

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

May 9, 2022

Sheldon E. Greer, P.E.
Development Managing Consultants
9320 Menaul Blvd. NE Suite D
Albuquerque, NM 87112

**RE: Santa Barbara Subdivision Replat of Lot 2 Block 16
Grading & Drainage Plan
Engineer's Stamp Date: 04/22/22
Hydrology File: D19D001F**

Dear Mr. Greer:

Based upon the information provided in your submittal received 04/29/2022, the Grading & Drainage Plan is **not** approved for Grading Permit and for action by the DRB on Preliminary Plat. The following comments need to be addressed for approval of the above referenced project:

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

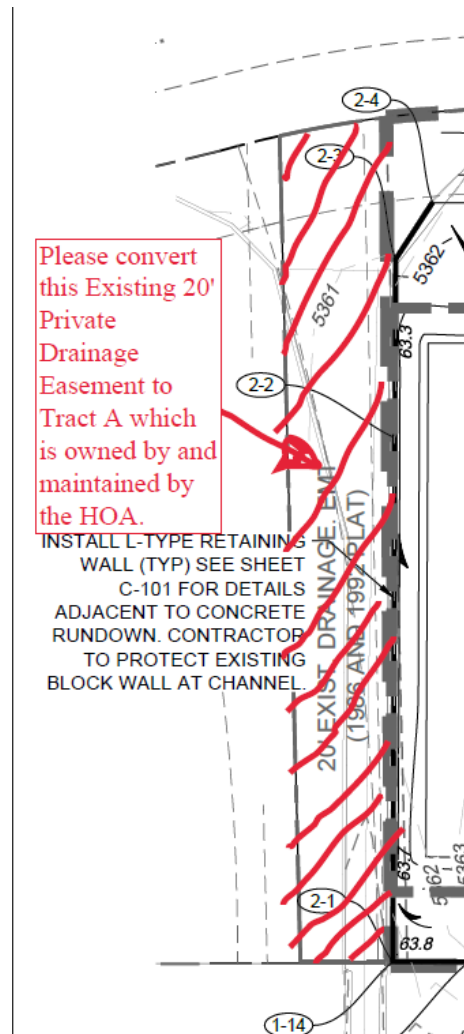
1. Under the Background. Please fix the Block information. This is Block 16 and not Block 17.
2. Under the Methodology. Please refer to Article 6-2(a) of the Development Process Manual (DPM) and not Chapter 22 (this was the old DPM).
3. Please use the procedure for 40 acre and smaller basins as outlined in Development Process Manual (DPM) Article 6-2(a). Please provide both the existing conditions and proposed conditions for the 100 year-6 hour storm event.
4. Please also include the existing and proposed calculations for the existing concrete channel. Please use the entire watershed that goes into this channel. This being said, an aerial can be used to show the extent of the watershed. I want to ensure that the concrete channel will be able to handle the change from what is there now and when the lot is converted to townhomes.
5. The existing 20' Private Drainage Easement which has the existing concrete channel needs to be converted to Tract A which is owned and maintained by the HOA. This easement should not be part of Lot 2-D.

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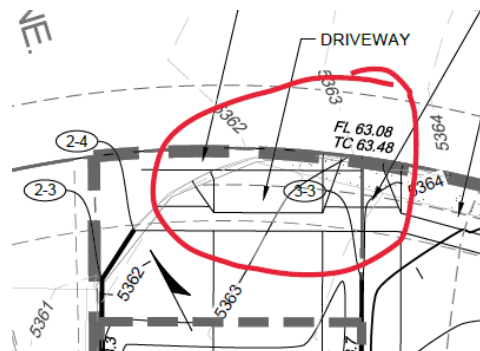
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- Typically, the drive pad cannot be built on a radius. Please consult Transportation Section.



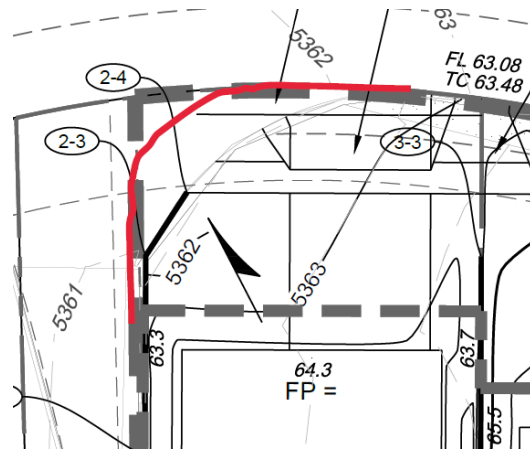
This problem can be solved with extending the curb & gutter along the property line and then have a smaller radius after the drive pad as shown below.

