

# CITY OF ALBUQUERQUE



November 15, 2016

Asa Nilsson-Weber, P.E.  
Isaacson & Arfman, PA  
128 Monroe St NE  
Albuquerque, NM 87108

**Re: Risen Savior Catholic Community Parking Lot Improvements  
7810 Scotts Pl. NE  
Permanent CO – Accepted  
Engineer's Stamp dated: 5-5-16 (D19D002)  
Certification dated: 11-10-16**

Dear Ms. Nilsson-Weber,

Based upon the information provided in your submittal received 11/9/2016, the above referenced Certification received is acceptable for the release of Certificate of Occupancy by Hydrology.

PO Box 1293

If you have any questions, you can contact me at 924-3986 or Totten Elliott at 924-3982.

Albuquerque

Sincerely,

New Mexico 87103

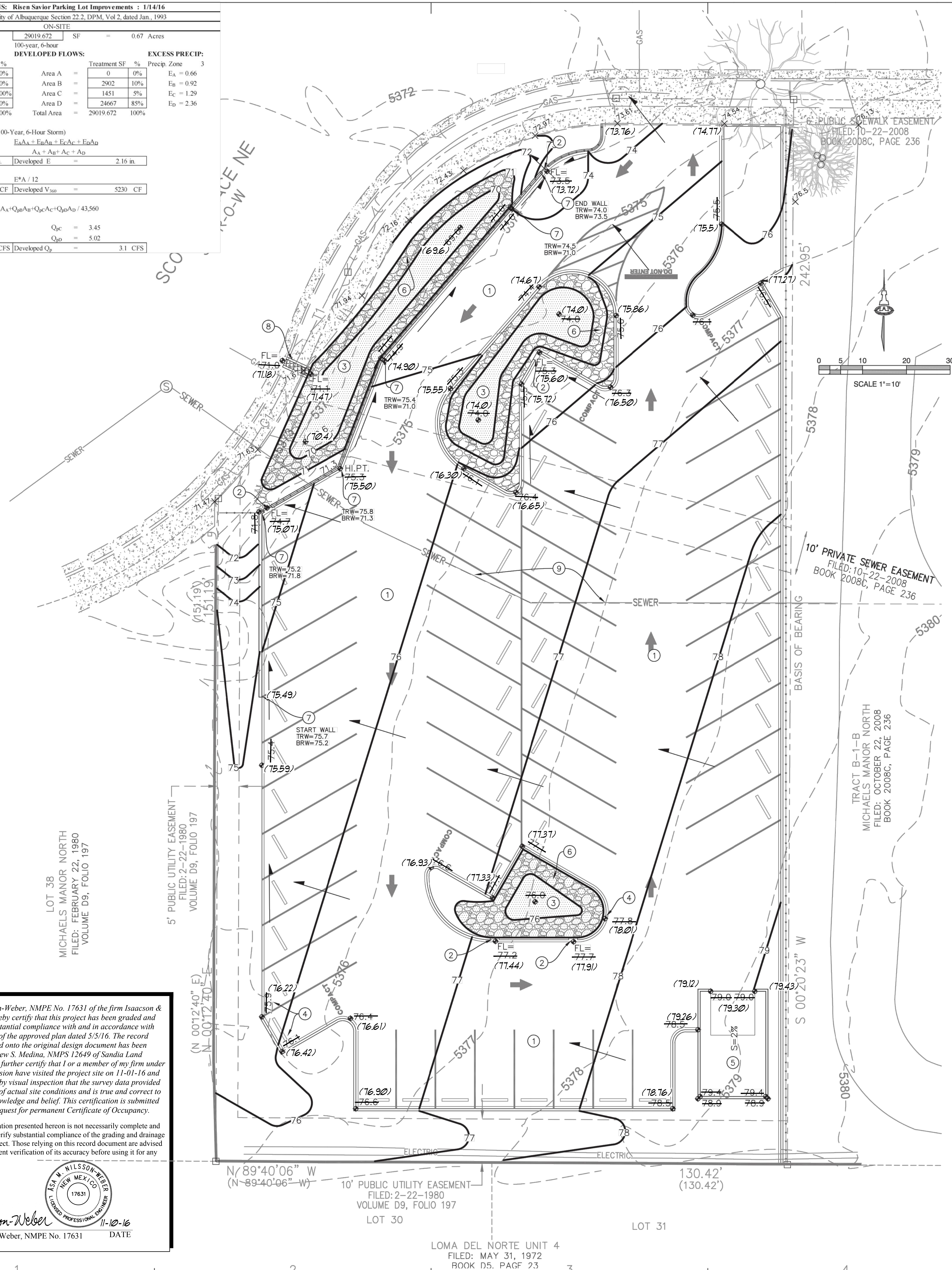
Abiel Carrillo, P.E.,  
Principal Engineer, Planning Department  
Development and Review Services

