

# CONSTRUCTION PLANS FOR PALOMAS PARK SUBDIVISION PHASE V ALBUQUERQUE, NEW MEXICO

## INDEX

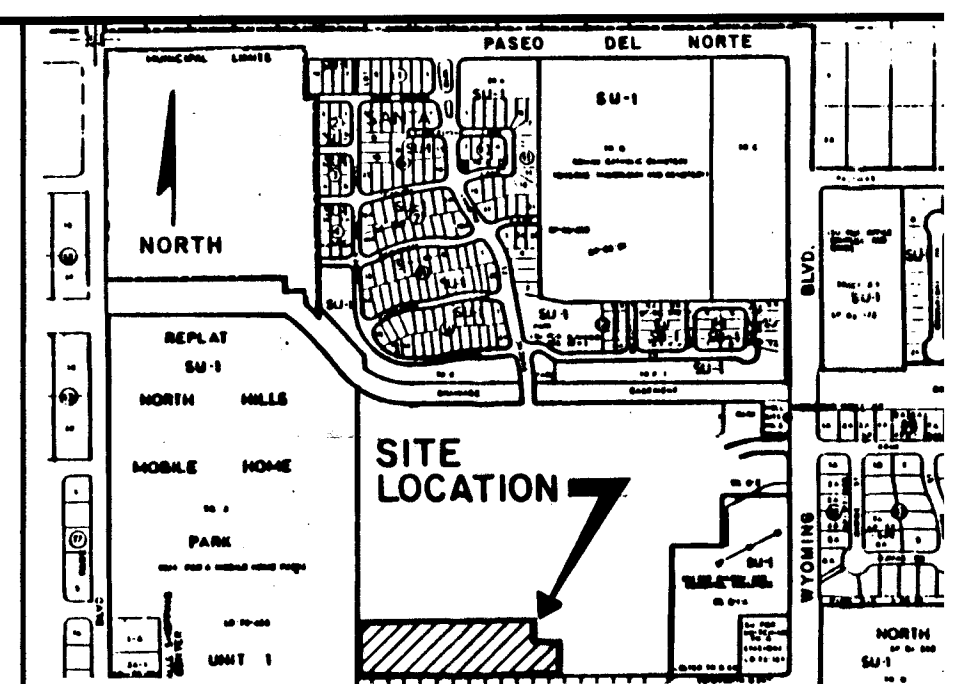
SHEET NUMBER	DESCRIPTION
1	TITLE SHEET
2	PLAT (PRELIMINARY PLAT ONLY)
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4	PAVING PLAN
5	PAVING PLAN AND PROFILE STORRIE PLACE / GALINAS AVENUE
6	UTILITY PLAN
7	UTILITY PLAN AND PROFILE STORRIE PLACE / GALINAS AVENUE
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## SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that the 'as-built' information shown on these drawings was obtained from field construction and 'as-built' surveys performed by me or under my supervision, that the 'as-built' information shown on these drawings was added by me or under my supervision, and that this 'as-built' information is true and correct to the best of my knowledge and belief." Aldrich Land Surveying is not responsible for any of the design concepts, calculations, or in any of the record drawings.

Timothy Aldrich, S. No. 7719

BHI JOB NO. 91181-07



VICINITY MAP  
NOT TO SCALE  
D-19

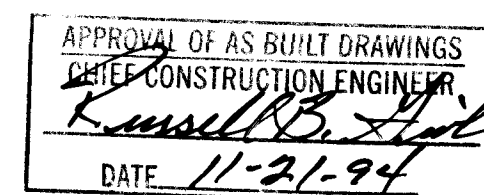
## NOTICE TO CONTRACTORS

- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED SHALL, EXCEPT AS OTHERWISE STATED HEREON, BE CONSTRUCTED IN ACCORDANCE WITH ALBUQUERQUE STANDARD SPECIFICATIONS FOR CONSTRUCTION, 1986 EDITION AND SHALL INCLUDE REVISIONS, DELETIONS, AND ADDITIONS DATED JANUARY 1, 1994.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT NEW MEXICO ONE CALL SYSTEM FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF EXISTING UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR SURVEYOR IMMEDIATELY THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM OF DELAY.
- THREE (3) WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT TO CONSTRUCTION DIVISION A DETAILED CONSTRUCTION SCHEDULE WORKING DAYS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM THE CONSTRUCTION DIVISION. CONTRACTOR SHALL NOTIFY BARRICADING DIVISION (768-2551) PRIOR TO OCCUPYING AN INTERSECTION OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS.

- ALL STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED IN KIND BY CONTRACTOR TO LOCATION AS EXISTING OR AS INDICATED BY THIS PLAN SET.
- CONTRACTOR SHALL NOTIFY THE ENGINEER NOT LESS THAN (7) DAYS PRIOR TO STARTING WORK IN OR ABOUT THE LOCATION OF ANY SURVEY MONUMENTS. CONTRACTOR SHALL TAKE NECESSARY MEASURES TO PRESERVE SURVEY MONUMENTS WITHOUT THE EXPENSE OF REPLACING ANY THAT MAY BE DAMAGED OR DESTROYED. REPLACEMENT SHALL BE AT THE CONTRACTOR'S EXPENSE. WHEN A CHANGE IS MADE IN THE LOCATION OF ANY ROADWAY SURVEY MONUMENT IS LOCATED, CONTRACTOR SHALL AT HIS OWN EXPENSE, ADJUST THE MONUMENT TO THE CORRECT LOCATION UNLESS OTHERWISE SPECIFIED. REFER TO THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS.

THE FOLLOWING NOTES ALSO APPLY WHEN CHANGING THE LOCATION OF ANY SURVEY MONUMENT

- ☒ ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAVING.
- ☐ BACKFILL COMPACTION SHALL BE ACCORDING TO THE STANDARD SPECIFICATIONS FOR STREET USE.
- ☐ TACK COAT REQUIREMENTS SHALL BE DETERMINED BY THE ENGINEER.
- ☒ SIDEWALKS AND WHEELCHAIR RAMPS WITHIN THE CURB SHALL BE CONSTRUCTED WHEREVER A NEW CURB IS CONSTRUCTED.
- ☒ IF CURB IS DEEPENED FOR A DRIVEPAD, THE DRIVEPAD SHALL BE CONSTRUCTED PRIOR TO ACCEPTANCE OF CURB.
- ☒ ALL STORM DRAINAGE FACILITIES SHALL BE COMPLETED TO FINAL ACCEPTANCE.
- ☒ THE REQUESTOR OR DEVELOPER SHALL BE RESPONSIBLE FOR REPAIR OR REPLACEMENT OF ALL CURB AND GUTTER DAMAGED AFTER APPROVAL BY THE CITY ENGINEER COMPLETED BY THE CONTRACTOR.



1 2 3 4 5 6 7 8 9 10 11 12 13 14 15  
26 4510 940194

REV	SHEETS	CITY ENGINEER	DATE	USER DEPARTMENT	DATE	USER DEPARTMENT
2	3,4,5,6,8,7	111	11-21-94			
4	AND 5					

## APPROVAL OF REVISIONS

		APPROVAL OF REVISIONS
BOHANNAN HUSTON INC. ALBUQUERQUE, NEW MEXICO ENGINEERS PLANNERS PHOTOGRAMMETRISTS		APPROVAL OF REVISIONS
PROJECT NUMBER 4510.94		SHEET

CURVE DATA					
NUMBER	ARC	RADIUS	DELTA	CHORD	CHORD BEARING
C1	83.04	53.00	89°46'04"	74.80	S45°01'14"E
C2	117.50	75.00	89°46'04"	105.85	N44°58'37"W
C3	58.75	75.00	44°53'00"	57.26	N67°25'07"W
C4	58.75	75.00	44°53'00"	57.23	N22°32'07"W
C5	26.60	97.00	15°42'35"	26.51	S07°55'10"E
C6	16.19	25.00	37°06'36"	15.91	S02°46'52"W
C7	92.59	40.00	132°37'34"	73.26	S44°58'37"E
C8	16.19	25.00	37°06'36"	15.91	N87°15'54"E
C9	26.50	97.00	15°39'09"	26.42	S82°00'21"E
C10	25.40	40.00	36°22'43"	24.97	S86°53'57"W
C11	29.88	40.00	42°48'15"	29.19	N53°30'33"W
C12	25.80	40.00	36°57'09"	25.35	N13°37'52"W
C13	11.51	40.00	16°29'27"	11.47	N13°05'27"E
C14	18.26	97.00	10°47'05"	18.23	N10°22'55"W
C15	8.34	97.00	4°55'29"	8.34	N02°31'55"W

