

# CITY OF ALBUQUERQUE



November 15, 2016

Scott W. Stafford  
Greer Stafford/SJCF Architecture, Inc.  
1717 Louisiana Blvd NE Suite 205  
Albuquerque, NM 87110

**Re: Risen Savior Catholic Parking Lot Improvements - 7810 Scotts PI NE**  
**Request for Certificate of Occupancy- Transportation Development**  
Architect's Stamp dated 07-28-16 (D19D002)  
Certification dated 11-10-16

Dear Mr. Stafford,

Based upon the information provided in your submittal received 11-15-16, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact me at (505) 924-3981.

Sincerely,

  
Monica Ortiz  
Plan Checker, Transportation & Hydrology  
Development Review Services

mao via: email  
C: CO Clerk, File



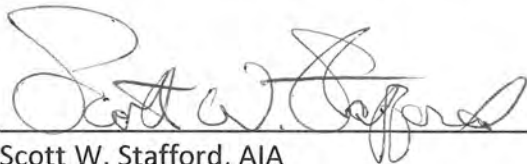
GREER STAFFORD/SJCF ARCHITECTURE, INC.  
1717 Louisiana Blvd NE, Suite 205  
Albuquerque, NM 87110  
OFFICE: (505) 821-0235 | FAX: (505) 821-0348  
www.greer-stafford.com

## TRAFFIC CERTIFICATION

I, **Scott W. Stafford**, NMRA #2334, of the firm **Greer Stafford/SJCF Architecture, Inc.** hereby certify that this project is in substantial compliance with and in accordance with the design intent of the TCL approved plan dated **August 2, 2016**. The record information edited onto the original document has been obtained by my firm. I further certify that I have personally visited the project site on **11/10/2016** and have determined by visual inspection that the data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief.

This certification is submitted in support for a ***Certificate of Occupancy***.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.



Scott W. Stafford, AIA  
President

11/10/2016  
Date







# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

**Project Title:** Risen Savior Catholic Community - Parking Lot Improvements **Building Permit #:** 201691464 **City Drainage #:** \_\_\_\_\_  
**DRB#:** n/a **EPC#:** n/a **Work Order#:** n/a  
**Legal Description:** Lot B1A, Michael Manor North Subdivision, UPC# 101906322227131360  
**City Address:** 7810 Scotts Place, NE, Albuquerque, NM 87109

**Engineering Firm:** n/a **Contact:** \_\_\_\_\_  
**Address:** \_\_\_\_\_  
**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Owner:** Risen Savior Catholic Community & Archdiocese of Santa Fe **Contact:** Mark Bussemeier  
**Address:** 7701 Wyoming Blvd. NE, Albuquerque, NM 87109  
**Phone#:** (505) 821-1571 **Fax#:** n/a **E-mail:** MBussemeier@risensaviorcc.org

**Architect:** Greer Stafford/SJCF Architecture, Inc. **Contact:** Sergio A. Meza  
**Address:** 1717 Louisiana Blvd. NE, Suite 205, Albuquerque, NM 87110  
**Phone#:** (505) 821-0235 **Fax#:** (505) 821-0348 **E-mail:** smeza@greer-stafford.com

**Other Contact:** Greer Stafford/SJCF Architecture, Inc. **Contact:** Scott W. Stafford, AIA  
**Address:** 1717 Louisiana Blvd. NE, Suite 205, Albuquerque, NM 87110  
**Phone#:** (505) 821-0235 **Fax#:** (505) 821-0348 **E-mail:** sstafford@greer-stafford.com

Check all that Apply:

### DEPARTMENT:

- ☒ HYDROLOGY/ DRAINAGE  
☒ TRAFFIC/ TRANSPORTATION  
☐ MS4/ EROSION & SEDIMENT CONTROL

### TYPE OF SUBMITTAL:

- ☒ ENGINEER/ ARCHITECT CERTIFICATION  
  
☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ DRAINAGE MASTER PLAN  
☐ DRAINAGE REPORT  
☐ CLOMR/LOMR  
  
☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ TRAFFIC IMPACT STUDY (TIS)  
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)  
  
☐ OTHER (SPECIFY) \_\_\_\_\_

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL  
☒ CERTIFICATE OF OCCUPANCY  
  
☐ PRELIMINARY PLAT APPROVAL  
☐ SITE PLAN FOR SUB'D APPROVAL  
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE  
☐ FOUNDATION PERMIT APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ SO-19 APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ GRADING/ PAD CERTIFICATION  
☐ WORK ORDER APPROVAL  
☐ CLOMR/LOMR  
  
☐ PRE-DESIGN MEETING  
☐ OTHER (SPECIFY) \_\_\_\_\_

IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

DATE SUBMITTED: November 11, 2016

By: 

COA STAFF: \_\_\_\_\_ ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_



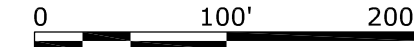
Diagram illustrating the dimensions and specifications for a "DO NOT ENTER" sign:

- Overall width: 12'-6"
- Overall height: 1'-0"
- Top section: TRAFFIC PAINT, SOLID WHITE
- Text: **DO NOT ENTER**
- Text height: 12"
- Text width: 10'-6"
- Text specifications: 12" HIGH, 2" STROKE LETTERS, TRAFFIC PAINTED SOLID WHITE
- Left margin: 12"
- Right margin: 12"

SCALE: 1" = 100'-0"



SCALE: 1" = 100'-0"



SIZE OF SITE: 0.662 ACRES

LEGAL DESCRIPTION:  
LOT: B1A, SUBDIVISION: MICHAELS MANOR NORTH, UPC#: 101906322227131360

THE COA FIRE MARSHAL AND CITY OF ALBUQUERQUE HYDROLOGY DEPARTMENT  
HAVE ALREADY APPROVED THIS PLAN AS IT PERTAINS TO THEIR REQUIREMENTS.