[www.cabq.gov](http://www.cabq.gov)

TE/AC

C: email, Cordova, Camille C.; Connor, Miranda, Rachel; Sandoval, Darlene M.;  
Blocker, Lois



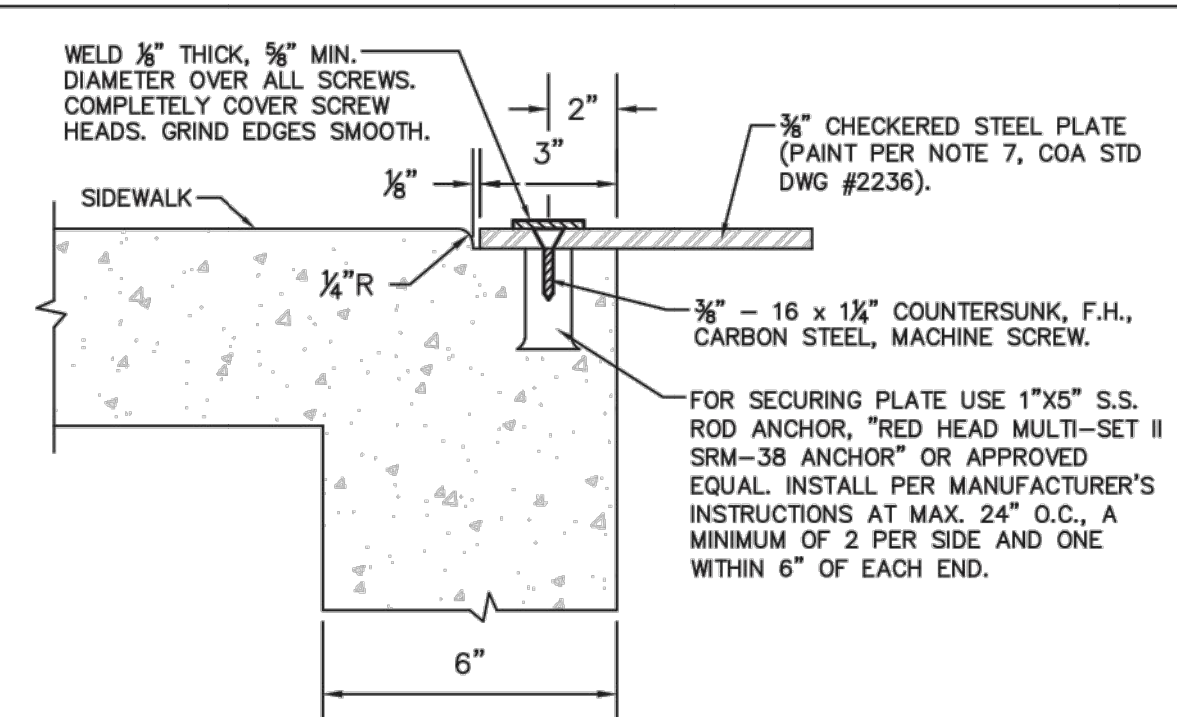


## KEYED NOTES

1. PROPOSED PAVING, SEE PAVING PLAN FOR PAVEMENT MATERIAL, JOINT INFORMATION, SECTIONS, PARKING LAYOUT, DIMENSIONS, STRIPING, ETC.
2. CONSTRUCT 18" WIDE (BOTTOM WIDTH) CURB OPENING AT FLOWLINE (F=L) SHOWN TO PASS "FIRST FLUSH" DISCHARGE, TO RETENTION PONDING AREAS. ALL "FIRST FLUSH" DISCHARGE CURB OPENINGS MUST BE INSTALLED PER PLAN. SEE DETAIL THIS SHEET.
3. DOT HATCHED AREA REPRESENTS EXTENTS OF "FIRST FLUSH" RETENTION PONDING, CONSTRUCT TO ELEVATIONS SHOWN.
4. NOTE: PAVEMENT SLOP ELEVATIONS SHOW FLOWLINE ELEVATION, ADD 0.5' TYPICAL FOR ADJACENT TOP OF CURB / TOP OF WALK ELEVATIONS.
5. NEW GRADE. SEE ARCHITECTURAL FOR ADDITIONAL INFORMATION.
6. INSTALL FRACTURED FACE ROCK EROSION PROTECTION TO LIMITS SHOWN WITH HATCH. SEE GENERAL NOTE "F".
7. CONSTRUCT RETAINING WALL (4' MAX. RETAINING) TO EXTENTS SHOWN. TOP OF WALL = 6" ABOVE ADJACENT PAVEMENT ELEVATIONS. CONTRACTOR TO CONSTRUCT WALL TO MATCH WITH ARCHITECT.
8. CONSTRUCT 2' WIDE (BOTTOM WIDTH) COVERED IDEALWALK CULVERT WITH STEEL PLATE TOP PER C.O.A. STD. DWG. 22329. EXTEND BACK OF CULVERT 12' BEYOND EDGE OF WALK. ANCHOR STEEL PLATE TOP PER DETAIL THIS SHEET.
9. DRAINING EXISTING SANITARY SEWER LINE THIS AREA, LOCATION AND SHOWN IS APPROXIMATE BASED ON POTHOUSING, CONTRACTOR TO LOCATE AND PROTECT BEFORE CONSTRUCTION. COORDINATE WITH ARCHITECT.