TANGENT DATA		
NUMBER	BEARING	DISTANCE
T1	N00°08'23"E	10.89
T2	N89°51'37"W	22.00
T3	S89°37'37"E	64.00
T4	S00°22'23"W	104.00
T5	N00°08'23"E	22.00
T6	N89°37'37"W	3.12
T7	N46°50'32"E	26.90
T8	N49°17'04"E	30.76
T9	S89°37'37"E	11.97
T10	S45°01'23"W	5.38
T11	N00°08'23"E	36.63

LOT AREAS			
LOT NO.	ACREAGE	LOT NO.	ACREAGE
116	0.1074	130	0.1477
117	0.1213	131	0.1163
118	0.1074	132	0.1137
119	0.1313	133	0.1355
120	0.1074	134	0.1033
121	0.1074	135	0.1033
122	0.1074	136	0.1033
123	0.1194	137	0.1033
124	0.1313	161	0.1033
125	0.1074	164	0.1148
126	0.1074	165	0.1033
127	0.1100	166	0.1033
128	0.1188	167	0.1033
129	0.2427	168	0.1080

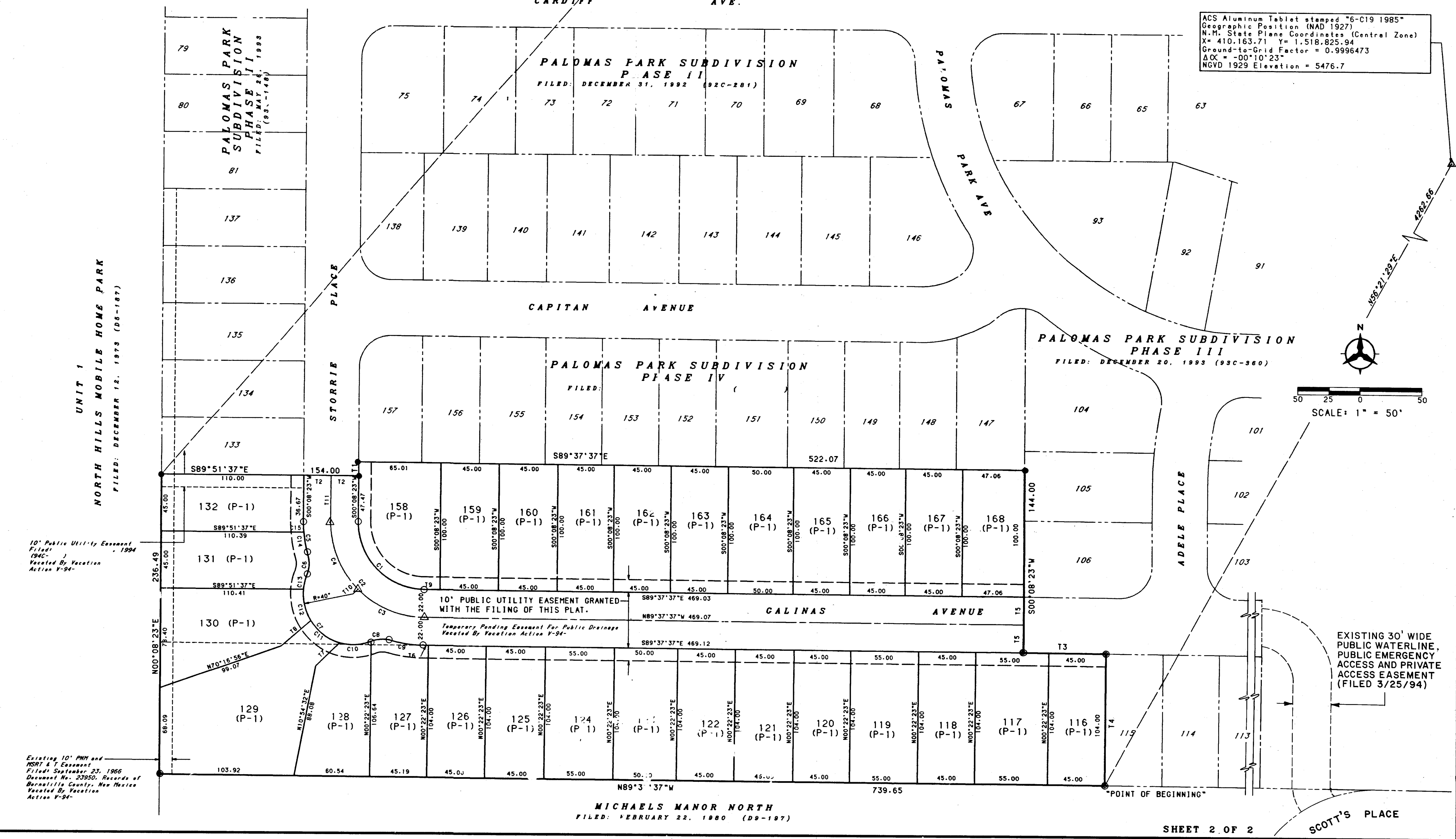
USC & GS Brass Tablet stamped "HEAVEN 1969"  
 Geographic Position (NAD 1927)  
 N.M. State Plane Coordinates (Central Zone)  
 X= 407,051.31 Y= 1,518,737.03  
 Ground-to-Grid Factor = 0.99965263  
 AOC = -00°10'45"  
 NGVD 1929 Elevation = 5378.787

LEGEND  
 SUBDIVISION BOUNDARY LINE  
 NEW LOT LINE  
 ADJOINING PROPERTY LINE  
 MONUMENT TIE LINE  
 EXISTING EASEMENT LINE  
 NEW EASEMENT LINE  
 CENTERLINE MONUMENT TO BE INSTALLED  
 FOUND CAPPED REBAR STAMPED "WEAVER LS 6544"  
 CITY OF ALBUQUERQUE SURVEY CONTROL MONUMENT  
 SET 5/8" CAPPED REBAR STAMPED "WEAVER LS 5444"

