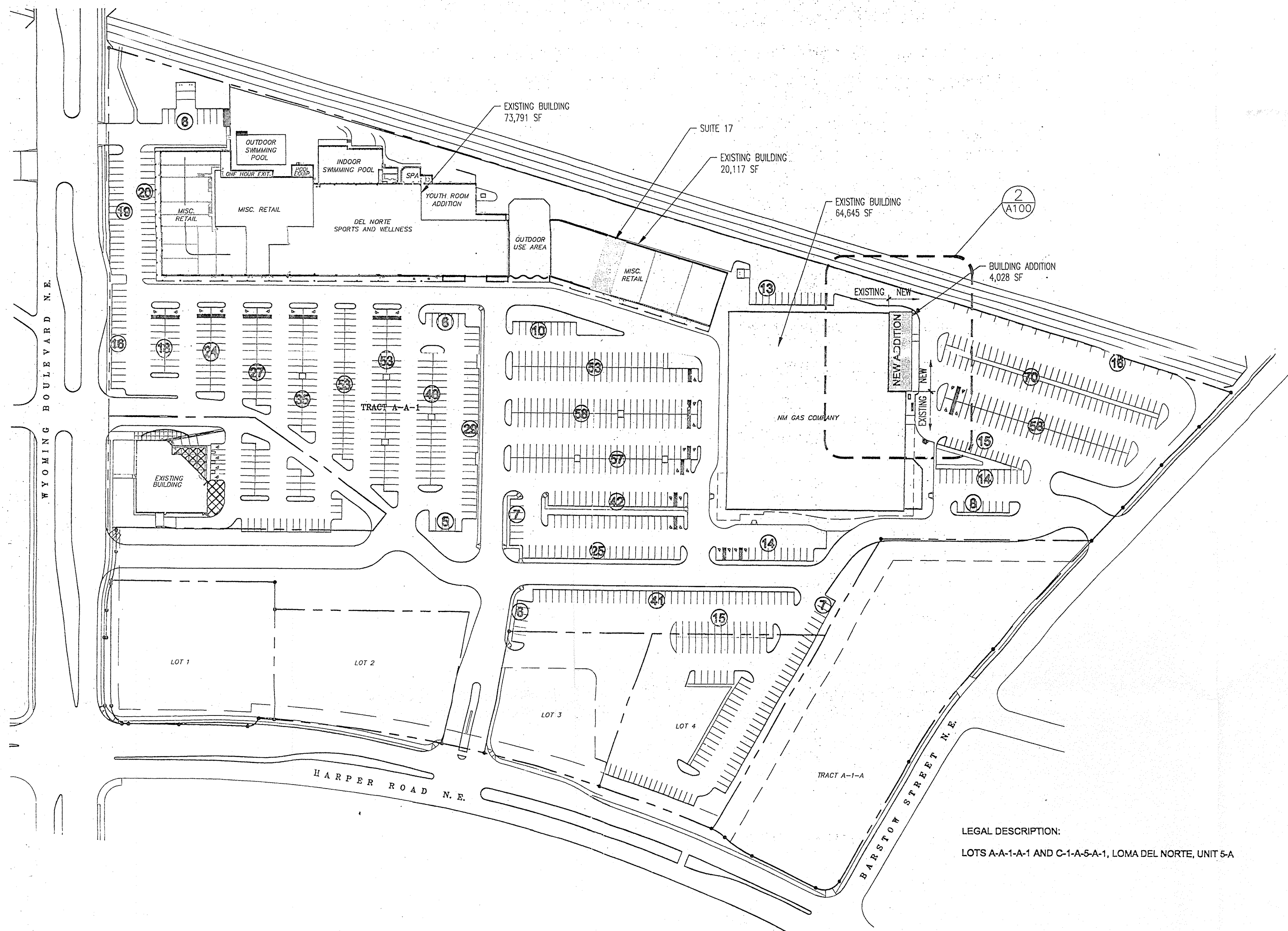
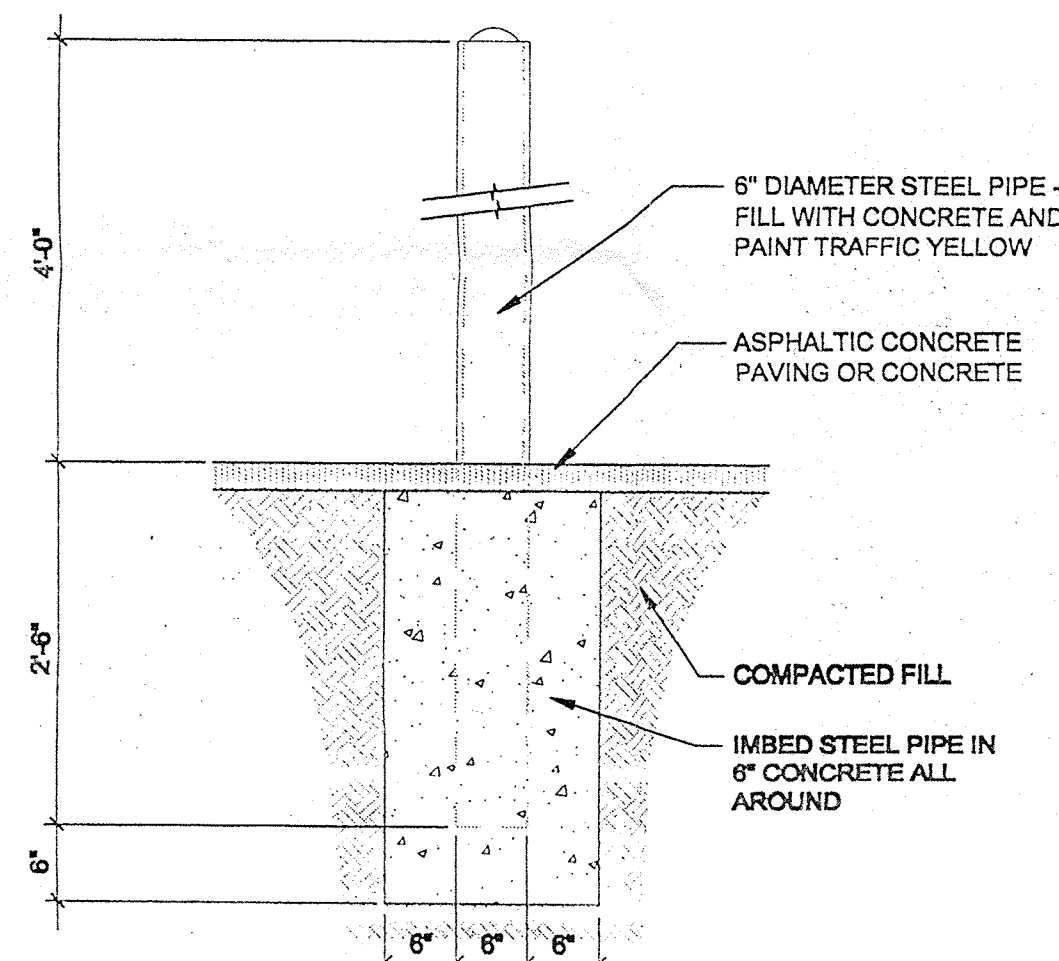




