

DRAINAGE PLAN

I. INTRODUCTION AND EXECUTIVE SUMMARY

THIS PROJECT, LOCATED IN NORTHEAST ALBUQUERQUE OFF WYOMING BLVD NE NORTH OF SAN ANTONIO DRIVE NE, REPRESENTS A MINOR MODIFICATION TO AN EXISTING SITE WITHIN AN INFILL AREA. IT IS PROPOSED TO CONSTRUCT A SMALL GARAGE WITHIN AN EXISTING OVERFLOW PARKING LOT FOR FRENCH MORTUARY. THE PROPOSED DRAINAGE CONCEPT FOR THE SITE IS TO MAINTAIN EXISTING DRAINAGE CONDITIONS FOR THE SITE AS ESTABLISHED BY THE 1999 APPROVED PLAN THAT SERVES AS THE MASTER DRAINAGE PLAN FOR THIS SITE.

THIS SUBMITTAL IS MADE IN SUPPORT OF A BUILDING PERMIT FOR THE PROPOSED GARAGE.

II. PROJECT DESCRIPTION:

THE SITE IS LOCATED AT 7121 WYOMING BLVD NE. AS SHOWN BY VICINITY MAP D-19 HEREON, THE SITE IS LOCATED NEAR THE SW CORNER OF WYOMING BLVD NE AND THE PINO ARROYO. THE LEGAL DESCRIPTION IS TRACT A-2-B-1-A, LOMA DEL NORTE. THE SITE IS ZONED C-2 AND IS NOT PART OF THE ADJACENT SU-1 ZONED AREA. AS SHOWN BY PANEL 141 OF 825 OF THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAPS, BERNALILLO COUNTY, NEW MEXICO, AND INCORPORATED AREAS, DATED NOVEMBER 19, 2003, THERE IS A MAPPED FLOOD HAZARD ZONE A CONFINED TO THE PINO ARROYO CHANNEL, HOWEVER, THE SITE ITSELF DOES NOT LIE WITHIN A DESIGNATED FLOOD HAZARD ZONE.

III. BACKGROUND DOCUMENTS

REVIEW OF THE FOLLOWING WAS USED IN THE PREPARATION OF THIS SUBMITTAL:

A. GRADING AND DRAINAGE PLAN FOR "FRENCH MORTUARY - WYOMING OVERFLOW PARKING" PREPARED BY JEFF MORTENSEN & ASSOCIATES (NOW KNOWN AS HIGH MESA CONSULTING GROUP) DATED 3-12-1999, HYDROLOGY FILE D19/05B.

THE REFERENCED PLAN WAS ORIGINALLY PREPARED BY THIS OFFICE TO SUPPORT THE ORIGINAL PARKING LOT CONSTRUCTION IN 1999. THE DRAINAGE CONCEPT ESTABLISHED BY THE 1999 PLAN WAS FREE DISCHARGE TO AN ADJACENT PUBLIC ALLEY WITH DIRECT OUTFALL TO THE PINO ARROYO CONCRETE LINED PUBLIC CHANNEL. THE IMPROVEMENTS AND TOPOGRAPHY DEPICTED THEREON ARE THE BASIS OF THE NOW EXISTING CONDITIONS FOR THE SITE AND THIS NEW SUBMITTAL.

IV. EXISTING CONDITIONS:

THE SITE IS CURRENTLY DEVELOPED AS AN OVERFLOW PARKING LOT SERVING FRENCH MORTUARY. AS IMPLEMENTED AND ESTABLISHED BY THE REFERENCED 1999 PLAN PREPARED BY THIS OFFICE, THE SITE FREELY DRAINS AS SHEET FLOW ACROSS PAVED PARKING LOT IMPROVEMENTS IN A NORTHWESTERLY DIRECTION TO AN IMPROVED PUBLIC ALLEY WITH A RUNDOWN DISCHARGING DIRECTLY TO THE PINO ARROYO WHICH IS A PUBLIC (CITY OF ALBUQUERQUE) CONCRETE LINED DRAINAGE CHANNEL.