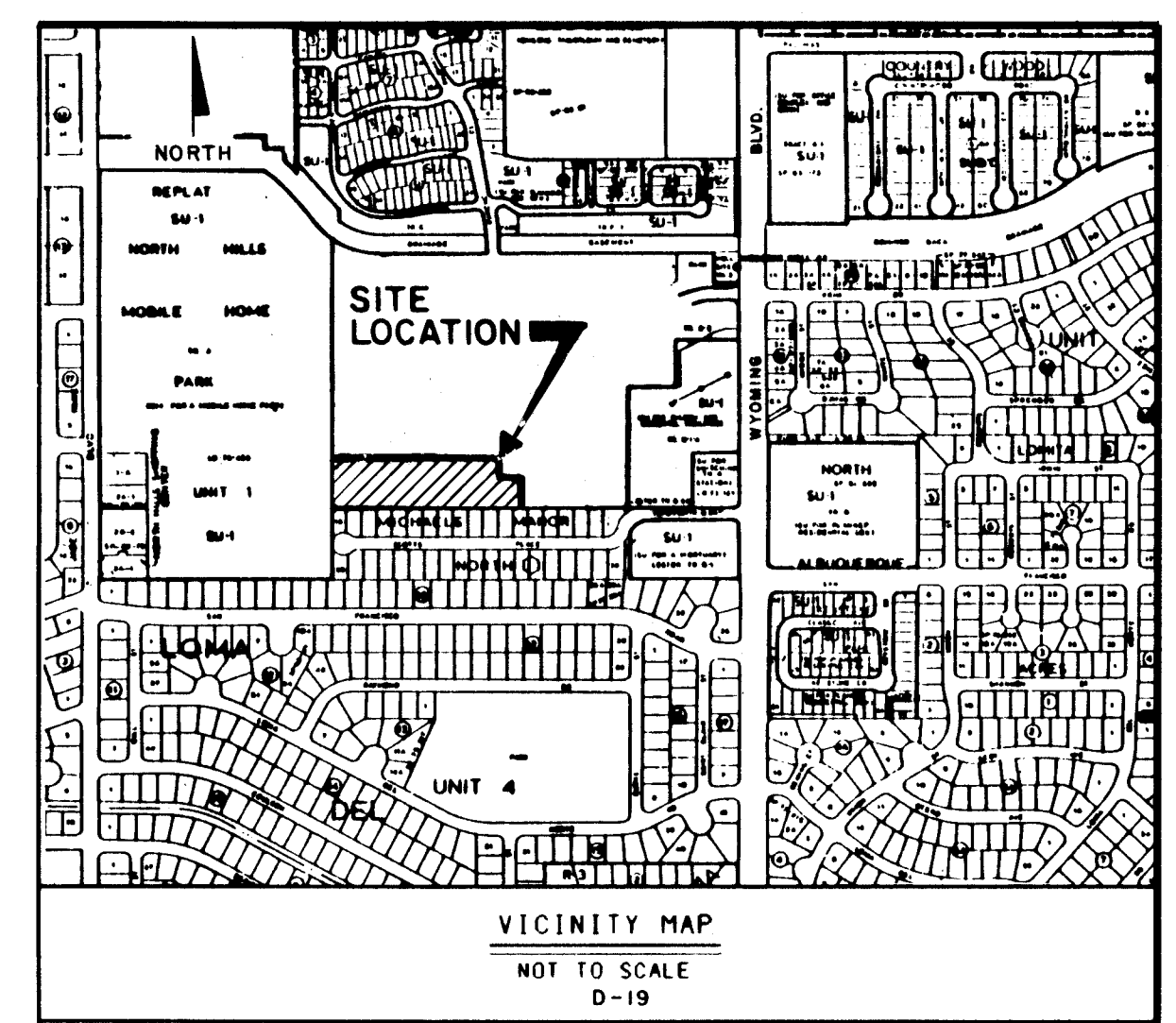
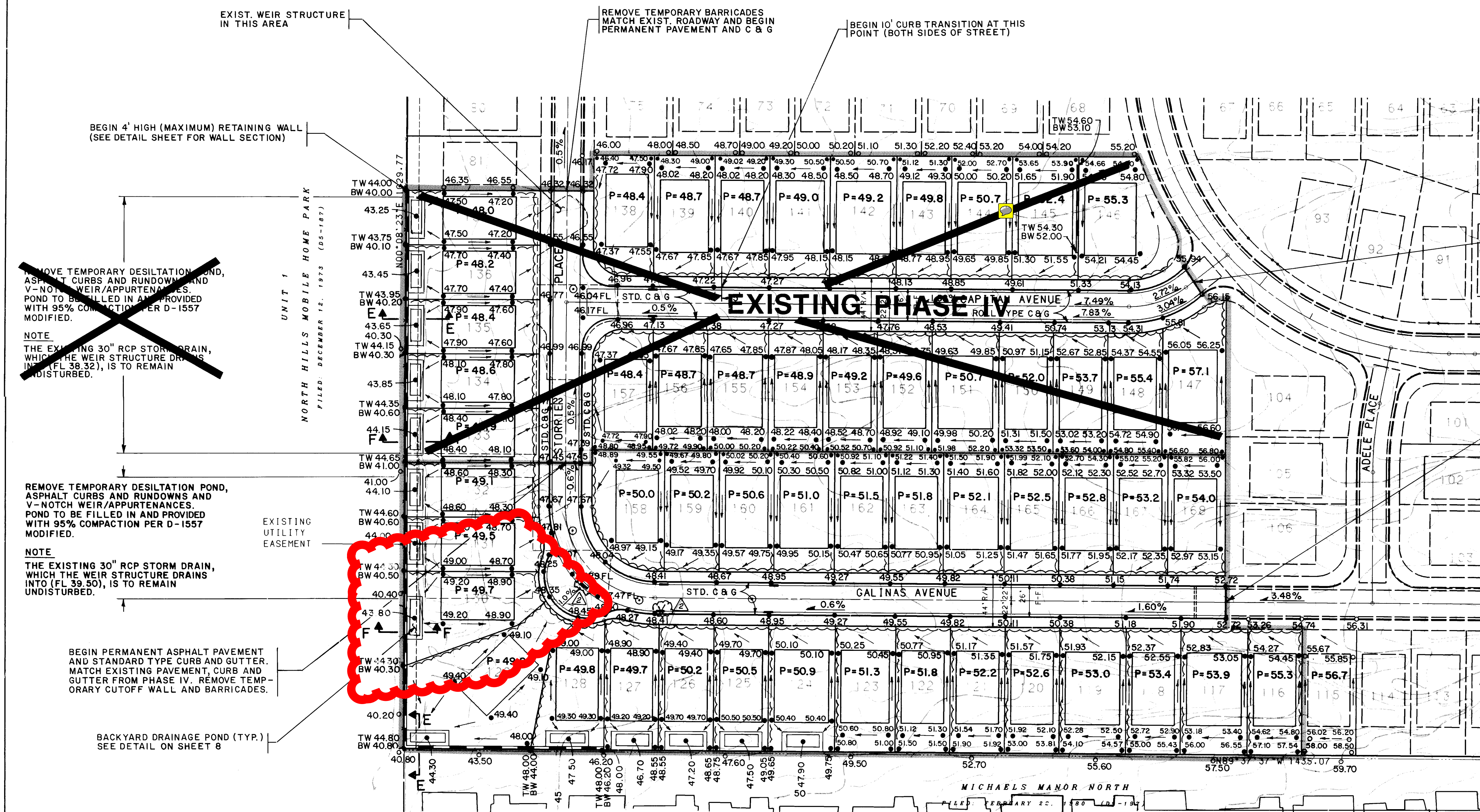
# PLAT OF PALOMAS PARK SUBDIVISION PHASE V ALBUQUERQUE, NEW MEXICO JANUARY, 1994

NOTE: CENTERLINE (IN LIEU OF R/W) MONUMENTATION IS TO BE INSTALLED AT SELECTED CENTERLINE P.C.'S, P.T.'S, ANGLE POINTS AND STREET INTERSECTIONS PRIOR TO ACCEPTANCE OF SUBDIVISION STREET IMPROVEMENTS AND WILL CONSIST OF FOUR-INCH (4") ALUMINUM CAP (WITH MAGNET ATTACHED) STAMPED "CITY OF ALBUQUERQUE", "CENTERLINE MONUMENT", "DO NOT DISTURB", "P.L.S. NO. 6544".

ACS Aluminum Tablet stamped "6-C19 1985"  
 Geographic Position (NAD 1927)  
 N.M. State Plane Coordinates (Central Zone)  
 X= 410,163.71 Y= 1,518,825.94  
 Ground-to-Grid Factor = 0.9996473  
 AOC = -00°10'23"  
 NGVD 1929 Elevation = 5476.7







NOTICE TO CONTRACTORS

- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATIONS FOR THIS PERMIT.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986, AS AMENDED WITH UPDATE #4.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATION SERVICE, 266-1990, FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE TO RESIDENTIAL STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
- THE CONTRACTOR IS TO REFER TO EARTHWORK SPECIFICATIONS AS NOTED IN THE SOILS REPORT PREPARED BY VINYARD AND ASSOCIATES DATED SEPTEMBER 28, 1992.
- THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST CONTROL MEASURES AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
- THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AS PER DETAIL THIS SHEET AND WETTING THE SOIL TO KEEP IT FROM BLOWING.
- ALL SLOPES MAXIMUM OF 4:1 UNLESS AS OTHERWISE INDICATED.
- ALL SPOT ELEVATIONS ALONG THE PROPOSED STREETS ARE TO TOP OF STANDARD OR MOUNTABLE ROLL TYPE CURB AND GUTTER (AS LABELED) UNLESS OTHERWISE NOTED.

DRAINAGE PLAN

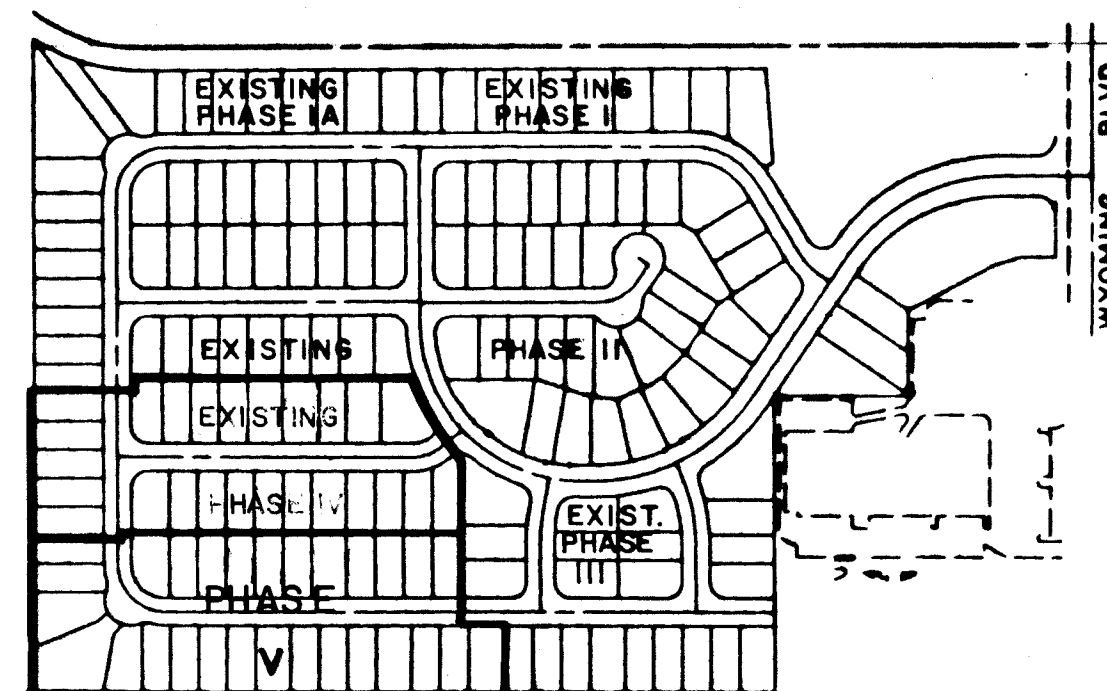
THIS PHASE DRAINAGE PLAN CONFORMS TO THE OVERALL DRAINAGE PLAN OF THE ENTIRE SITE (SEE PALOMAS PARK SUBDIVISION DRAINAGE REPORT ON JUNE 1992, #D19-D1B.)