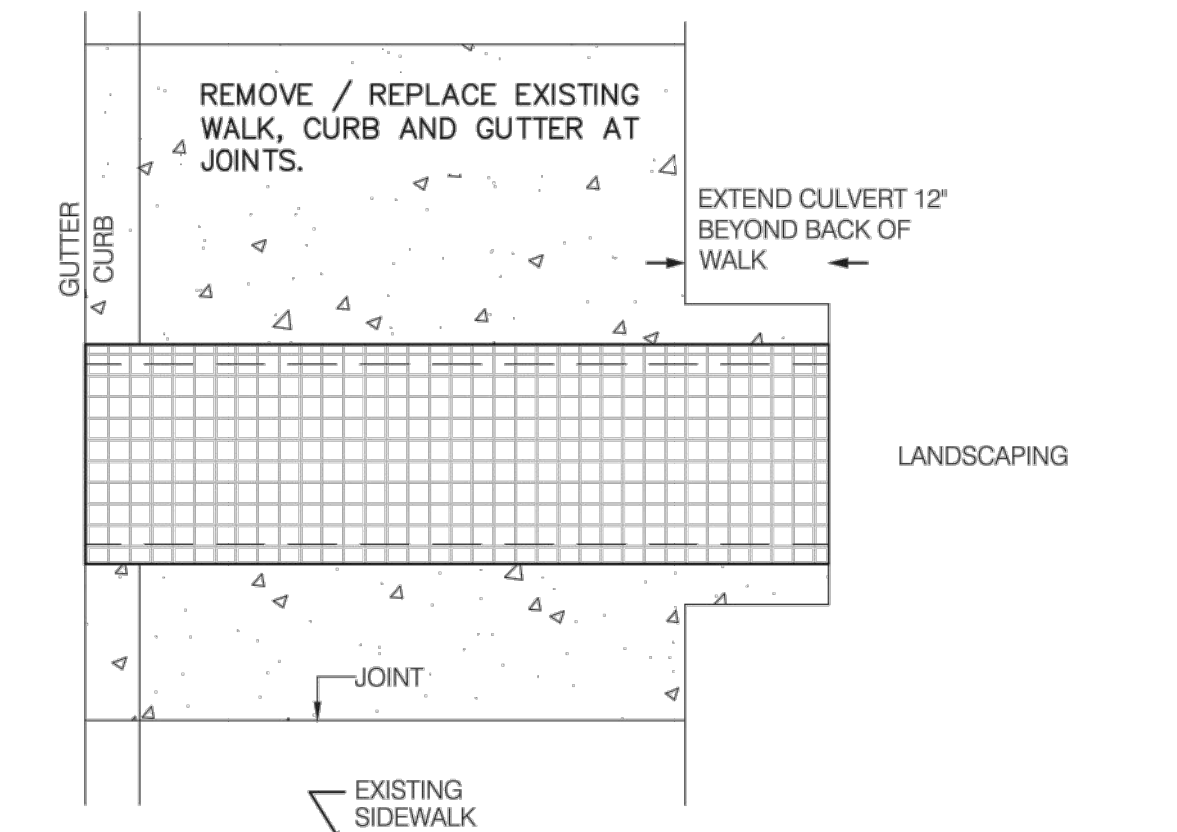
## GENERAL NOTES

- A. PROPOSED SLOPE AND CONTOUR ELEVATIONS SHOWN REPRESENT TOP OF FINISH MATERIAL (I.E. TOP OF CONCRETE, TOP OF CONCRETE BUILDING PAD, TOP OF PAVEMENT MATERIAL, TOP OF LANDSCAPING MATERIAL, ETC.). CONTRACTOR SHALL PROVIDE ELEVATIONS AND SLOPE DATA AND DURING EXISTING AREAS. ESTIMATES BASED ON ELEVATIONS SHOWN MINUS FINISH MATERIAL THICKNESSES.
- B. IF FIELD GRADE ADJUSTMENTS ARE REQUIRED, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT.
- C. THE ENVIRONMENTAL PROTECTION AGENCY (EPA) AND THE CITY OF ALBUQUERQUE REQUIRE A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND AN NPDES PERMIT FOR PROJECTS WHERE CONSTRUCTION ACTIVITIES MEET THE EPA THRESHOLD, AN EROSION AND SEDIMENT CONTROL (ESC) PERMIT IS REQUIRED FOR A SITES (SWPPP, NPDES PERMIT, ESC PLAN) BY THE CITY OF ALBUQUERQUE. A CURRENT CITY OF ALBUQUERQUE EROSION CONTROL PLAN (ECP) IS REQUIRED FOR ALL PROJECTS. SUBMITTAL FOR A ROUGH GRADING, GRADING, PAVING, BUILDING, OR WORK ORDER ALREADY IN PROGRESS SHALL COORDINATE WITH THE CITY ENGINEER TO DETERMINE WHO WILL PREPARE SWPPP AND EROSION CONTROL ELEVATIONS.
- D. MEASURES REQUIRED FOR EROSION AND SEDIMENT CONTROL SHALL BE INCIDENTAL TO THE PROJECT COST.
- E. WHERE GRADES BETWEEN EXISTING AND EXISTING ARE SHOWN AS 'MATCH' OR '±', TRANSITIONS SHALL BE SMOOTH.
- F. ALL EROSION PROTECTION TO BE INSTALLED AS 16" AVG. DIA. FRACTURED PIPES (SLOPE 1:1) WITH 300"X300"X12" POLYESTER REINFORCED GEOTEXTILE (G.E.).