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As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Dough Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

PO Box 1293

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Albuquerque

Sincerely,

Renée C. Brissette

NM 87103

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department

www.cabq.gov



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: SANTA BARBRA Re-Plat **Building Permit #:** _____ **Hydrology File #:** _____
DRB#: PR-2021-006297 **EPC#:** _____ **Work Order#:** _____
Legal Description: LOT 2 BLOCK 16, SANTA BARBRA SUBDIVISION
City Address: 7300 SANTA BARBRA RD. NE ALBUQUERQUE, NM 87109

Applicant: Development Managing Consultants (Agent) Rachel Matthew Development Corp. **Contact:** Steve Hernandez
Address: 9320 Menaul Blvd. NE Albuquerque, NM 87112
Phone#: 505-228-1401 **Fax#:** _____ **E-mail:** steve@dmcnm.com

Other Contact: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF DEVELOPMENT: 4 lots PLAT (# of lots) _____ RESIDENCE _____ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL? _____ Yes ☒ No

DEPARTMENT _____ TRANSPORTATION ☒ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
☐ PAD CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
☐ DRAINAGE REPORT
☐ DRAINAGE MASTER PLAN
☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
☐ ELEVATION CERTIFICATE
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ STREET LIGHT LAYOUT
☐ OTHER (SPECIFY) _____
☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
☐ FLOODPLAIN DEVELOPMENT PERMIT
☐ OTHER (SPECIFY) _____

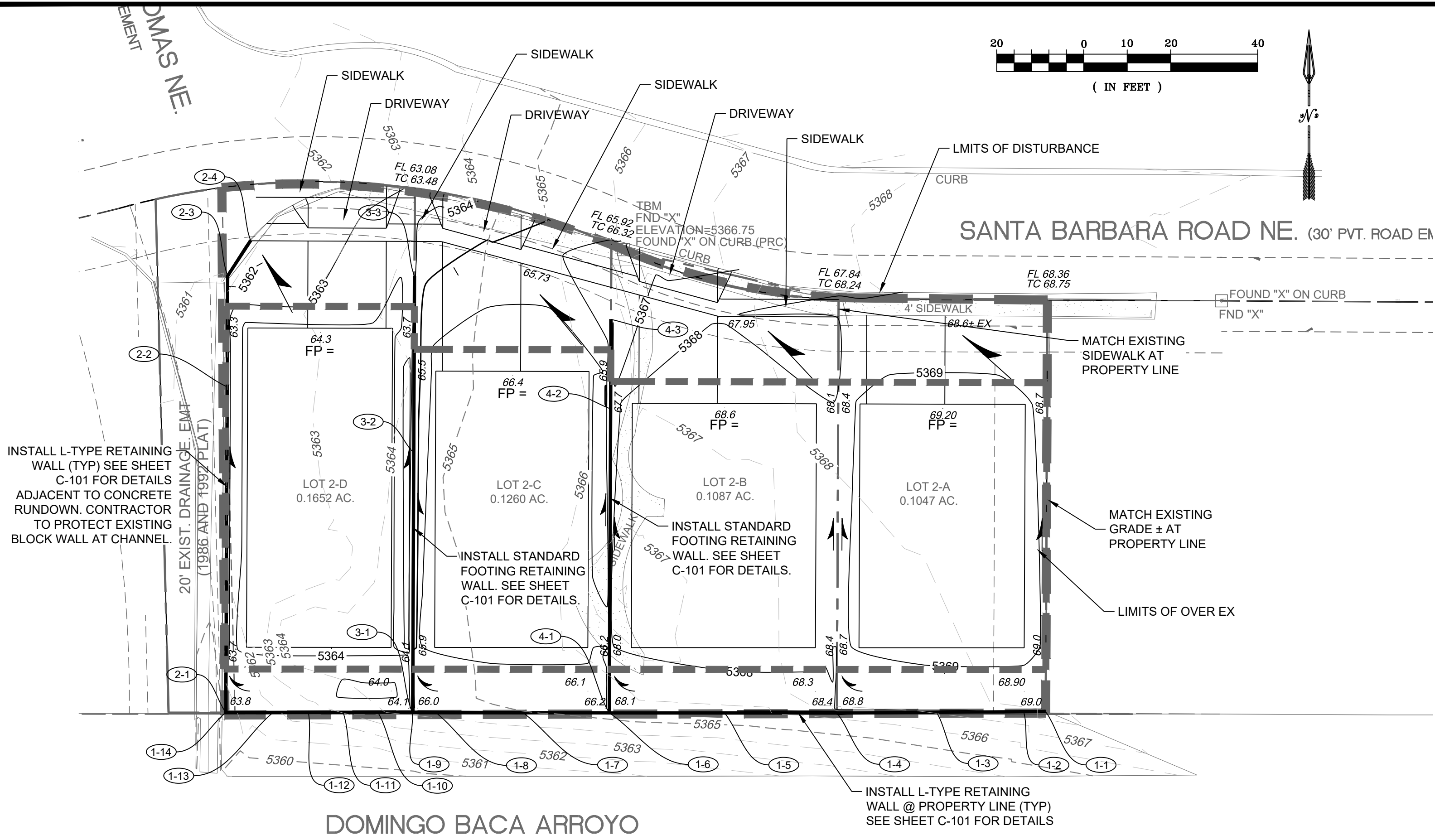
DATE SUBMITTED: 04.29.2022 **By:** Steve Hernandez