1 SITE PLAN

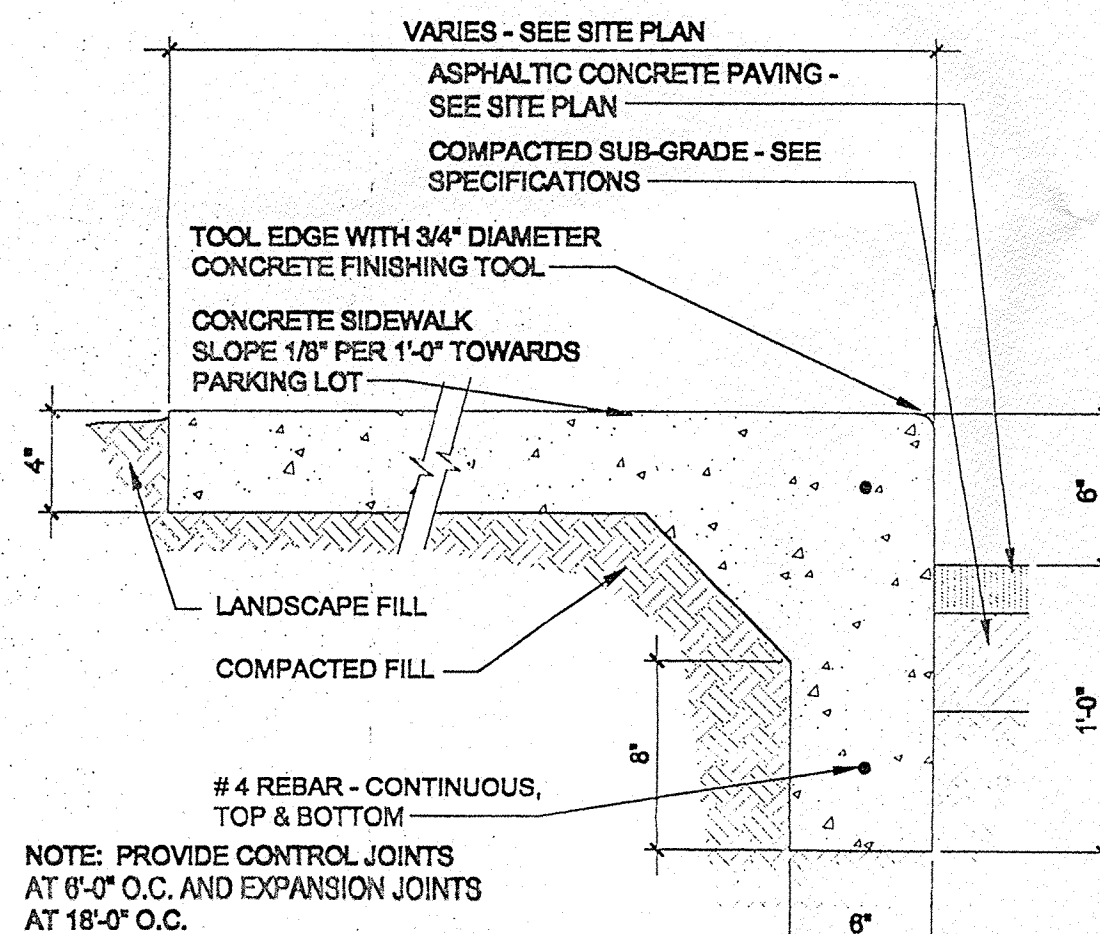
SCALE: 1" = 100'-0"