V. DEVELOPED CONDITIONS

THE PROPOSED IMPROVEMENT IS A NEW GARAGE, APPROXIMATELY 1560 SF. THE GARAGE WILL BE MOSTLY LOCATED ON EXISTING PAVED OVERFLOW PARKING, WITH A PORTION OF THE NEW BUILDING (APPROXIMATELY 500 SF) REPLACING AN EXISTING UNPAVED SLOPED AREA THAT CURRENTLY DRAINS ONTO AN ADJACENT PROPERTY TO THE SOUTH. ALL ROOF DRAINAGE FROM THE NEW GARAGE WILL BE DIRECTED TO THE FRONT ONTO PARKING LOT PAVEMENT, THEREBY ELIMINATING THIS OFFSITE CONDITION. A SMALL AREA OF PAVEMENT AND CURB AND GUTTER WILL BE REMOVED AND RECONFIGURED IN ASSOCIATION WITH THE NEW BUILDING.

THERE WILL BE A MINOR (500 SF) INCREASE IN IMPERVIOUS AREA. DESPITE THE MINOR INCREASE IN RUNOFF, THE PROPOSED CONSTRUCTION WILL RESULT IN AN IMPROVEMENT TO SITE DRAINAGE CONDITIONS AS THE ADDED AREA WILL BE DIRECTED ONTO PAVEMENT INSTEAD OF AN ADJACENT PROPERTY. THE MINOR INCREASE IS JUSTIFIED BASED ON THIS PROJECT BEING A MINOR MODIFICATION TO AN EXISTING SITE WITHIN AN INFILL AREA LOCATED ADJACENT TO A MAJOR PUBLIC DRAINAGE FACILITY.

VI. GRADING PLAN

THE GRADING PLANS ON SHEET 2 SHOWS: 1) EXISTING GRADES INDICATED BY SPOT ELEVATIONS AND CONTOURS AT 1 FT. 0 IN INTERVALS FROM THE RECORD GRADING PLAN PREPARED BY THIS OFFICE IN 1999 (SEE BACKGROUND DOCUMENT), 2) PROPOSED GRADES INDICATED BY FLOOR ELEVATIONS, SPOT ELEVATIONS, CONTOURS, TOP OF CURB ELEVATIONS AND FLOWLINES, 3) THE LIMIT AND CHARACTER OF THE EXISTING IMPROVEMENTS AS SHOWN BY THE AFOREMENTIONED RECORD PLAN, AND 4) CONTINUITY BETWEEN PROPOSED AND EXISTING GRADES.

VII. CALCULATIONS

THIS SITE REPRESENTS A MINOR CHANGE TO AN EXISTING SITE IN AN INFILL AREA THAT LIES IN CLOSE PROXIMITY AND DISCHARGES DIRECTLY TO AN EXISTING MAJOR PUBLIC DRAINAGE FACILITY. AS SUCH, CALCULATIONS WERE NOT NECESSARY TO SUPPORT THIS REPORT.

VIII. CONCLUSIONS

THE CONTINUED FREE DISCHARGE OF RUNOFF FROM THIS SITE TO THE NORTH ARROYO DEL PINO IS JUSTIFIED DUE TO THE FOLLOWING:

- 1) THE EXISTING DRAINAGE CONDITIONS OF THE SITE JUSTIFIED BY PREVIOUS PLAN ARE MAINTAINED
- 2) MINOR MODIFICATION TO AN EXISTING SITE WITHIN AN INFILL AREA
- 3) VERY MINOR INCREASE IN IMPERVIOUS AREA THAT REDIRECTS SITE DRAINAGE ONTO PAVEMENT INSTEAD OF AN ADJACENT PROPERTY
- 4) PROXIMITY TO EXISTING MAJOR PUBLIC DRAINAGE FACILITY
- 5) THE PROPOSED IMPROVEMENTS DO NOT LIE WITHIN A DESIGNATED FLOOD HAZARD AREA

REVISION

FOLLOWING SUBMISSION AND APPROVAL OF THE PLAN DATED 07-27-2008, THE SCOPE OF THE PROJECT WAS EXPANDED TO INCLUDE A LARGER GARAGE (EAST-WEST) AND A PEOPLE DOOR IN THE EAST FACE OF THE PROPOSED BUILDING. THIS CHANGE IN SCOPE NECESSITATED THIS PLAN REVISION. THIS REVISION DOES NOT ALTER THE PROPOSED AND/OR EXISTING DRAINAGE PATTERNS AND DOES NOT ALTER THE HYDROLOGY OF THE SITE. DEVELOPED RUNOFF GENERATED BY THE SOUTH END OF THE PARKING LOT, AS WELL AS THE NEW GARAGE FOOTPRINT, WILL CONTINUE TO DRAIN NORTH AND EXIT THE SITE AT THE NORTHWEST CORNER OF THE PARKING LOT VIA THE EXISTING 2 FEET WIDE CONCRETE DRAINAGE RUNDOWN FROM WHENCE THE RUNOFF ENTERS THE PINO ARROYO.