COA STAFF:

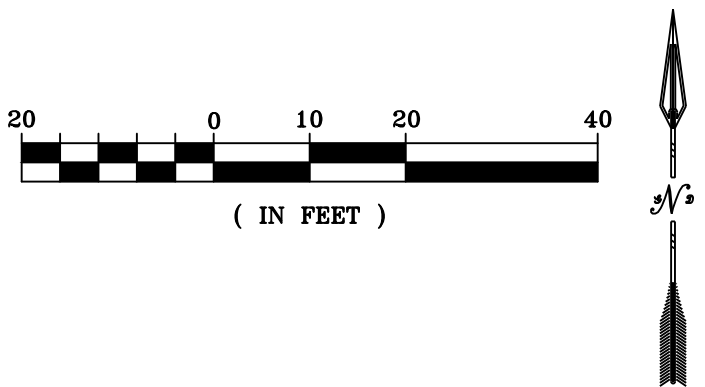
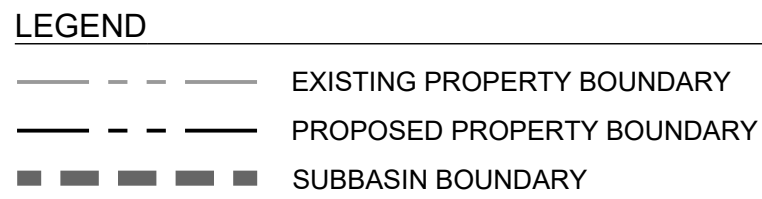
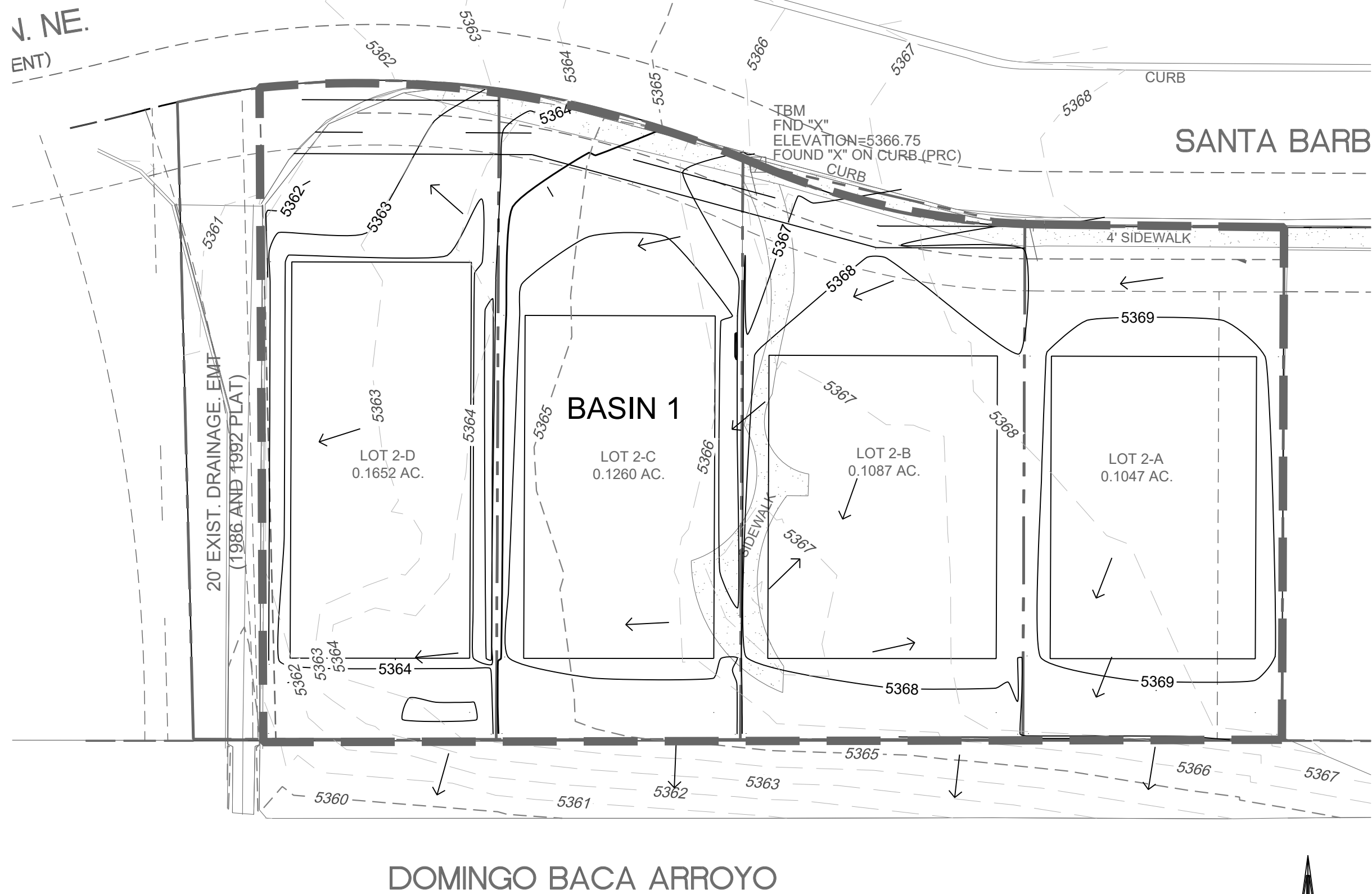