ADMINISTRATIVE AMENDMENT
FILE # 11-10155 PROJECT # 1000331
approx. 4,000 sq. ft. Bldg. addn.
M. Moore 1/18/12
APPROVED BY DATE



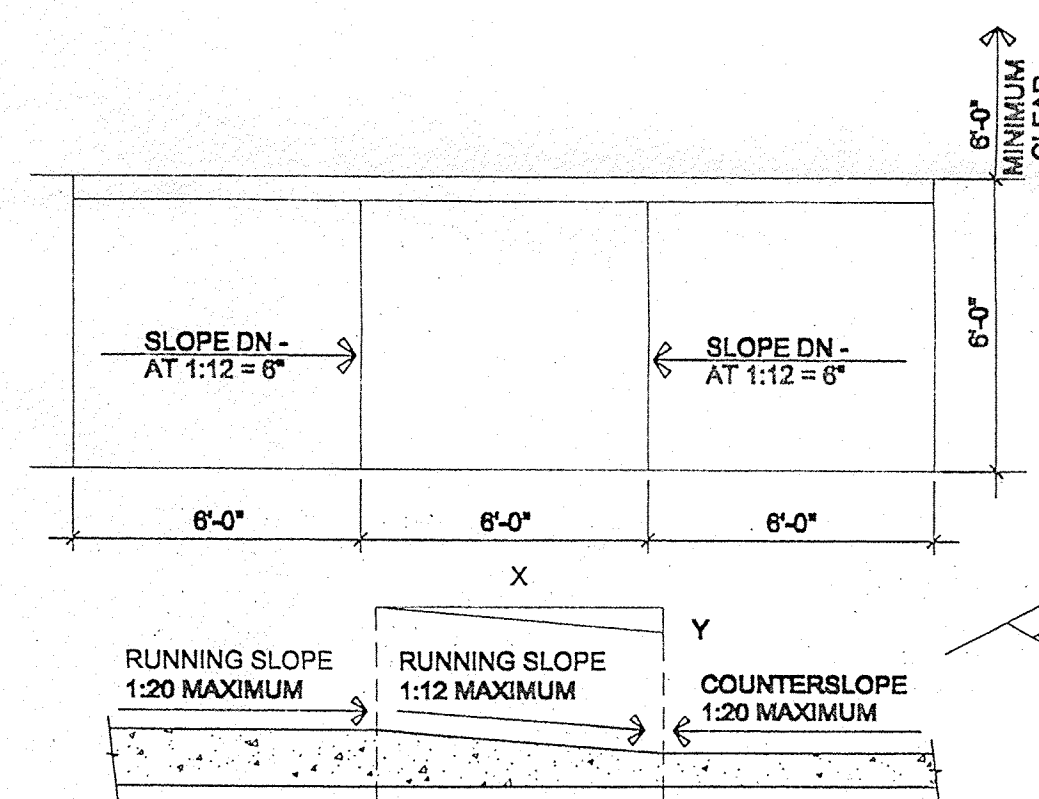
3 BOLLARD

SCALE: 3/4" = 1'-0"
0 3" 6" 1' 2' 3'