CONSTRUCTION NOTES:

1. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM 260-1990 (ALBUQUERQUE AREA), 1-800-321-ALERT(2537) (STATEWIDE), FOR LOCATION OF EXISTING UTILITIES.
2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INTERPRETATIONS IT MAKES WITHOUT FIRST CONTACTING THE ENGINEER AS REQUIRED ABOVE.
3. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
4. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS REVISED THROUGH UPDATE #7, AMENDMENT 1.
5. IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE OWNER OF SAID UTILITY, AND THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THE ENGINEER HAS CONDUCTED ONLY PRELIMINARY INVESTIGATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES. THIS INVESTIGATION IS NOT CONCLUSIVE, AND MAY NOT BE COMPLETE, THEREFORE, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
6. THE DESIGN OF PLANTERS AND LANDSCAPED AREAS IS NOT PART OF THIS PLAN. ALL PLANTERS AND LANDSCAPED AREAS ADJACENT TO THE BUILDING(S) SHALL BE PROVIDED WITH POSITIVE DRAINAGE TO AVOID ANY PONDING ADJACENT TO THE STRUCTURE. FOR CONSTRUCTION DETAILS, REFER TO LANDSCAPING PLAN.

EROSION CONTROL MEASURES:

1. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY.
2. THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
3. WHEN APPLICABLE, CONTRACTOR SHALL SECURE "TOPSOIL DISTURBANCE PERMIT" FROM THE CITY AND/OR FILE A NOTICE OF INTENT (N.O.I.) WITH THE EPA PRIOR TO BEGINNING CONSTRUCTION.

ENGINEER'S DRAINAGE CERTIFICATION

I, JEFFREY G. MORTENSEN, NMPE 8547, OF THE FIRM HIGH MESA CONSULTING GROUP, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND DRAINED IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 07-27-2008 AND REVISED 08-22-2008. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS EITHER BEEN OBTAINED BY ME OR UNDER MY DIRECT SUPERVISION AS SUPPLEMENTAL DATA TO THE ORIGINAL PLAN OF RECORD PREPARED BY HIGH MESA CONSULTING GROUP AS REFERENCED HEREIN AND DATED 03-12-99, AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED TO DOCUMENT COMPLETION OF THOSE IMPROVEMENTS IDENTIFIED ON THE APPROVED PLAN REFERENCED ABOVE AND TO SUPPORT A REQUEST FOR ISSUANCE OF A PERMANENT CERTIFICATE OF OCCUPANCY FOR BUILDING ADDITION.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THIS CERTIFICATION DOES NOT ADDRESS ADA COMPLIANCE WHICH IS BEYOND THE SCOPE OF GRADING AND DRAINAGE. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