THE WEST END TEMPORARY DESILTATION POND, RECONSTRUCTED AS A PART OF PHASE III, WILL BE RELOCATED SOUTH OF THE PHASE IV BOUNDARY LIMITS (SEE SHEET 1 OF 1).

RUNOFF FROM THE CHURCH PROPERTY AND FROM THE SOUTHERN PORTION OF PHASE III WILL BE DIRECTED DOWN GALINAS AVENUE TO THE WEST AS PHASE III GRADING AND DRAINAGE. (SEE PHASE III GRADING AND DRAINAGE PLAN.)

THE SIZE AND VOLUME OF THE RELOCATED DESILTATION POND REMAINS THE SAME FROM PHASE III TO THIS PHASE. REFER TO PHASE III FOR DRAINAGE CALCULATIONS.

A DRAINAGE COVENANT IS PREPARED FOR THE RELOCATED DESILTATION POND. PHASE IV. A PUBLIC EASEMENT IS PLACED OVER THE DESILTATION POND.

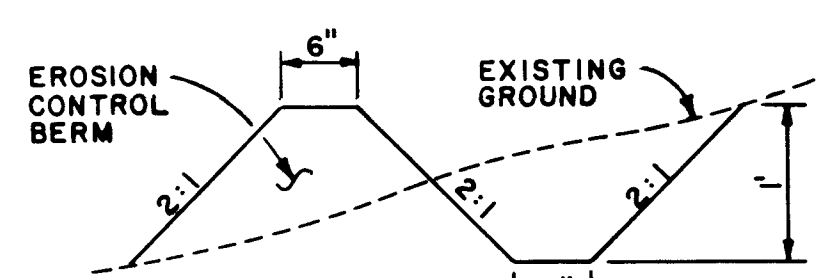


KEY MAP

NO SCALE

APPROVED FOR ROUGH GRADING (± 1')

HYDROLOGY ENGINEER DATE



EROSION CONTROL PLAN

NO SCALE

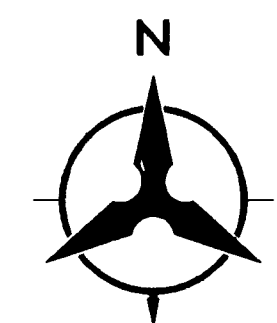
A BERM WITH THE DIMENSIONS SHOWN SHALL BE MAINTAINED DURING CONSTRUCTION UNTIL COMPLETION OF INDIVIDUAL HOMES WITHIN THE PROJECT.

LEGEND

- EROSION CONTROL BERM
- EXISTING GROUND ELEVATION
- PROPOSED GROUND ELEVATION
- DRAINAGE FLOW DIRECTION
- RETAINING WALL
- EXISTING CONTOUR
- PHASE BOUNDARY
- EXISTING STORM DRAIN INLET
- PROPOSED STORM DRAIN INLET
- EXISTING STORM DRAIN MANHOLE
- PROPOSED STORM DRAIN MANHOLE

LEGAL DESCRIPTION

LOTS 116 TO 132, AND 158 TO 168 INCLUSIVE, PALOMAS PARK SUBDIVISION, PHASE V.



SCALE: 1" = 50'

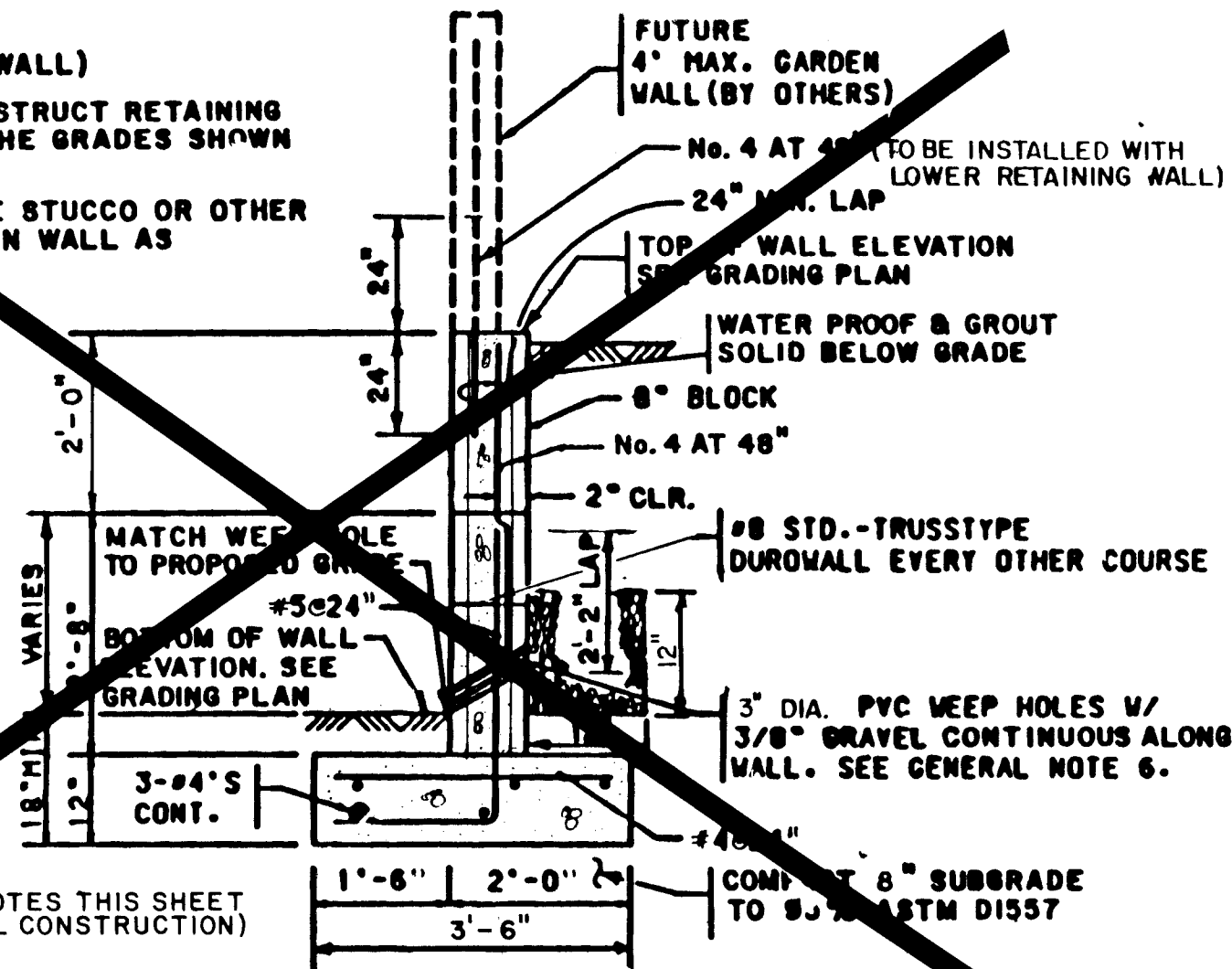
CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING GROUP					
PALOMAS PARK- PHASE V FINAL GRADING & DRAINAGE PLAN					
APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
DRC CHAIRMAN	B. G. Sandoval	4-26-94	WATER	N/A	RWK 4-1-94
TRANSPORTATION	N/A	4-26-94	WASTE WATER	N/A	RWK 4-1-94
HYDROLOGY	J. J. Sandoval	4-26-94			
DRAWING NO.	4510.94	MAP NO.	D-19	SHEET	3 OF 8



