144 ft. south of Capitan Ave.
- Constructed with this project were storm sewer mains, laterals and inlets in Capitan Ave. from 72 ft. east of Storrie Place to Storrie Place. Also, constructed with this project were waterline revisions on Laster Ave., and surrounding area and on Palomas Park and Galinas Aves. as shown on sheets 11 thru 18 of the City approved project plans.



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

December 9, 1993

James Topmiller, P.E.
Bohannon-Huston Inc.
7500 Jefferson Street NE
Albuquerque, New Mexico 87109

RE: ROUGH GRADING PLAN FOR PALOMAS PARK SUBDIVISION, PHASE IV,
(D-19/D1B), ENGINEER'S STAMP DATED OCTOBER 29, 1993.

Dear Mr. Topmiller:

Based on the information provided on the above referenced submittal received November 2, 1993, the plan is acceptable for Rough Grading permit approval.

Please be advised that a top soil disturbance permit is required prior to the Contractor commencing his grading operations.

If you should have any questions please do not hesitate to call me at 768-2650.

Cordially,

Gilbert Aldaz, P.E. & P.S.
Civil Engineer/Hydrology

xc: **File**

GA/wp+3409

PUBLIC WORKS DEPARTMENT



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

September 21, 1994

James Topmiller
Bohannon-Huston
7500 Jefferson ST. NE
Albuquerque, NM 87109

RE: REVISED ENGINEER CERTIFICATION FOR PALOMAS PARK SUBDIVISION
PHASE III FINANCIAL GUARANTEE RELEASE FOR HYDROLOGY (D19-D1B)
REVISED CERTIFICATION STATEMENT DATED 9/7/94 (W.O. 4510.92).

Dear Mr. Topmiller:

Based on the information provided on your September 8, 1994 resubmittal,
Engineer Certification for Financial Guarantee release is acceptable.

If I can be of further assistance, please feel free to call me at 768-2667.

Sincerely,

Bernie J. Montoya

Bernie J. Montoya, CE
Engineering Associate

BJM/d1/WPHYD/7709

c: Andrew Garcia
LyndaMichelle DeVanti
File



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

July 12, 1994

CERTIFICATE OF COMPLETION AND ACCEPTANCE

Mr. Mike Adams
Brown & Associates, Inc.
3411 Candelaria N.E.
Albuquerque, NM 87110

RE: PROJECT NO. 4510.86, PALOMAS PARK - PHASE III (MAP NO. D-19)

Dear Mr. Adams:

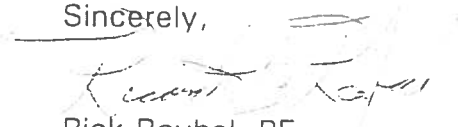
This is to certify that the City of Albuquerque accepts Project No. 4510.86 as being completed according to approved plans and construction specifications. Please be advised this certificate of completion and acceptance shall only become effective upon final plat approval and filing in the office of the Bernalillo County Clerk's Office.

The project is described as follows:

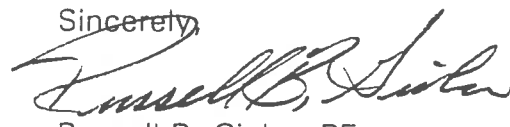
- Installation of water, water services, sewer & services, curbing and pavement on: Palomas Park Avenue between Capitan Avenue and Laster Avenue, El Morrow Place, Adele Place and Galinas Avenue from Adele Place to the east terminus.

The contractor's correction period begins the date of this letter and will be effective for a period of one (1) year.

Sincerely,


Rick Roybal, PE
City Engineer,
Engineering Group
Public Works Department

Sincerely,


Russell B. Givler, PE
Chief Construction Engineer,
Engineering Group
Public Works Department



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

April 20, 1993

James Topmiller, P.E.
Bohannon-Huston, Inc.
7500 Jefferson Street NE
Albuquerque, New Mexico 87109

RE: DRAINAGE REPORT FOR PALOMAS PARK SUBDIVISION PHASE III, (D-19/D1B),
ENGINEER'S STAMP DATED MARCH 30, 1993

Dear Mr. Topmiller:

Based on the information provided on the referenced plan received March 31, 1993, the plan is acceptable for Rough Grading Permit Approval.