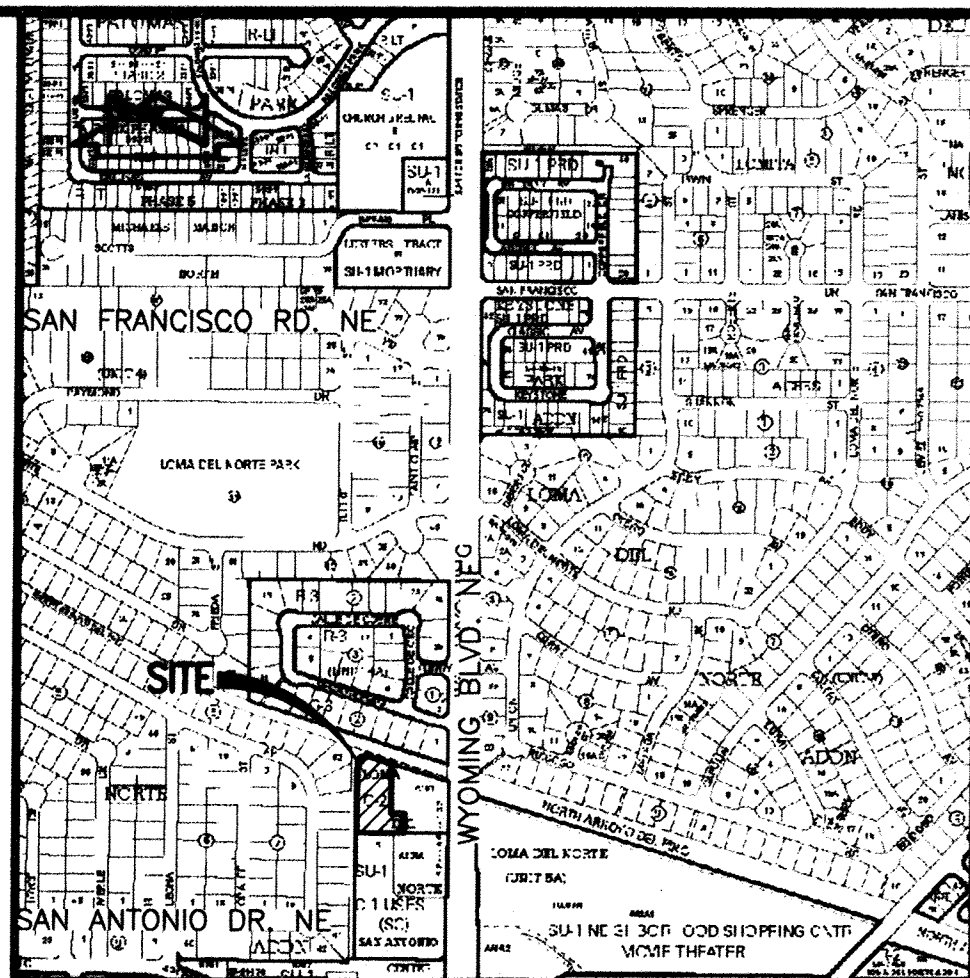
JEFFREY G. MORTENSEN, NMPE 8547
101-06-2009
DATE