- G. SLOPES LESSER THAN 3:1 MUST HAVE PERMANENT EROSION PROTECTION INSTALLED, TYPICAL NO SLOPE SHALL BE STEEPER THAN 2:1.
- H. POST-CONSTRUCTION MAINTENANCE FOR PAVEMENT STORMWATER FACILITIES WILL BE THE RESPONSIBILITY OF THE FACILITIES OWNER. PERIODIC INSPECTION AND MAINTENANCE OF ALL FACILITIES SHALL BE REQUIRED BY THE CITY ENGINEER. ENGINEER RECOMMENDS THAT OWNER INSPECT SITE YEARLY AND AFTER EACH RAINFALL TO IDENTIFY NEW AREAS OF EROSION AND INSTALL ADDITIONAL EROSION CONTROL NEARBY.
- I. FOR ENGINEER'S CERTIFICATION OF SUBSTANTIAL COMPLIANCE (FOR CERTIFICATE OF OCCUPANCY) CONTRACTOR SHALL PROVIDE AN AUTOCAD FORMAT AS-BUILT SURVEY PREPARED BY A LICENSED SURVEYOR WHICH INCLUDES:
- AS-BUILT SLOPE ELEVATIONS AT EACH DESIGN SLOPE ELEVATION SHOWN ON THE APPROVED PLAN;
  - TOP AND BOTTOM ELEVATIONS AS REQUIRED TO DEFINE THE PERIMETER OF PONDS (TO BE USED BY ENGINEER TO CALCULATE AS-BUILT VOLUME PROVIDED);
- J. FOR EROSION PROTECTION, INCLUDING DRAIN INLETS, PIPES AND PONDS SHOWN ON THIS PLAN MUST BE CONSTRUCTED IN SUBSTANTIAL COMPLIANCE WITH THE APPROVED PLAN IN ORDER TO RECEIVE ENGINEER'S CERTIFICATION.
- K. GRADING OF FIRST FLUSH BASINS WILL BE INSPECTED AS PART OF ENGINEER'S CERTIFICATION FOR CERTIFICATE OF OCCUPANCY. DURING LANDSCAPING, FIRST FLUSH BASINS WILL BE SMOOTHLY INTEGRATED INTO LANDSCAPING WHILE CONSIDERING REQUIRED TOP AND BOTTOM ELEVATION, VOLUME AND INLET / OVERFLOW ELEVATIONS.