1. PROPERTY LINE
2. NEW PAVEMENT LIMIT
3. EXISTING CURB CUT INTO NEW OVERFLOW PARKING LOT.
4. EXISTING CURB CUT INTO MAIN CHURCH PARKING LOT.
5. ALL IMPROVEMENTS LOCATED IN THE RIGHT-OF-WAY MUST BE INCLUDED ON THE WORK ORDER.
6. EXISTING SIDEWALK TO REMAIN, EXISTING PEDESTRIAN ACCESS EASEMENT FILED 01/18/2008, BOOK 2008, PAGE 236. REPLACE ALL BROKEN OR CRACKED SIDEWALK, INCLUDING CURB AND GUTTER, PER COA STD DWG 2430.
7. EXISTING TREE TO REMAIN.
8. EXISTING 6' HIGH CMU WALL TO REMAIN.
9. LINE OF EXISTING ADJACENT PROPERTY ASPHALT.
10. INSTALL SIDEWALK CULVERT PER COA STD DWG #2236; REMOVE & REPLACE CURB AND SIDEWALK PER COA STD DWGS 2415A AND 2430.
11. NEW ASPHALT PAVING, REFER TO CIVIL SHEETS.
12. NEW PARKING BUMPERS, TYPICAL.
13. NEW PAVEMENT MARKERS, ALL PAVEMENT MARKINGS AND SINGAGE SHALL BE INSTALLED PER COA SPEC SECTION 400.
14. NEW PRE-MANUFACTURED GARAGE.
15. NEW LANDSCAPING AREA.
16. NEW LANDSCAPING ISLAND.
17. NEW PAINTED TRAFFIC ARROWS, ALL PAVEMENT MARKINGS AND SINGAGE SHALL BE INSTALLED PER COA SPEC SECTION 400.
18. NEW DO NOT ENTER PAVEMENT MARKING. REFER E1/TC11.
19. CONCRETE RETAINING WALL WITH ORNAMENTAL FENCING.
20. CONCRETE RETAINING WALL.
21. NEW "DO NOT ENTER" TS-1 SIGN, REFER TO A6/TC1. 18" x 18" SIGNS SHALL CONFORM TO THE STANDARDS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES".
22. NEW "NO TRUCK ALLOWED" TS-2 SIGN, REFER TO A6/TC1. 12" x 18" SIGNS SHALL CONFORM TO THE STANDARDS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES".
23. NEW CONC RET CURB AND GUTTER PER COA SPEC SECTION 300.
24. DEAD-END FIRE APPARATUS ACCESS ROAD (AREA WITHIN DASHED LINES) APPROVED BY COA FIRE MARSHAL PER FIRE 1 PLAN SUBMITTED.



SCALE: NOT TO SCALE



**TRAFFIC CIRCULATION  
LAYOUT APPROVED**

**Monica Ortiz**

Digitally signed by Monica Ortiz  
DN: cn=Monica Ortiz, ou=COM,  
Planning, ou=Transportation,  
email=monicaortiz@calbay.gov, c=US  
Date: 2016.08.22 12:33:56 -0600

**Signed** **Date**

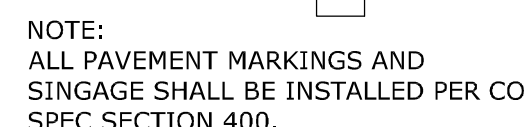
ALL WHEELCHAIR RAMPS LOCATED  
WITHIN THE PUBLIC RIGHT OF WAY  
MUST HAVE TRUNCATED DOMES.



SCALE: 1" = 10'-0"



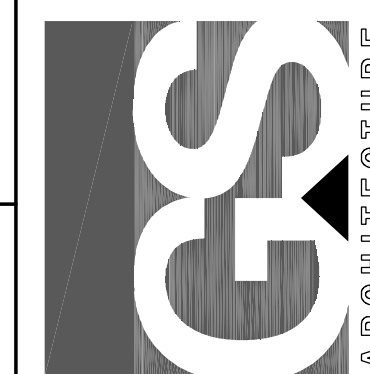
SCALE: 1"= 1'-0"



RISEN SAVIOR CATHOLIC COMMUNITY  
PARKING LOT IMPROVEMENTS  
7810 SCOTT'S PL. NE  
ALBUQUERQUE, NEW MEXICO 87109

**GREER STAFFORD/SJCF ARCHITECTURE, INC.**  
1717 LOUISIANA NE, SUITE 205  
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(505) 821-0235 • FAX: (505) 821-0348

3005 NORTHBRIDGE DR, SUITE F  
FARMINGTON, NM 87401-2085  
(505) 871-0000 • FAX: (505) 871-0001



THIS DRAWING IS INCOMPLETE AND NO  
BE USED FOR CONSTRUCTION UNLESS IT  
STAMPED, SIGNED, AND DATED BELOW



PROJECT NO:	5173.01
CAD DWG FILE:	
	N:\5173.01\AS101
DRAWN BY:	SAM
CHECKED BY:	SAM
© GREER STAFFORD / SJCF, INC.	
SHEET TITLE	
TCL PLAN	

DRAWING SHEET

TCL-1