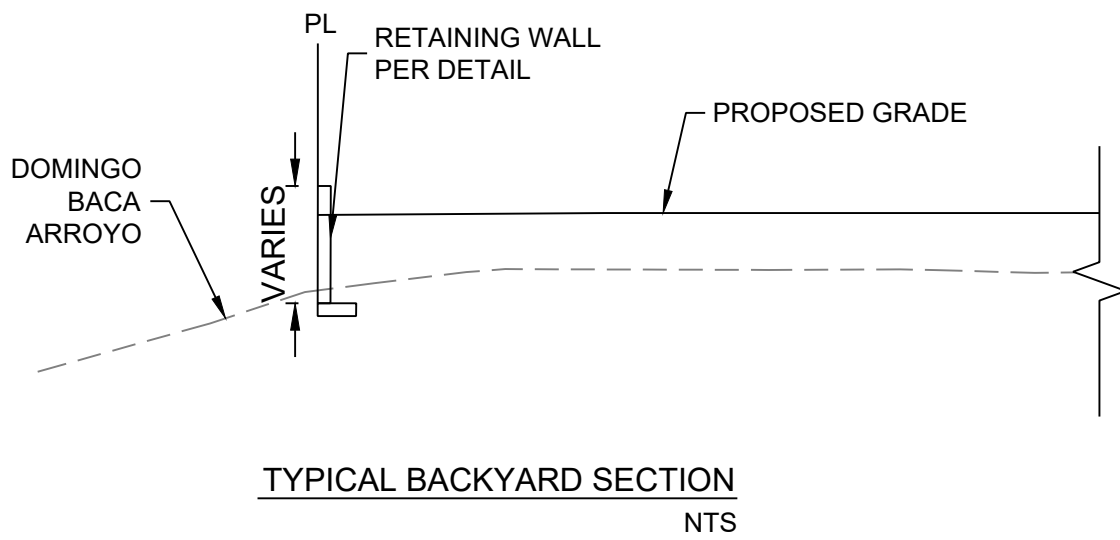
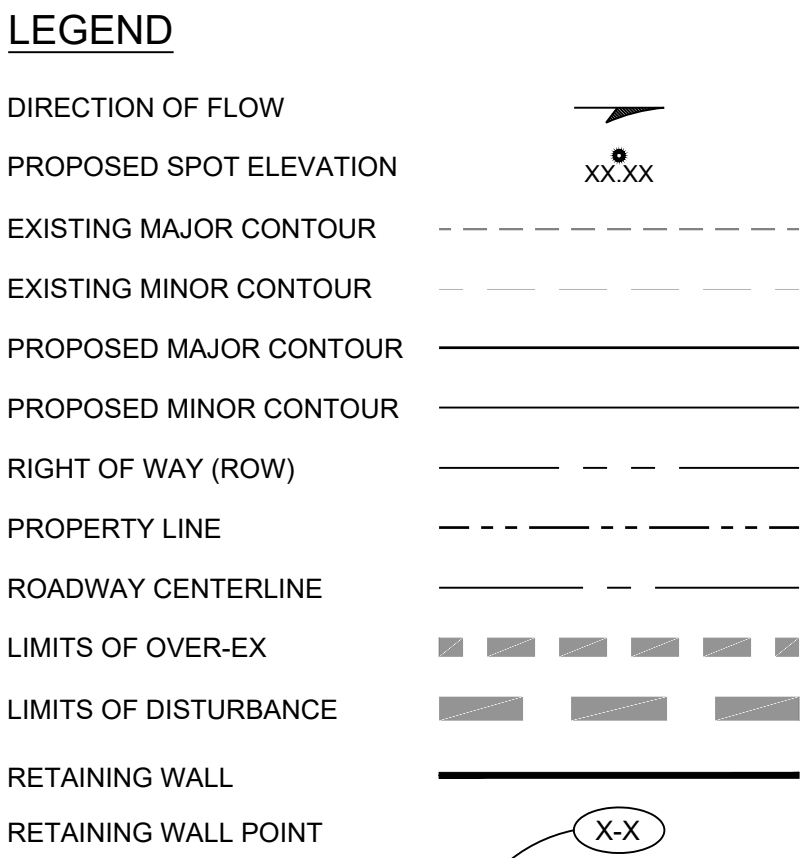
ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