RECORD DRAWING LEGEND

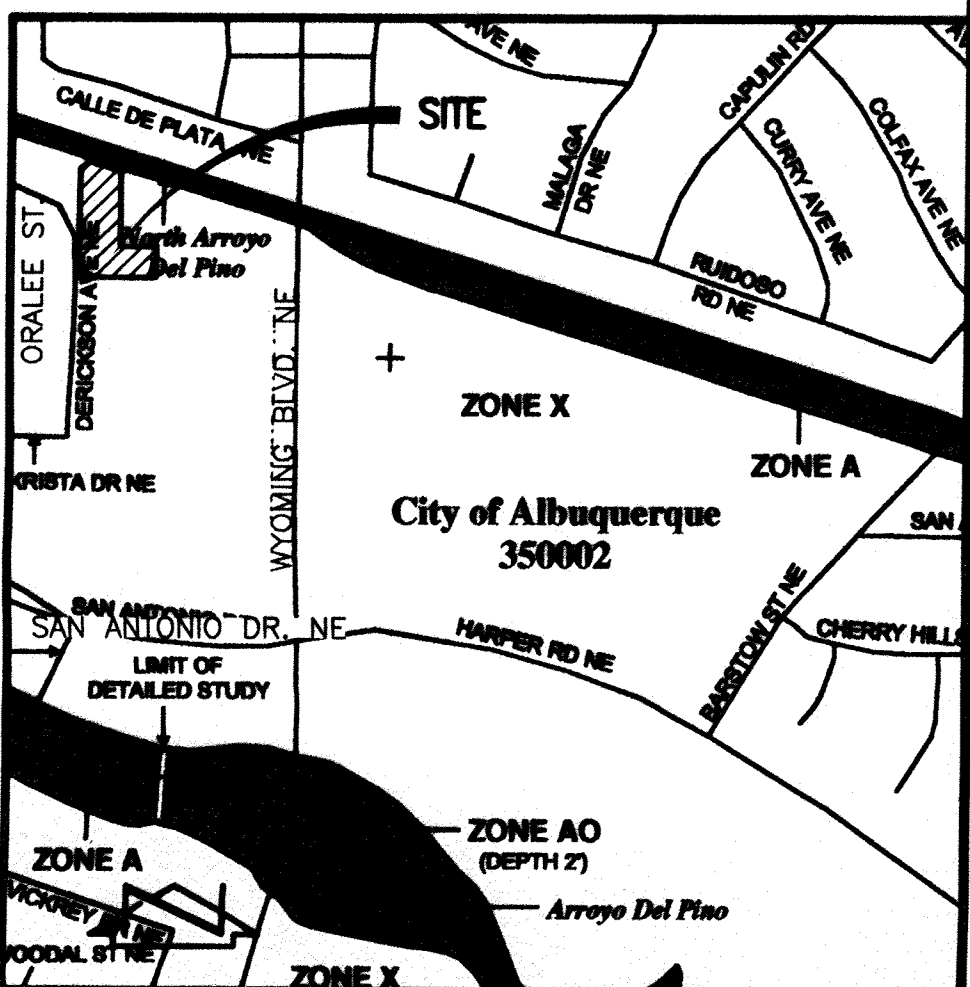
CONSTRUCT	RECORD INFORMATION (VERIFIED BY ENGINEER)
✓	AS-CONSTRUCTED = AS-DESIGNED (VERIFIED BY ENGINEER)
36' 42"	RECORD INFORMATION (VERIFIED BY ENGINEER)
+ 25.2	RECORD INFORMATION (VERIFIED BY ENGINEER)
⊙ 28.98.42	RECORD INFORMATION (VERIFIED BY ENGINEER)
31' 31.8	RECORD INFORMATION FROM AS-BUILT INFORMATION
+ 26.9	RECORD INFORMATION FROM AS-BUILT INFORMATION
⊙ 31.28.22	RECORD INFORMATION FROM AS-BUILT SURVEY
✓	AS-CONSTRUCTED = AS-DESIGNED (VERIFIED BY AS-BUILT SURVEY)

RECORD DRAWING



VICINITY MAP
SCALE: 1" = 750'

D-19



FLOODPLAIN MAP
SCALE: 1" = 500'

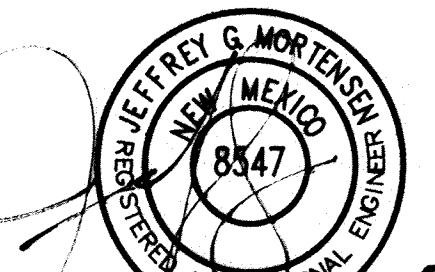
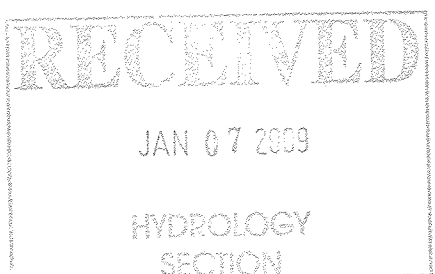
141 OF 825

LEGAL DESCRIPTION

TRACT A-2-B-1-A, LOMA DEL NORTE.