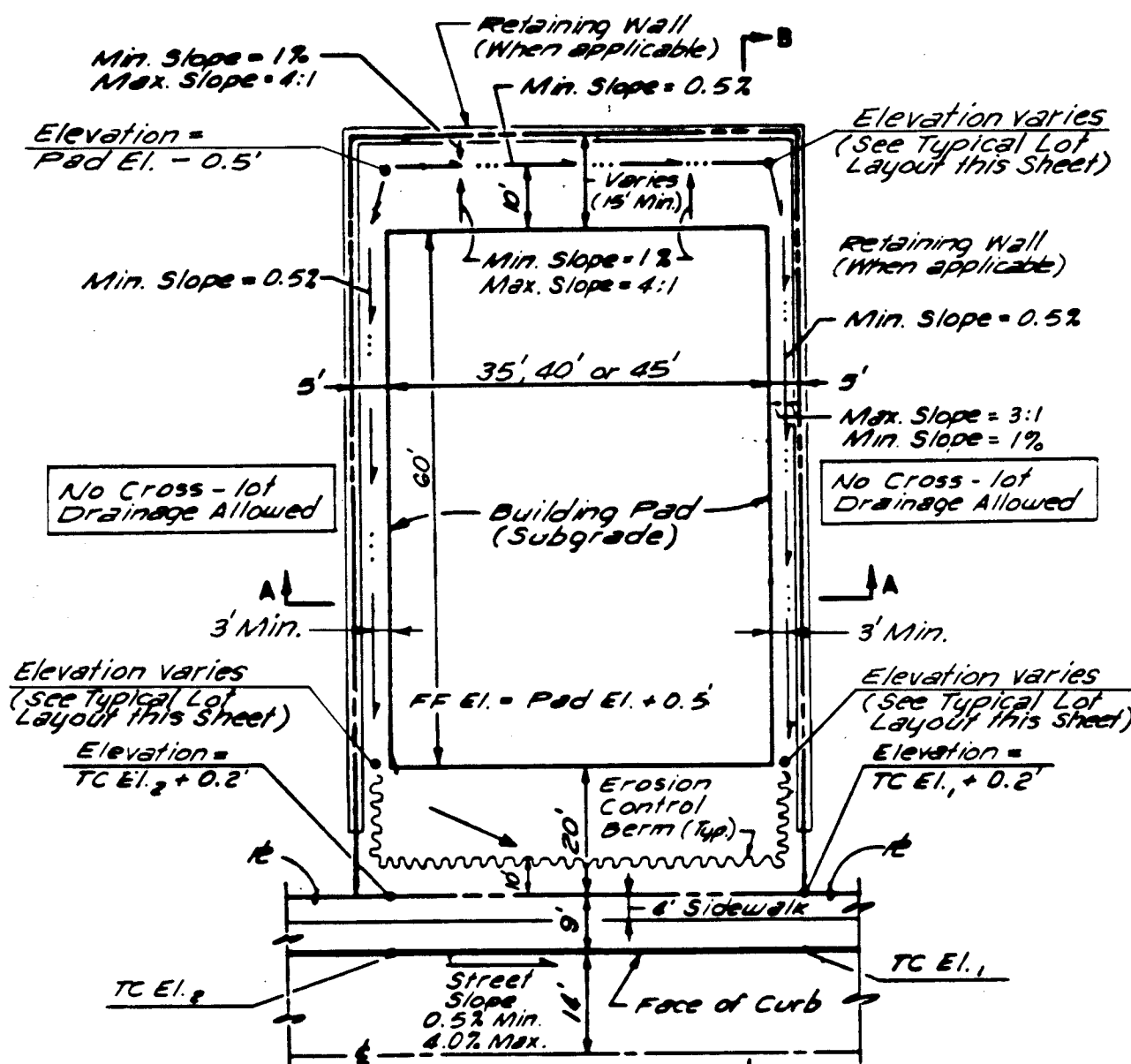
NOTES: (PER RETAINING WALL)

CONTRACTOR SHALL CONSTRUCT RETAINING WALL TO CONFORM TO THE GRADES SHOWN ON THE GRADING PLAN.

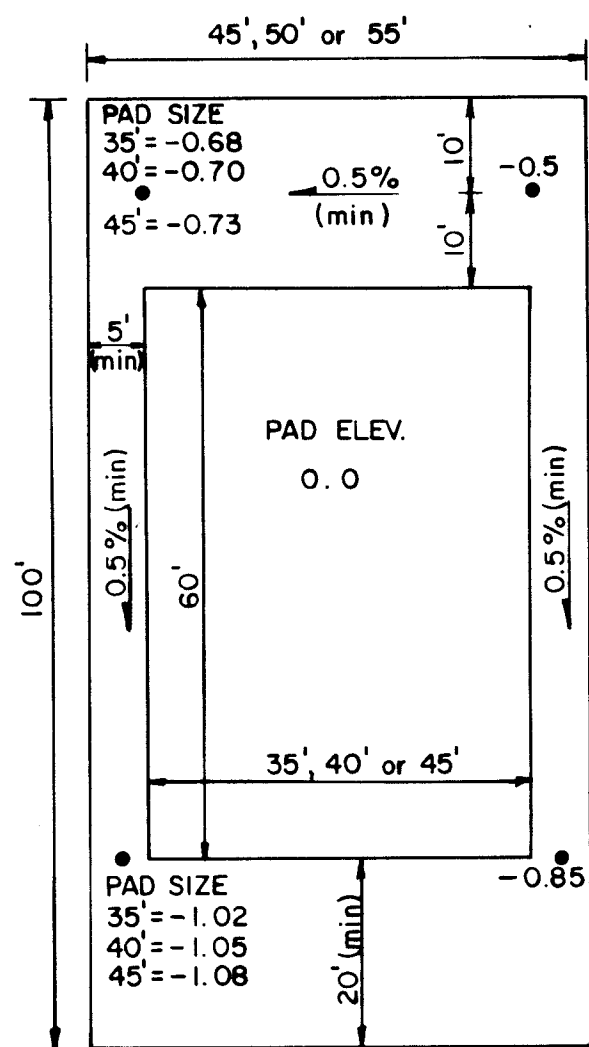
CONTRACTOR TO PROVIDE STUCCO OR OTHER EXTERIOR TREATMENT ON WALL AS REQUIRED BY OWNER.