NAME: N:\Projects\Potential Projects\###\###\Advelling Norwich\Santa Barbara\3 DWG\3 Sheets\Santa Barbara G&D.dwg PLOT DATE: Apr 22, 2022 12:54pm LSB: Sid Gariss



RETAINING WALL TABLE				
WALL POINT	TOP OF WALL	TOP OF FOOTING ELEVATION	WALL HEIGHT (FT)	APPROX. DISTANCE
1-1	69.00	67.00		
		STEP FOOTING	2.00	5.0
1-2	69.00	67.00/66.33		
1-3	69.00	66.33/65.67	2.67	20.0
1-4	69.00	65.67/65.00	3.33	23.0
1-5	69.00/68.33	65.00/64.33	4.00	26.0
1-6	68.33/66.33	64.33	4.00	26.0
1-7	66.33	64.33/63.67	2.00	26.3
1-8	66.33	63.67/63.00	2.67	20.0
1-9	66.33/64.33	63.00	3.33	20.0
1-10	64.33	63.00/62.33	1.33	5.2
1-11	64.33	62.33/61.67	2.00	8.0
1-12	64.33	61.67/61.00	2.67	8.0
1-13	64.33	61.00/60.33	3.33	8.0
1-14	64.33	60.33	4.00	10.5
2-1	64.33	61.00	3.33	75.0
2-2	61.00	61.00		
2-3	63.67/63.00	61.00	2.67	25.0
2-4	61.67	61.00	0.67-2.67	10.0
3-1	66.33	63.00	3.33	60.0
3-2	66.33/65.67	63.00		
3-3	65.67	63.00	2.67	40.0
4-1	66.33	65.00	3.33	70.0
4-2	66.33/65.67	65.00		
4-3	65.67	65.00	2.67	20.0



BACKGROUND

TRACT 2, BLOCK 17 SANTA BARBARA SUBDIVISION PARK SQUARE IS APPROXIMATELY 0.5 ACRES IN THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO. THE PROPERTY IS LOCATED JUST SOUTH OF SANTA BARBARA ROAD NE BETWEEN WYOMING BOULEVARD AND RANCHO DE PALOMAS. THE SITE CURRENTLY IS AN ABANDONED RECREATIONAL AREA.

METHODOLOGY

HYDROLOGY CALCULATIONS FOR THE SITE ARE PERFORMED IN ACCORDANCE WITH THE ALBUQUERQUE DEVELOPMENT PROCESS MANUAL (DPM) SECTION 22.2 USING THE RATIONAL METHOD (AHYMO) TO CALCULATE PEAK FLOW RATES IN ORDER TO ENSURE ALL FLOW PATHS ARE SUFFICIENT TO CARRY FLOWS.