If you should have any questions please do not hesitate to call me at 768-2650.

Cordially,

Gilbert Aldaz, P.E. & P.S.
Civil Engineer/Hydrology

GA/wp+3409

xc: Larry Caudill
File

PUBLIC WORKS DEPARTMENT

DRAINAGE CALCULATIONS

Lot 100/concrete V-channel
and inlet discharge to
street

Palomas Park Subdivision

A. Determine total flowrate.....

- assume $\frac{1}{2}$ of Lot 99 & 100 drain to
Galinas Avenue (conservative)

- Lot 99 = 0.11 ac. (total)

Lot 100 = 0.13 ac

$0.24 \text{ ac} \times \frac{1}{2} = 0.12 \text{ ac.}$ (total drainage basin area)

- assume $\frac{1}{2}$ of basin @ treatment "D"
and $\frac{1}{2}$ @ Treatment B, then:

$$0.12/2 (5.02) = 0.6 \text{ cfs}$$

$$0.12/2 (2.6) = 0.16 \text{ cfs}$$

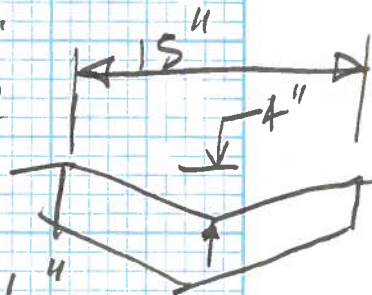
0.76 cfs = total flowrate (6-hr, 100-yr storm)

B. Concrete V-channel in Lot 100.....

- calculate channel dimensions @
 $Q = 0.76 \text{ cfs}$, 15" wide @ 4" deep

- see attached sheet,
labeled "conc. V-channel capacity"

- Cap. = 0.8 cfs > 0.76 cfs, OK



BOHANNAN-HUSTON INC.

SEP - 8 1994

PROJECT NAME _____

SHEET _____

OF _____

2

PROJECT NO. _____

BY _____

Jamet

DATE _____

7.23.94

SUBJECT _____

CH'D _____

DATE _____

C. Required Open Area for Necessity Grate

- use Orifice equation,

$$Q = CA\sqrt{2gh} \text{ or}$$

$$A = \left(\frac{Q}{C(\sqrt{2gh})} \right), \text{ if } h = 0.5' \\ C = 0.6$$

$$A = \left(\frac{0.76}{0.6 \sqrt{2g(0.5)}} \right) = 0.22 \text{ sq. ft, } \text{Required grate open area}$$

X 1.3 (for clogging)

0.28 sq. ft \leftarrow USE

D. Head required to push
0.76 cfs into 4" pipe opening

$$h = \frac{\left(\frac{Q}{CA} \right)^2}{2g} = \frac{\left(\frac{0.76}{0.6(.087)} \right)^2}{2(32.2)} = 3.3' < 3.4', \text{ OK}$$

Note: An emergency overflow is
also available for flows
to run east along the
retaining wall, then out
to the street.



BOHANNAN-HUSTON INC.

SEP - 8 1994

PROJECT NAME _____

SHEET

2

OF

2

PROJECT NO. _____

BY

Jamet.