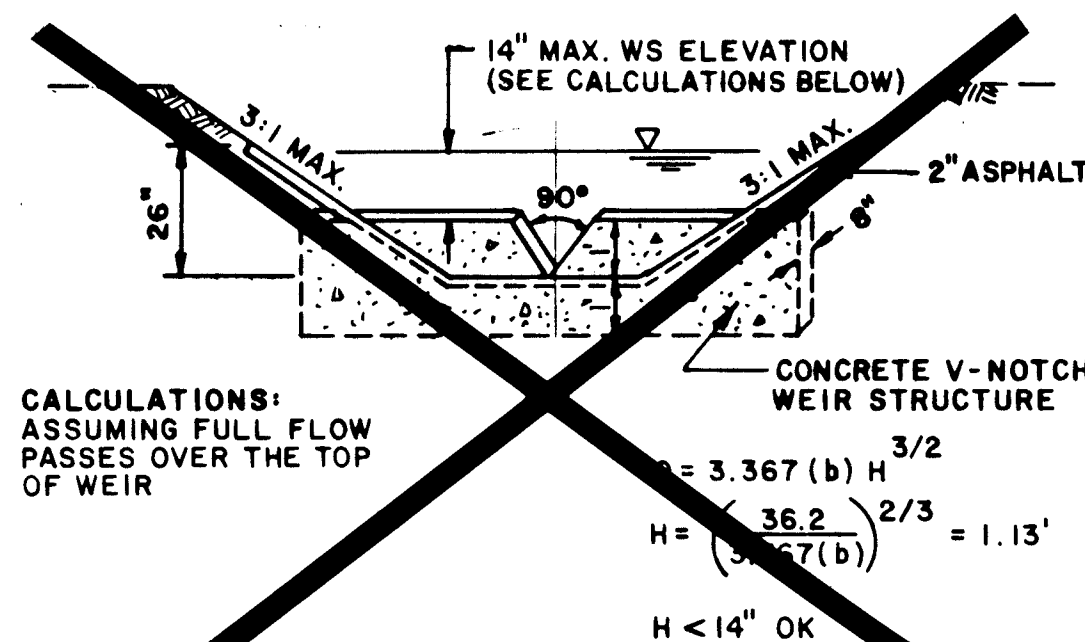
3' TO 4' RETAINING WALL  
NO SCALE



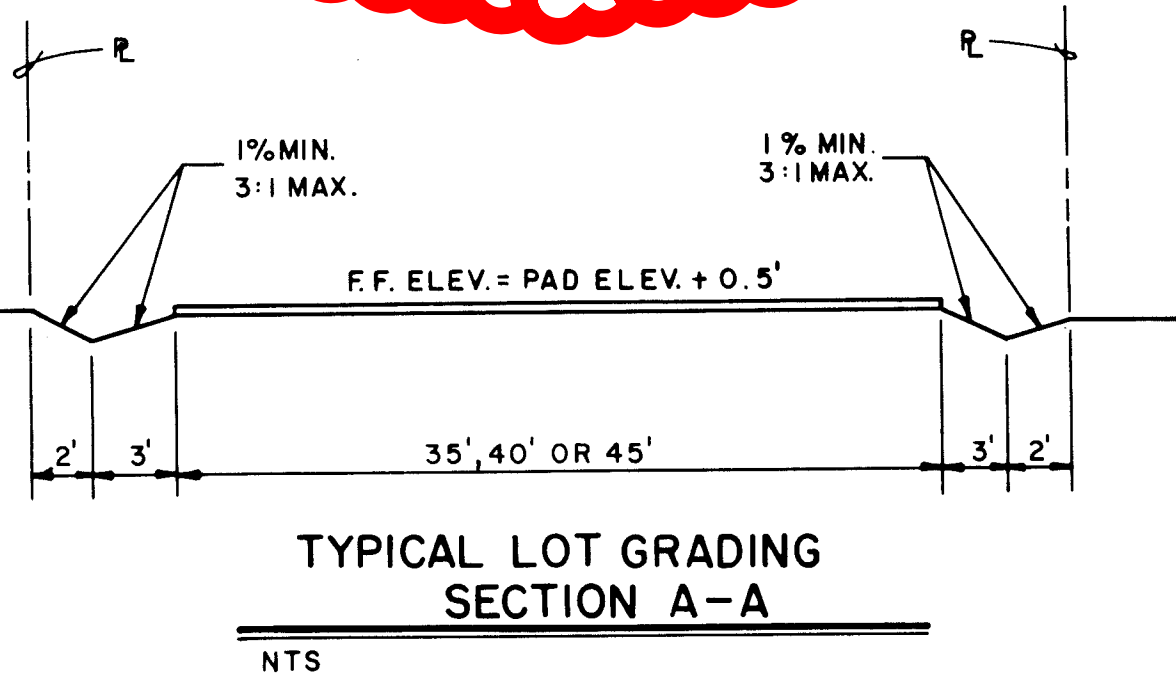
TYPICAL LOT GRADING  
(UNLESS OTHERWISE SHOWN)  
NO SCALE



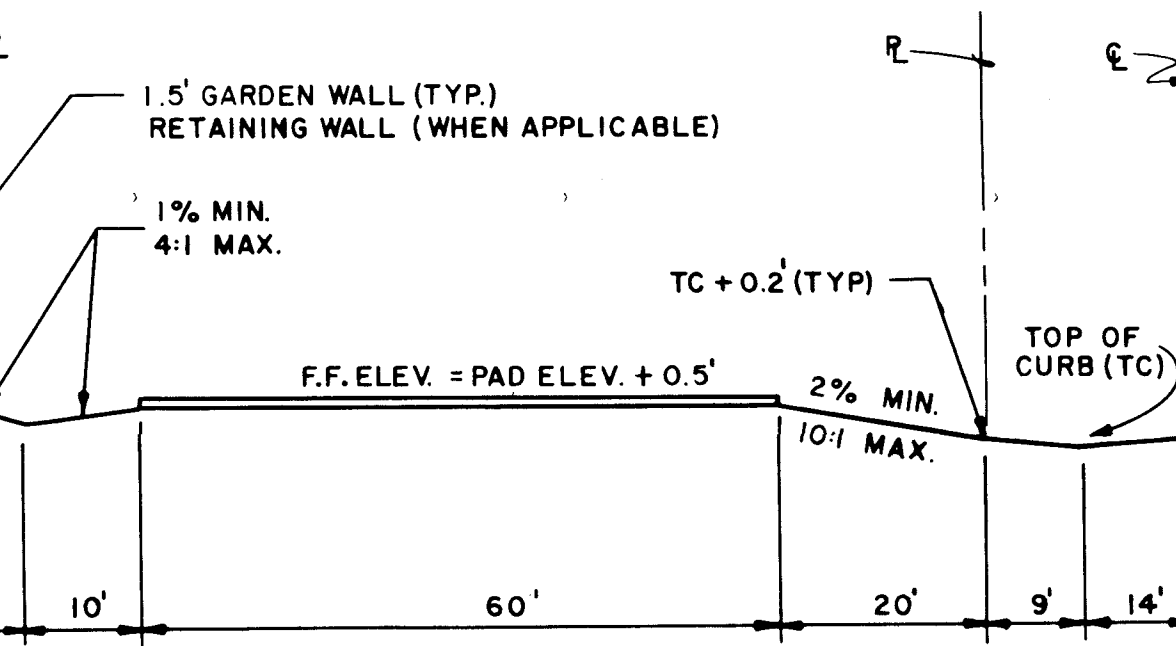
TYPICAL LOT LAYOUT  
NO SCALE



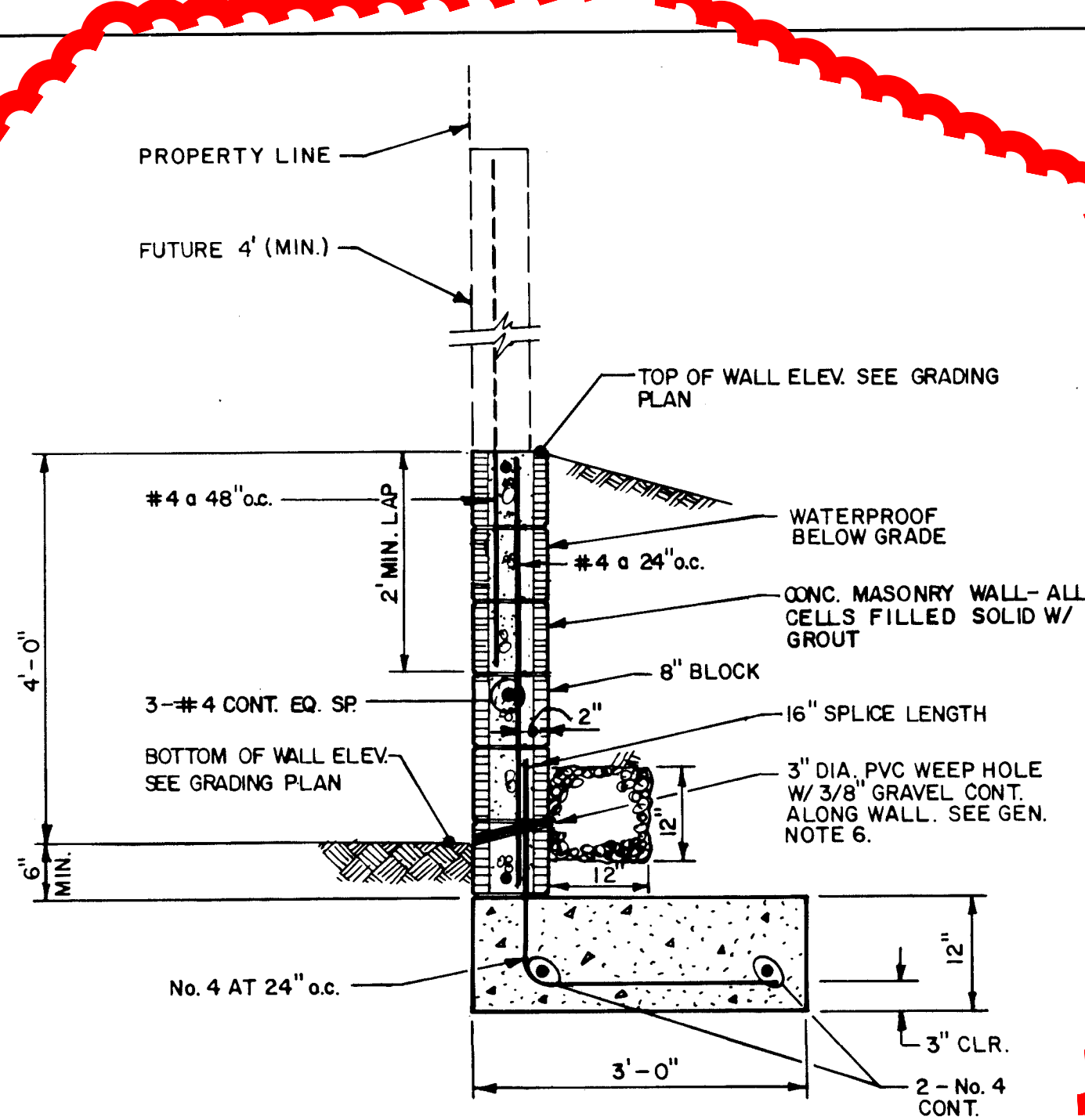
SECTION C-C  
(WEIR STRUCTURE)  
NO SCALE