EXISTING CONDITIONS

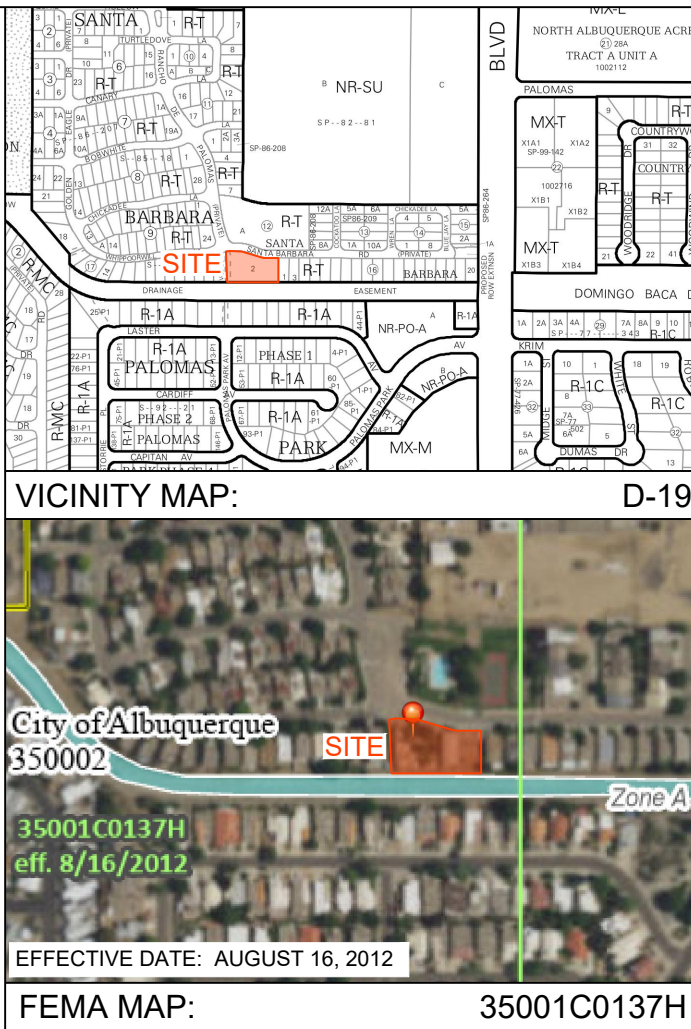
THE PROPOSED PROJECT AREA, IN GENERAL, SLOPES FROM EAST TO WEST AT AN APPROXIMATE SLOPE OF 3% - 4%. STORM WATER RUNOFF FROM LOT 2 SHEET DRAINS EAST TO WEST. LOCATED IN AN EASEMENT ALONG THE WESTERN BOUNDARY OF LOT 2 IS AN EXISTING CONCRETE RUNDOWN THAT DISCHARGES THE STORM WATER RUNOFF FROM THE NEIGHBORHOOD DIRECTLY INTO THE DOMINGO BACA ARROYO. THIS PROPERTY IS NOT IMPACTED BY OFFSITE FLOWS. THERE IS NO DESIGNATED 100-YEAR FLOODPLAIN ON THE SITE. A PORTION OF LOT 2 DRAINS TO SANTA BARBARA ROAD, A PORTION DRAINS SOUTH, UNDER AN EXISTING WOODEN FENCE AND DIRECTLY INTO SAID ARROYO AND A PORTION DRAINS DIRECTLY INTO SAID CONCRETE RUNDOWN.

PROPOSED CONDITIONS

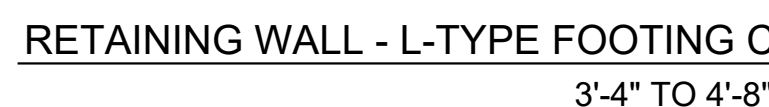
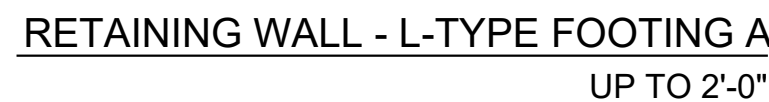
THE PROPOSED PROJECT WILL SUBDIVIDE LOT 2 INTO 4 TYPICAL INDIVIDUAL SINGLE FAMILY HOME LOTS. THE SITE WILL BE GRADED TO DRAIN DIRECTLY TO SANTA BARBARA ROAD SO THAT STORM WATER IS DIRECTED TO THE STREET. RUNOFF THEN ENTERS THE EXISTING CONCRETE CHANNEL FROM THE STREET AND IS DISCHARGED IN A CONTROLLED MANNER TO THE DOMINGO BACA ARROYO.

CONCLUSIONS

THE EXISTING RUNOFF FROM THE SITE GENERATES 1.16 CFS IN THE 100-YR 6-HR EVENT. THE PROPOSED CONDITIONS INCREASE THIS RUNOFF TO 1.95 CFS IN THE SAME STORM EVENT. THIS INCREASE IN RUNOFF RELATIVE TO THE DISCHARGE TO THE ARROYO AT THIS LOCATION IS MINIMAL AND WILL HAVE NO IMPACT ON THE STREET FLOW. THE RUNDOWN OR THE ARROYO. NO MITIGATION OF THIS SMALL INCREASE IN RUNOFF IS PROPOSED.