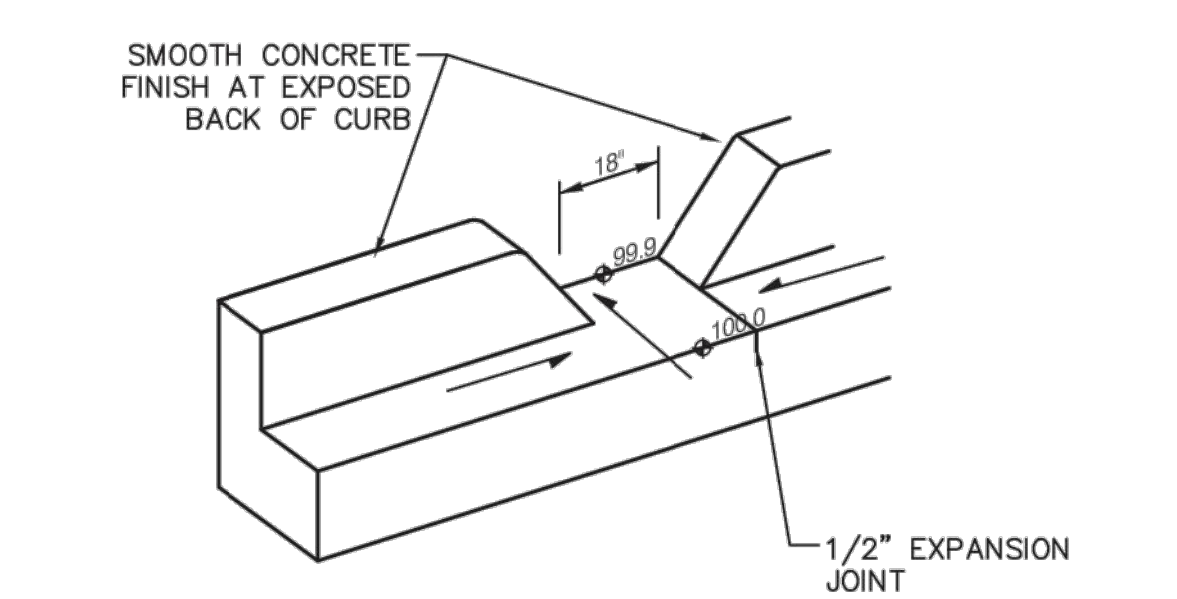


CONSTRUCT PER C.O.A. STD. DWG. 2236 MODIFIED AS FOLLOWS:

- MODIFIED SECTION B-B FOR SECURING PLATE (SEE ABOVE).
- EXTEND BACK OF CULVERT 12" BEYOND EDGE OF WALK (SEE BELOW).



## COVERED SIDEWALK CULVERT



## GENERAL NOTES

1. EDGES NOT SPECIFICALLY DIMENSIONED SHALL BE SHAPED WITH A 3/8" EDGING TOOL.

## CURB OPENING

## PROJECT INFORMATION

PROPERTY: THE SITE IS AN EXISTING DIRT OVERFLOW PARKING LOT LOCATED FROM THE RISEN SAVIOR CATHOLIC COMMUNITY CHURCH LOCATED WITHIN C.O.A. VICINITY MAP D-19. THE SITE IS BOUND TO THE EAST BY A DEVELOPED COMMERCIAL PROPERTY, TO THE SOUTH AND WEST BY DEVELOPED RESIDENTIAL PROPERTIES AND TO THE NORTH BY SCOTTS PLACE N.E.

SITE AREA: 0.6662 ACRES

**PROPOSED IMPROVEMENTS:** THE PROPOSED IMPROVEMENTS INCLUDE PAVING THE EXISTING LOT TO PROVIDE FOR PARKING SPACES AND ASSOCIATED LANDSCAPING. IN ADDITION, A SINGLE VEHICLE GARAGE IS PROPOSED AT THE SOUTHEAST CORNER OF THE PROPERTY.

LEGAL: TRACT B-1-A MICHAEL'S MANOR NORTH, CITY OF ALBUQUERQUE, NEW MEXICO.

BENCHMARK: ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE  
CONTROL MONUMENT 16-D19 HAVING AN ELEVATION OF 5394.01 (NAVD  
1988)

OFF-SITE: A PROPOSED CURB ALONG THE EAST PROPERTY LINE WILL SERVE TO DIRECT MINOR FLOW FROM THE ADJACENT PROPERTY NORTH TO SCOTTS PLACE N.E.

**FLOOD HAZARD:** PER BERNALILLO COUNTY FIRM MAP #35001C0141G DATED 09/26/2008, THE SITE IS LOCATED WITHIN FLOODZONE 'X' DESIGNATED AS AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN.

**DRAINAGE CONCEPT:** THE SITE IS CURRENTLY A COMPACTED DIRT / GRAVEL PARKING LOT CONSISTING OF 100% LAND TREATMENT C' LOCATED WITHIN A FULLY DEVELOPED AREA. EXISTING STORMWATER FLOWS FROM SOUTHEAST TO NORTHWEST FREE DISCHARGING AS SHEETFLOW OVER THE SIDEWALK TO SCOTTS PLACE NE. THE PROPOSED IMPROVEMENTS CONSIST OF PAVING THE PARKING AND CONSTRUCTING A GARAGE BUILDING AT THE SOUTHEAST CORNER OF THE PROPERTY. THE PROPOSED 15% DISCHARGE RISE WITH THE REMAINING 15% LANDSCAPE THE 100-YEAR 6-HOUR PEAK DISCHARGE WILL INCREASE 0.8 CFS WITH STORMWATER FREE DISCHARGING TO SCOTTS PLACE VIA A PROPOSED COVERED SIDEWALK CULVERT.

FIRST FLUSH REQUIREMENTS: STORMWATER CONTROL MEASURES ARE REQUIRED TO PROVIDE MANAGEMENT OF 'FIRST FLUSH' (DEFINED AS THE 90TH PERCENTILE STORM EVENT OR 0.34" [0.44" LESS 0.1" FOR INITIAL ABSTRACTION] OF STORMWATER WHICH DISCHARGES DIRECTLY TO A PUBLIC STORM DRAINAGE SYSTEM).