STREET ADDRESS

7121 WYOMING BLVD. N.E.



2008.030.1

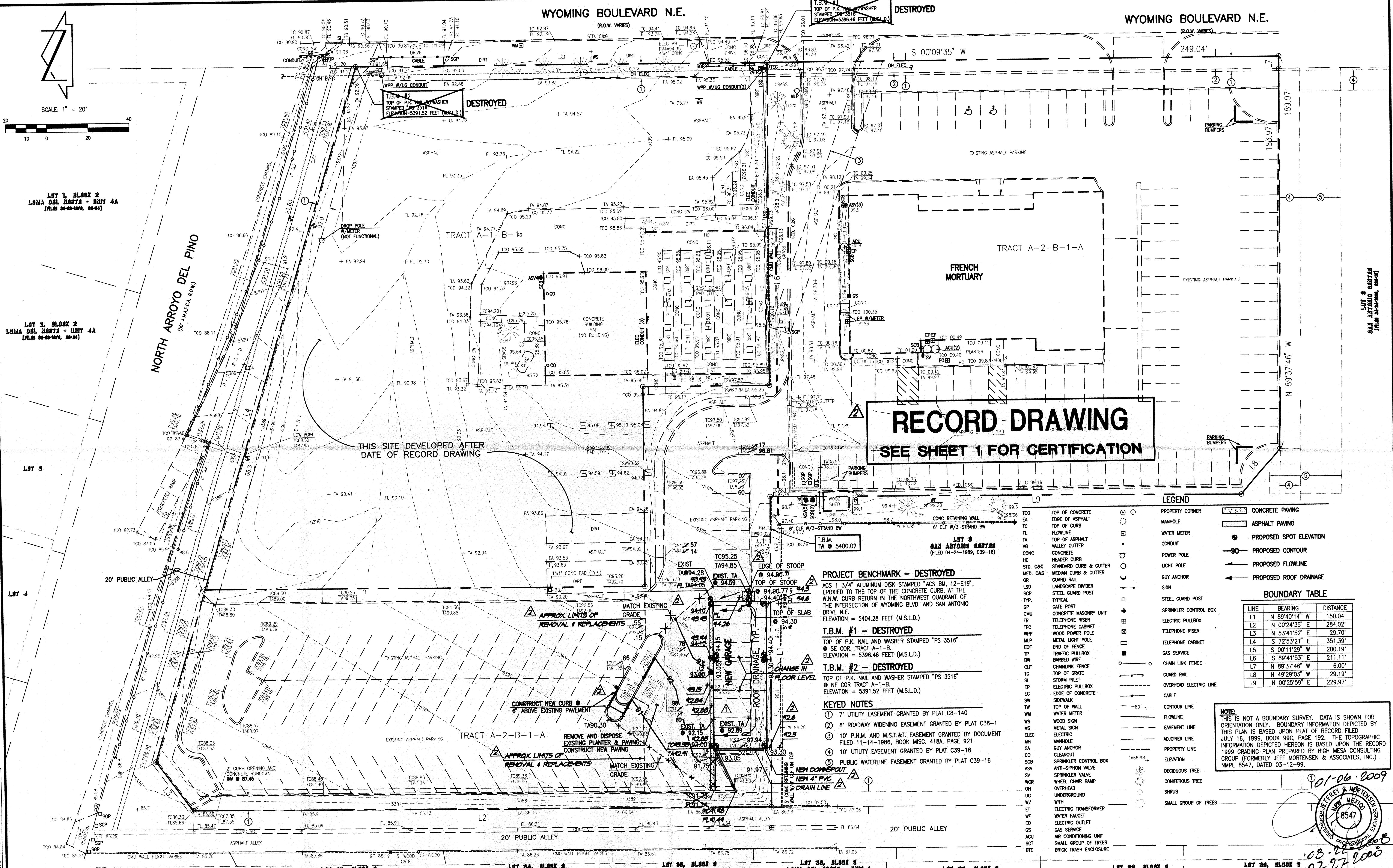
07-2008

1 OF 2

HIGH MESA Consulting Group
FORMERLY JEFF MORTENSEN AND ASSOCIATES, INC.
4010-B MIDWAY PARK BLVD. NE • ALBUQUERQUE, NEW MEXICO 87109
PHONE: 505.345.4250 • FAX: 505.345.4254 • www.highmesacg.com

DRAINAGE PLAN
OVERFLOW PARKING GARAGE
FRENCH MORTUARY - WYOMING

Plot Date: 01-08-2009
Plot Name: 80301GD-R2.DWG



GRADING PLAN
OVERFLOW PARKING GARAGE
FRENCH MORTUARY - WYOMING

				REVISIONS	JOB NO.
DESIGNED BY J.G.M. C.F.A./B.L.E./ J.Y.R.	NO.	DATE	BY		2008.030.1
	1	08/08	J.G.M.	EXPAND GARAGE FOOTPRINT	DATE 07-2008
	2	12/08	J.G.M.	DRAINAGE CERTIFICATION	
DRAWN BY				JAN 07 2009	SHEET 2 OF 2
APPROVED BY	J.G.M.				

HIGH MESA Consulting Group
FORMERLY JEFF MORTENSEN & ASSOCIATES, INC.
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