	CITY OF ALBUQUERQUE	
	DEPARTMENT OF MUNICIPAL DEVELOPMENT	
	ENGINEERING DIVISION	
	SANTA BARBARA IMPROVEMENTS	
GRADING AND DRAINAGE PLAN		ZONE MAP NO.
DESIGN REVIEW COMMITTEE		CITY ENGINEER APPROVAL
CITY PROJECT NO.		NA
SHEET NO.		1 of 2



Technical drawing showing a cross-section of a wall and footing. The wall is 8" thick and constructed of 8" CMU with black fill in all cells. The footing is 4'-6" wide and 10" deep. Reinforcement includes #4 bars at 32" OC vertically, #4 J-BAR at 16" OC horizontally, and #4 @ 16" OC transverse. Longitudinal reinforcement consists of 5 #4 bars and 2 #4 bars. The drawing also indicates the finished grade, omit head joint in the 2nd course at 48" OC for weep hole, and roughen surface at CMU.

Labels and dimensions include:

- FINISHED GRADE
- 8" PL
- 3"
- 8" CMU W/ BLK. FILL ALL CELLS
- #4 @ 32" OC
- J-BAR
- 33"
- 14"
- 2'-8" TO 3'-4"
- 8"
- 10"
- 3"
- 3"
- 4'-6"
- OMIT HEAD JOINT IN 2ND COURSE @ 48" OC FOR WEEP HOLE
- FINISHED GRADE
- ROUGHEN SURFACE AT CMU
- #4 @ 16" OC TRANSVERSE
- 5-#4 LONGITUDINAL
- 2-#4 LONGITUDINAL

RETAINING WALL - L-TYPE FOOTING B
2'-8" TO 3'-4"




NOTE:
FINISHED GRADE SHALL BE LEVEL WITH OR BELOW TOP OF RETAINING
PORTION OF WALL, AND NO ADDITIONAL SURFACE LOADS SHALL BE
PLACED, WITHIN AN AREA FROM FACE OF WALL TO A DISTANCE EQUAL
TO THE RETAINED EARTH HEIGHT.