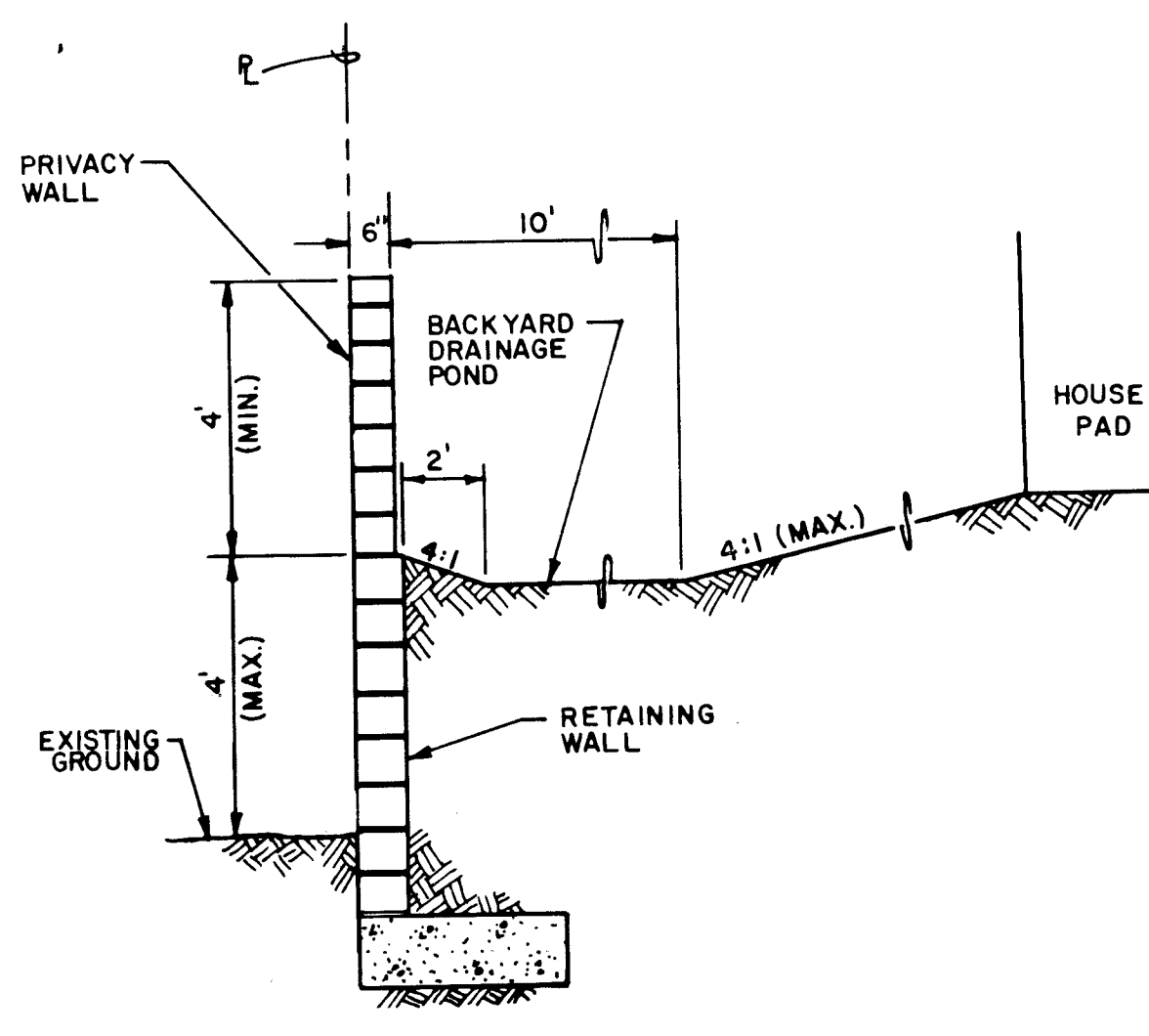
TYPICAL LOT GRADING  
SECTION B-B  
NTS



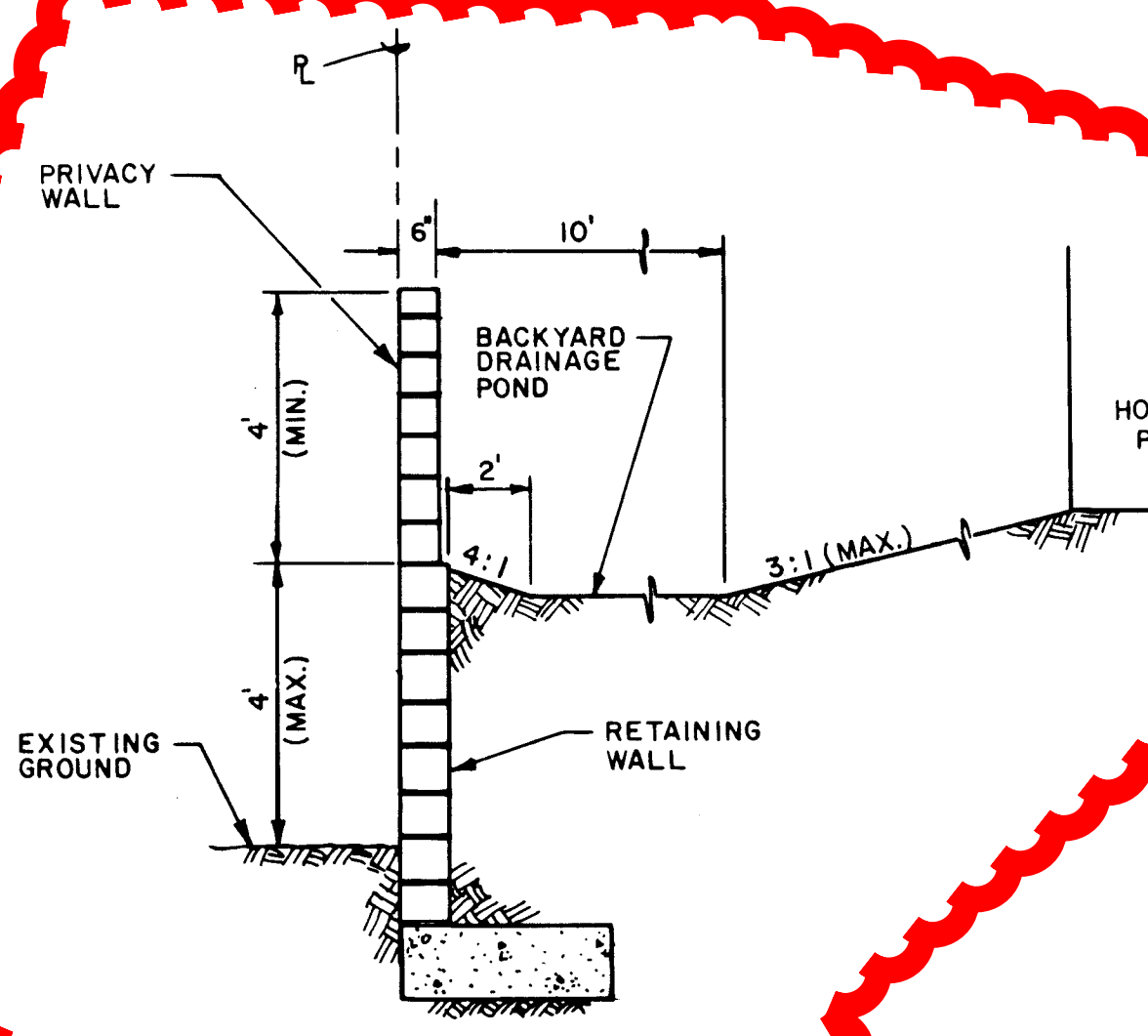
SECTION D-D  
(WEIR STRUCTURE)  
NO SCALE