DATE _____

SUBJECT _____

CH'D _____

DATE _____

conc. v-channel capacity

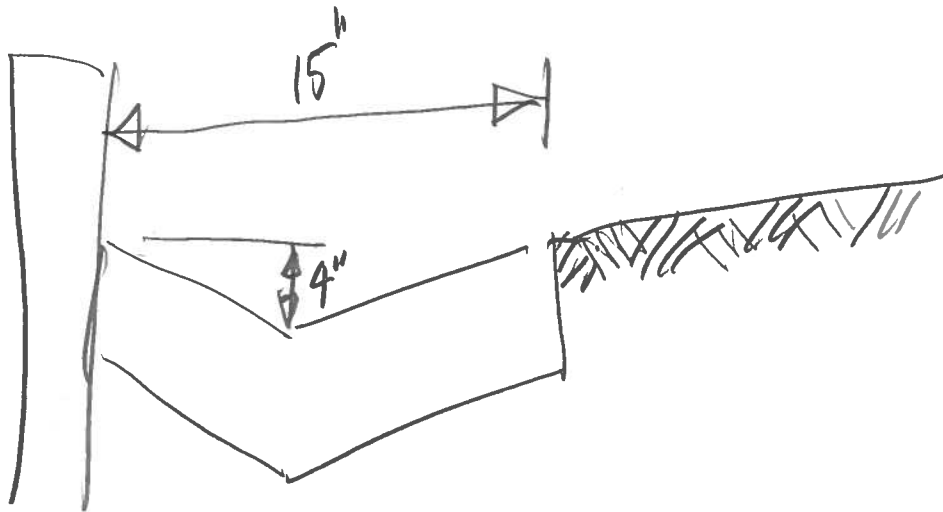
MANNING'S N = .0130

SLOPE = .0150

POINT	DIST	ELEV	POINT	DIST	ELEV	POINT	DIST	ELEV
1	0.00	0.33	2	0.62	0.00	3	1.25	0.33

WSEL	DEPTH	FLOW	FLOW	WETTED	FLOW	TOP
(FT)	INC	AREA	RATE	PER	VEL	WID
		(SQ FT)	(CFS)	(FT)	(FPS)	
0.10	0.10	0.0	0.0	0.4	1.8	0.38
0.20	0.20	0.1	0.2	0.9	2.8	0.76
0.30	0.30	0.2	0.6	1.3	3.6	1.14
0.33	0.33	0.2	0.8	1.4	3.9	1.25

4"



SEP - 8 1994

1791.

Grant of Permanent Private Drainage Easement (storm and landscaping irrigation), between SMD Home Corporation, Owner of Lot 100, Palomas Park Subdivision, Phase III ("Grantor") whose address is 12700 San Rafael N.E., Albuquerque, New Mexico 87122 and current and future Owners of Lot 99, Palomas Park Subdivision, Phase III ("Grantee"), which address is 7605 La Mariposa N.E., Albuquerque, New Mexico.

Grantor grants to Grantee an exclusive permanent 3' wide private drainage easement ("Easement") in, over, upon and across the westerly 3' of Lot 100, Palomas Park Subdivision, Phase III, as depicted on Exhibit "A" attached hereto for the acceptance of lot storm/irrigation drainage from Grantee. The construction, installation, maintenance, repair, modification, replacement and operation of a private drainage easement together with the right to remove and/or replace landscaping shall be the responsibility of Lot 100, Palomas Park Subdivision, Phase III.

The grant and other provisions of this Easement constitute covenants running with the land for the benefit of future owners as shown on the plat of Palomas Park Subdivision, Unit III, its successors and assigns until terminated by Grantee.

GRANTOR: SMD HOME CORPORATION (Current Owner of Lot 100)

DATE: 5/24/94

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO) SS

This instrument was acknowledged before me on May 24, 1994 by
SCOTT DIRKSCHNEIDER, PRESIDENT OF SMD HOME CORPORATION.

My Commission Expires:

Notary Public

JUN - 3 1994

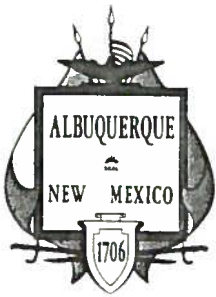
STATE OF NEW MEXICO
COUNTY OF BERNALILLO
FILED FOR RECORD

1994 MAY 26 PM 2:40

3K 4-16 FG

JUDY D. WOODRUFF

CO. CLEAR & BRIGHT



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

December 9, 1993

James Topmiller, P.E.
Bohannon-Huston Inc.
7500 Jefferson Street NE
Albuquerque, New Mexico 87109

RE: ENGINEER'S CERTIFICATION FOR PALOMAS PARK SUBDIVISION, PHASE II,
(D-19/D1B), WITH ENGINEER'S STAMP DATED NOVEMBER 29, 1993.