1. COMPACT SUBGRADE TO 95% MIN. RELATIVE DENSITY (12" MIN. DEPTH) PER ASTM D1557. IF CLAY OR LOOSE SAND IS ENCOUNTERED, CONTACT THE ENGINEER BEFORE PROCEEDING.
2. COMPACT BACKFILL TO 90% MIN. RELATIVE DENSITY PER ASTM D1557. CONTRACTOR IS RESPONSIBLE FOR METHOD OF PLACEMENT AND COMPACTION OF BACKFILL MATERIAL TO ENSURE THAT LOADS SUFFICIENT TO CAUSE DAMAGE TO WALL ARE NOT EXCEEDED.
3. MAINTAIN 2" MINIMUM CLEARANCE BETWEEN ALL REINFORCING BARS AND OUTSIDE SURFACE OF FORMED CONCRETE. 3" BETWEEN BARS AND OUTSIDE SURFACE OF CONCRETE POURED AGAINST EARTH.
4. ALL BLOCKS ARE TO BE GROUTED SOLID WITH CONCRETE BLOCK FILL. GROUT SHALL MEET OR EXCEED 2,000 P.S.I. AT 28 DAYS.
5. CONCRETE FOR FOOTINGS SHALL MEET OR EXCEED 3,000 P.S.I. AT 28 DAYS, WITH 3/4" MAXIMUM SIZE AGGREGATE, AND A MAXIMUM SLUMP OF 5".
6. MASONRY MORTAR SHALL MEET OR EXCEED THE REQUIREMENTS OF ASTM C 270, TYPE M.
7. WALL BLOCKS ARE TO BE STANDARD MASONRY UNITS (8"x8"x16" OR AS OTHERWISE INDICATED) AND SHALL MEET OR EXCEED THE REQUIREMENTS OF ASTM C90.
8. ALL REINFORCING SHALL MEET OR EXCEED THE REQUIREMENTS OF ASTM A615, GRADE 40.
9. INSTALL 9 GA., GALV. DUR-O-WAL (OR APPROVED EQUAL) EVERY OTHER COURSE (16" OC), OR BOND BEAM WITH 2-#4 REBAR EVERY THIRD COURSE (24" OC, MAX.).
10. REINFORCING STEEL SPLICES SHALL HAVE 24" MIN. LAPS.
11. THE TOP COURSE OF BLOCK SHALL USE 2" SOLID MASONRY UNITS AS CAPS. UNLESS A CMU PARTY OR PERIMETER WALL IS TO BE INSTALLED ON TOP OF A RETAINING WALL.
12. DRAIN BLOCKS FOR PARTY WALLS, AT LOCATIONS SHOWN ON THE PLANS AND AS SPECIFIED BY OWNER, SHALL CONSIST OF STANDARD MASONRY UNITS TURNED FACE DOWN. THEY SHALL BE INSTALLED THROUGH THE PARTY WALL ABOVE THE RETAINING WALL SECTION AFTER THE RETAINING WALL SECTION IS COMPLETE AND BACKFILLED.
13. ALL WALLS FACING PUBLIC ROW MUST BE SPRAYED WITH ANTI-GRAFITTI COATING. USE PROSOCO DEFACER ERASER OR APPROVED EQUAL. (AT OWNERS DIRECTION).
14. IF WALL IS TO BE CONSTRUCTED WITH PILASTERS (TO BE SPECIFIED BY OWNER), THEN CONSTRUCT PILASTERS AT 16' ON CENTER (MAXIMUM), AND AS APPROPRIATE FOR CORNERS, JUNCTIONS, ANGLE POINTS AND ENDS. PILASTER BLOCKS ARE TO BE SIZED APPROPRIATELY FOR THE INTENDED APPLICATION. THE TOP OF PILASTERS SHALL HAVE 2" SOLID MASONRY UNITS OF APPROPRIATE SIZE UNLESS CMU PARTY WALL IS TO BE INSTALLED ON TOP OF RETAINING WALL.
15. ALL CMU AND MORTAR COLOR SHALL BE AT THE OWNERS DIRECTION.
16. IF NO PILASTERS ARE TO BE CONSTRUCTED THE APPROPRIATE EXPANSION / CONTRACTION JOINTS SHALL BE PROVIDED AT 12' O.C. MAXIMUM SPACING.
17. ALL WALLS SHOWN HERE ON HAVE BEEN DESIGNED TO ACCEPT A 6" (MAX.) CMU PARTY WALL.
18. FOR LOCATIONS TO INCLUDE PARTY WALLS, EXTEND #4 BARS AT 48" O.C. WITH MINIMUM INBEDMENT OF 24" IN RETENTION WALL.
19. WATERPROOFING SHALL BE HYDROCIDIC LIQUID MEMBRANE HLM 5000 OR APPROVED EQUAL, AND SHALL BE APPLIED FROM FINISHED GRADE TO TOP OF FOUNDATION.
20. PARTY WALL DETAILS NOT INCLUDED, TO BE PROVIDED BY OWNER.
21. WALL, INCLUDING FOOTING, SHALL NOT EXTEND INTO ANY ADJACENT PROPERTY OWNED BY OTHERS WITHOUT THE WRITTEN CONSENT OF THE ADJACENT PROPERTY OWNER.

1. IF WALL IS TO BE CONSTRUCTED WITH PILASTER (TO BE SPECIFIED BY OWNER), THEN CONSTRUCT PILASTER AT 16" ON CENTERS (MAXIMUM), AND AS APPROPRIATE FOR CORNERS, JUNCTIONS, ANGLE POINTS AND ENDS. PILASTER BLOCKS ARE TO BE SIZED APPROPRIATELY FOR THE INTENDED APPLICATION.
2. THE TOP OF PILASTER SHALL HAVE 2" SOLID MASONRY UNITS OF APPROPRIATE SIZE UNLESS CMU PARTY WALL IS TO BE INSTALLED ON TOP OF RETAINING WALL.
3. ALL PILASTER CELLS ARE TO BE GROUTED SOLID WITH CONCRETE.
4. PROVIDE ONE J-BAR OF SPECIFIC SIZE FOR EACH.
5. PROVIDE ADDITIONAL BAR(S) AS SPECIFIED FOR WALL AT EACH PILASTER IF NORMAL OPENING DOES NOT DO SO.
6. PROVIDE 2#4 BARS AT EACH PILASTER WITH MINIMUM INBEDMENT OF 24" IN RETAINING WALL FOR LOCATIONS TO INCLUDE CMU PARTY WALL.



	CITY OF ALBUQUERQUE DEPARTMENT OF MUNICIPAL DEVELOPMENT ENGINEERING DIVISION	
	SANTA BARBARA IMPROVEMENTS RETAINING WALL DETAILS	
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	ZONE MAP NO. D-19-Z
		CITY PROJECT NO. NA
		SHEET NO. 2 of 2