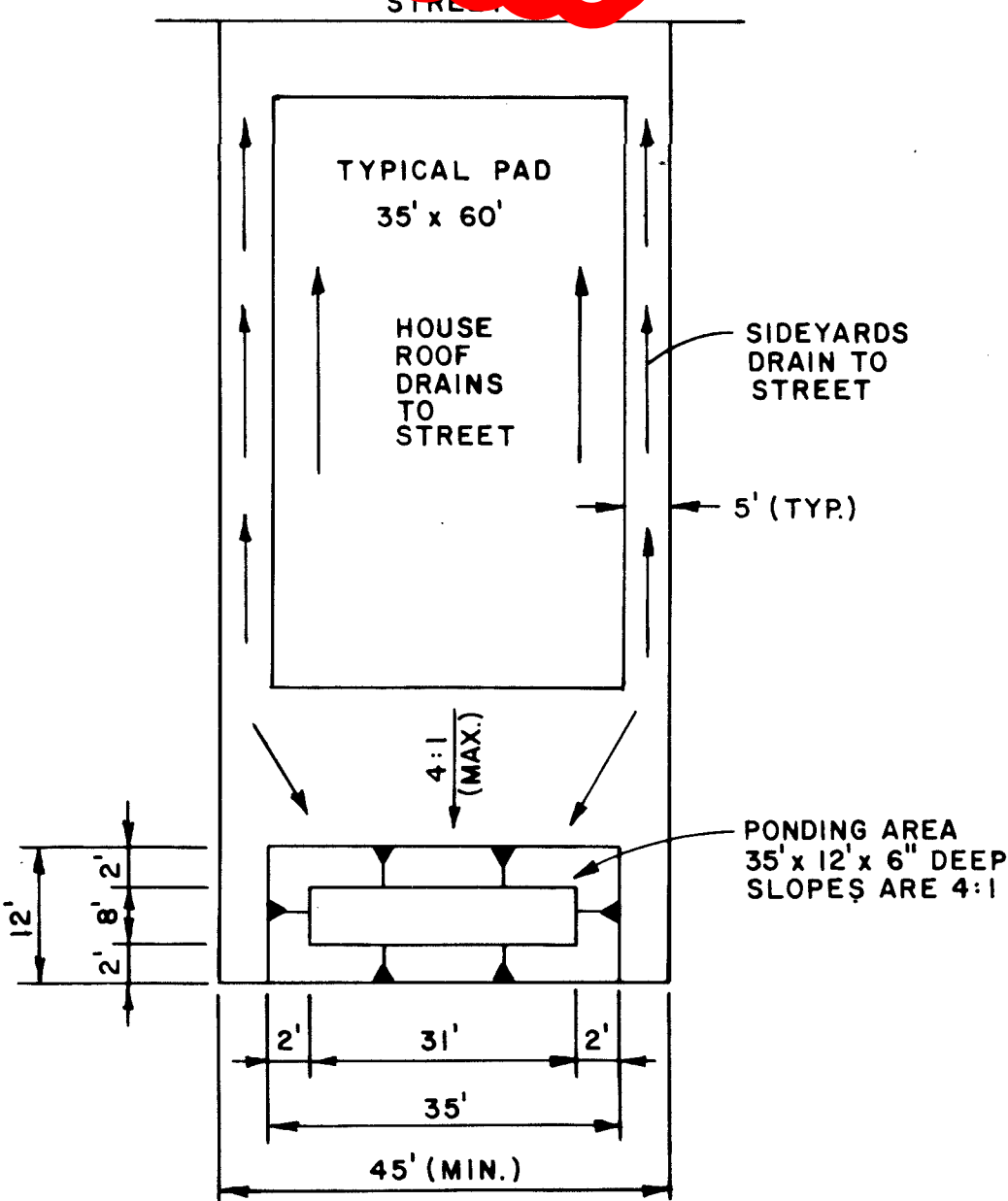
4' RETAINING WALL (PROPERTY LINE TYPE)  
NO SCALE



SECTION E-E  
RETAINING WALL  
(LOTS 128 & 132)  
SCALE: 3/8" = 1'-0"



SECTION F-F  
RETAINING WALL  
(LOTS 130 & 131)  
SCALE: 3/8" = 1'-0"



BACKYARD DRAINAGE POND  
NO SCALE

GENERAL NOTES: RETAINING WALLS

- RETAINING WALL FOOTINGS SHOULD BE EMBEDDED A MINIMUM OF EIGHTEEN (18) INCHES BELOW LOWEST ADJACENT GRADE. PRIOR TO PLACING FOOTINGS, THE EXPOSED SOILS SHOULD BE SCARIFIED TO A DEPTH OF EIGHT (8) INCHES, MOISTURE CONDITIONED TO A NEAR OPTIMUM +/- 3% MOISTURE CONTENT AND COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY ASTM D-1557.
- RETAINING WALL SHALL NOT BE BACKFILLED UNTIL AT LEAST 7 DAYS AFTER PLACING OF FINAL GROUT LEVEL. WHERE HEAVY EQUIPMENT IS USED IN BACKFILLING, SUCH EQUIPMENT SHOULD NOT APPROACH CLOSER TO THE TOP OF THE WALL THAN A DISTANCE EQUAL TO THE HEIGHT OF THE WALL. CARE SHOULD BE TAKEN TO AVOID EXERTING IMPACT FORCES ON THE WALL AS COULD BE CAUSED BY A LARGE MASS OF MOVING EARTH.
- SLOPES UP AWAY FROM WALLS SHOULD NOT EXCEED 3:1
- VERTICAL CONTROL JOINTS WITH PVC INSERTS SHALL BE PLACED AT INTERVALS NOT TO EXCEED 30'-0" ON CENTER. PILASTERS MAY BE SUBSTITUTED FOR CONTROL JOINTS WHEN PLACED AT 12'-0" INTERVALS. DISCONTINUE DUROWALL EACH SIDE OF PILASTERS.
- MINIMUM LAP SPICE ON REINFORCING BARS SHALL BE 30" BAR DIAMETERS OR 1'-4" MINIMUM. REINFORCEMENT OF A SIZE AND SPACING OTHER THAN THAT GIVEN IN THE TABLES MAY BE USED PROVIDING SUCH OTHER REINFORCEMENT FURNISHES AN AREA OF STEEL AREA AT LEAST EQUAL TO THAT GIVEN IN THE TABLE.
- CONSTRUCTION OF RETAINING WALLS SHALL CONFORM TO REQUIREMENTS OF THE UNIFORM BUILDING CODE SECTION 24, LOWLIFT GROUTING METHOD.
- OMISSION OF A VERTICAL MORTAR JOINT ON FIRST COURSE AT 48" O.C. MAY BE SUBSTITUTED FOR PVC WEEP HOLES.
- DESIGN DATA  
BLOCK WEIGHT 12" = 130 PSF  
BLOCK WEIGHT 8" = 85 PSF  
SOIL WEIGHT = 120 PCF  
EQUIV. FLUID PRESSURE = 35 PCF  
SOIL BEARING PRESSURE = 1500 PSF  
COEFFICIENT OF FRICTION = 0.4  
PASSIVE SOIL PRESSURE = 300 PCF  
CONCRETE (1" 28 DAYS) = 3000 PSI  
GROUT STRENGTH = 2000 PSI  
CMU GRADE N = 1500 PSI (GROUTED)  
REINFORCEMENT = 60 KSI ASTM A-615
- CONTRACTOR SHALL NOTIFY ENGINEER PRIOR TO CONCRETE FOOTING POUR FOR INSPECTION OF COMPACTION UNDER FOOTING, FOOTING DEPTH AND WIDTH AND WALL STEEL AND SPACING. FINAL INSPECTION OF FOOTING AND WALL WILL BE REQUIRED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CODE ADMINISTRATION APPROVAL AND FEES ASSOCIATED WITH IT.
- PLACEMENT OF THE REINFORCING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. IMPROPER PLACEMENT OF FOOTINGS OR REINFORCEMENT SHALL BE CORRECTED AT NO COST TO THE OWNER.

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15  
26 4510 940894

CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING GROUP			
PALOMAS PARK - PHASE V DETAIL SHEET			
APPROVALS	ENGINEER	DATE	APPROVALS
DRG CHAIRMAN	B. G. Ambler	4-26-94	WATER
TRANSPORTATION	M. P. 2440	4-20-94	WASTE WATER
HYDROLOGY	J. J. 2440	4-17-94	
DRAWING NO.	4510.94	MAP NO.	D-19
SHEET	8	OF	8