Dear Mr. Topmiller:

Based on the information provided on the above referenced submittal received December 7, 1993 the plan is acceptable for Engineer's Certification approval. Please be advised that future submittals will require more as-built elevations along the side yard and back yard.

If you should have any questions please do not hesitate to call me at 768-2650.

Cordially,

Gilbert Aldaz, P.E. & P.S.
Civil Engineer/Hydrology

xc: File

wp+3409

PUBLIC WORKS DEPARTMENT

PRIVATE FACILITY
DRAINAGE COVENANT

0006363

This Drainage Covenant, between [state the name of the present real property owner exactly as shown on the real estate document conveying title to the present owner and state the legal status of the owner, for example, "single person," "husband and wife," "corporation of the State of _____," "partnership":] Brown and Associates, Inc.

whose address is 3411 Candelaria NE, Albuquerque, NM ("Owner"), and the City of Albuquerque, a New Mexico municipal corporation ("City"), whose address is P. O. Box 1293, Albuquerque, New Mexico 87103, is made in Albuquerque, Bernalillo County, New Mexico and is entered into as of the date Owner signs this Covenant.

1. Recital. The Owner is the owner of the following described real property located at [give legal description, and street address:] Palomas Park Subdivision (Phase 2)

in Bernalillo County, New Mexico (the "Property").

Pursuant to City ordinances, regulations and other applicable laws, the Owner is required to construct and maintain certain drainage facilities on the Property, and the parties wish to enter into this Covenant to establish the obligations and responsibilities of the parties.

2. Description and Construction of Drainage Facility. The Owner shall construct the following "Drainage Facility" within the Property at the Owner's sole expense in accordance with the standards, plans and specifications approved by the City: Drainage File No. D19/D18; Two Temporary earthen retention ponds; one is west of Storrie Place and one is south of Palomas Park Ave. One temporary earthen swale along the southern boundary of Phase 2.

The Drainage Facility is more particularly described in Exhibit A attached hereto and made a part hereof.

3. Maintenance of Drainage Facility. The Owner shall maintain the Drainage Facility at the Owner's sole cost in accordance with the approved Drainage Report and plans.

4. Benefit to Property. The Owner acknowledges and understands that the Drainage Facility required herein to be constructed on the Owner's property is for the private benefit

Property until released by the City. This Covenant can only be released by the City's Chief Administrative Officer with the concurrence of the City Engineer.

10. Entire Covenant. This Covenant contains the entire agreement of the parties and supersedes any and all other agreements or understandings, oral or written, whether previous to the execution hereof or contemporaneous herewith.

11. Changes to Covenant. Changes to this Covenant are not binding unless made in writing, signed by both parties.

12. Effective Date of Covenant. This Covenant shall be effective as of the date of signature of the Owner.

OWNER: BROWN & ASSOCIATES, Inc.

By: Robert M. Adams
 Its: VICE PRESIDENT
 Dated: 1/15/93

STATE OF NEW MEXICO)
) ss
 COUNTY OF BERNALILLO)

The foregoing instrument was acknowledged before me this 15th day of January, 1993, by [name of person signing:] ROBERT M. ADAMS, [title or capacity, for instance, "President" or "Owner":] Vice President of [name of the entity which owns the Property if other than the individual signing, for instance, the name of the corporation, partnership, or joint venture:] BROWN & ASSOCIATES, INC., a New Mexico Corporation

J. Rose Derieg
 Notary Public
 J. Rose Derieg

My Commission Expires:
May 5, 1993

CITY OF ALBUQUERQUE:

Accepted:

By: For the City Engineer
 Title: For the City Engineer
 Dated: 2/2/93

[EXHIBIT A ATTACHED]

STATE OF NEW MEXICO
 COUNTY OF BERNALILLO
 FILED FOR RECORD

93 FEB 19 PM 1:54

93-10343-1314
 J. Rose Derieg