THE ESTIMATED PONDING VOLUME REQUIRED IS 0.34" \* TYPE 'D' AREA:  
 $0.34/12 * 0.57 \text{ AC} * 43560 = 700 \text{ CF}$

THERE ARE 'FIRST FLUSH' RETENTION BASIN AREAS THROUGHOUT THE SITE (SEE LEGEND). STORM WATER FROM THE IMPERVIOUS AREAS SHALL BE DIRECTED TO THESE BASINS VIA CURB OPENINGS.

ENGINEER: ÅSA M. NILSSON-WEBER, P.E., NMPE 17631  
ISAACSON & ARFMAN, PA  
128 MONROE NE, 87111  
TELEPHONE: (505) 268-8828

SURVEYOR: ANTHONY L. HARRIS, NMLS 11463  
THE SURVEY OFFICE, LLC  
333 LOMAS BLVD., NE  
TELEPHONE: (505) 998-0303

## LEGEND

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- Diagram illustrating the components and specifications of a retaining wall structure:
- EXISTING SPOT ELEVATION:** Indicated by a point with a value of  $\pm 1058.63$ .
  - EXISTING CONTOUR:** Represented by a dashed line with a value of  $-5380$ .
  - PROPOSED CONTOUR (1" INCREMENT):** Represented by a solid line with a value of  $-75$ .
  - PROPOSED SPOT ELEVATION:** Indicated by a circle with a crosshair and a value of  $\phi 6.2$ .
  - FLOW ARROW:** Indicated by a right-pointing arrow.
  - RETAINING WALL (DESIGN BY OTHERS):** Represented by a cross-hatched pattern.
  - PROPOSED FIRST FLUSH RETENTION PONDING AREA WITH PERCOLATION PIT:** Represented by a dotted pattern.
  - LIMITS OF EROSION CONTROL:** Represented by a pattern of small circles.
  - RETAINING WALL (4' MAX. RETAINING):** Indicated by a label pointing to the wall structure.
  - FOOTING / WEEPHOLES / REINFORCEMENT TO BE COORDINATED WITH WALL CONTRACTOR, DESIGN BY OTHERS.** Indicated by a label pointing to the base of the wall.
  - TRW=6" ABOVE PAVEMENT FLOWLINE:** Indicated by a label pointing to the top of the wall.
  - TRW:** Indicated by a label pointing to the top of the wall.

## S.O.19 : NOTICE TO CONTRACTORS

- AN EXCAVATION / CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST OF ALL RELEVANT STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS REVISED THROUGH UPDATE #8.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT THE CITY ENGINEER BY CALL SYSTEM (CALL '811') FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A DISCREPANCY BE FOUND, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC / STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
- THE WORK IN THE CITY ROW MUST BE INSPECTED AND ACCEPTED. THE CONTRACTOR MUST CONTACT JASON RODRIGUEZ AT 235-8018 FOR CONSTRUCTION COORDINATION AT 924-3416 TO SCHEDULE INSPECTIONS.

APPROVAL	NAME	DATE
INSPECTOR		



**GS**

**GREER STAFFORD/S/JCF ARCHITECTURE, INC.**

1717 LOUISIANA NE, SUITE 205  
ALBUQUERQUE, NM 87110-7027  
(505) 821-0235 • FAX: (505) 821-0548

3005 NORTH-RIDGE DR, SUITE F  
FARMINGTON, NM 87401-2085  
(505) 325-7475 • FAX: (505) 325-6464

THIS DRAWING IS INCOMPLETE AND NOT  
BE USED FOR CONSTRUCTION UNLESS  
IT IS STAMPED, SIGNED, AND DATED  
BELOW



RISEN SAVIOR CATHOLIC COMMUNITY  
PARKING LOT IMPROVEMENTS  
7810 SCOTTS PL. NE  
ALBUQUERQUE, NEW MEXICO 87120

[illegible]

CG-101