4 TURN DOWN SIDEWALK

SCALE: 1 1/2" = 1'-0"
0 2' 4' 6' 10'



NOTE:
(1) SLOPE = Y/X WHERE X IS A LEVEL PLANE
(2) COUNTERSLOPE SHALL NOT EXCEED 1:20

5 ACCESSIBLE CURB CUT ACCESS RAMP

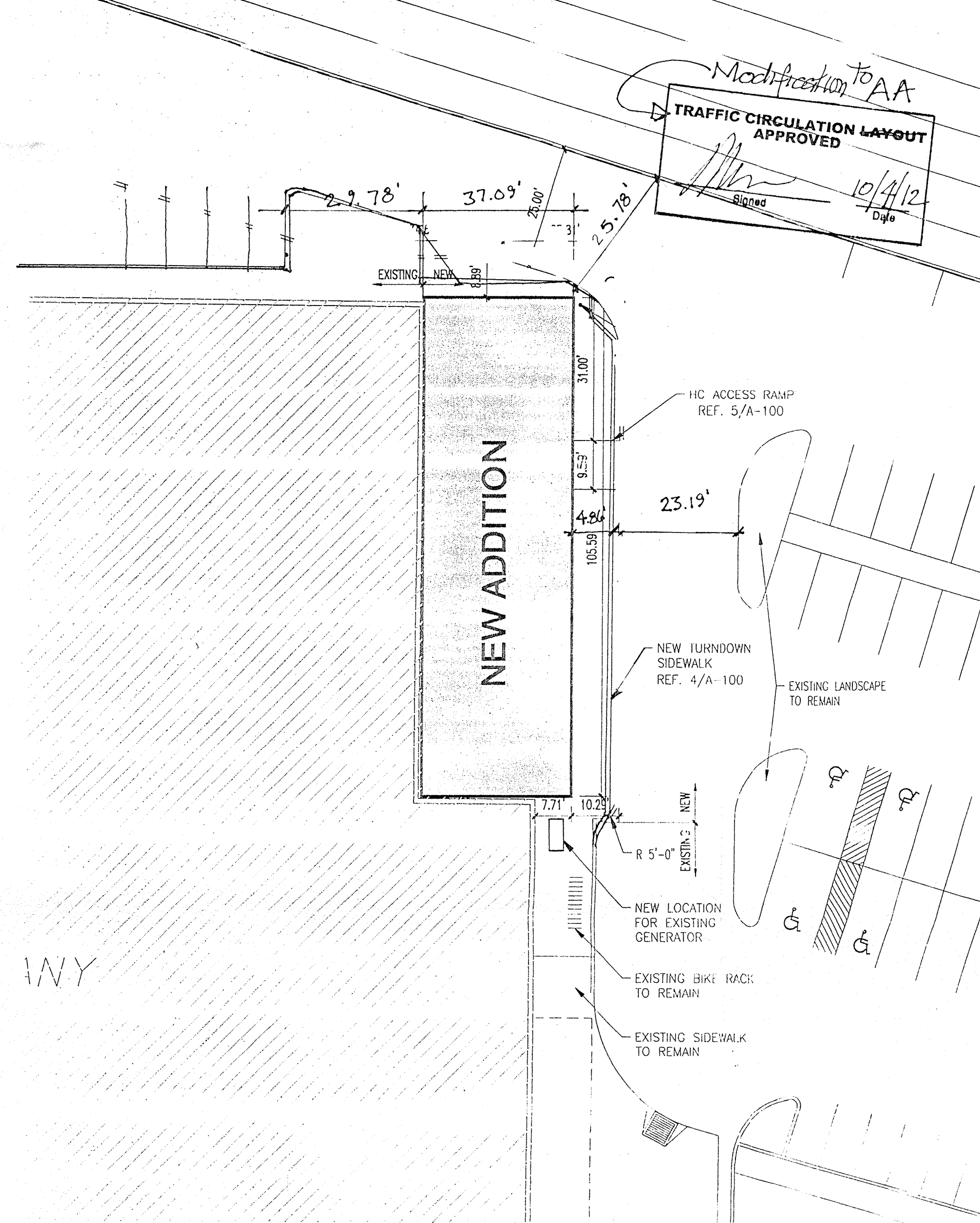
SCALE: 1/4" = 1'-0"
0 1' 2' 4' 8'

2 ENLARGED SITE PLAN

SCALE: 1" = 20'-0"

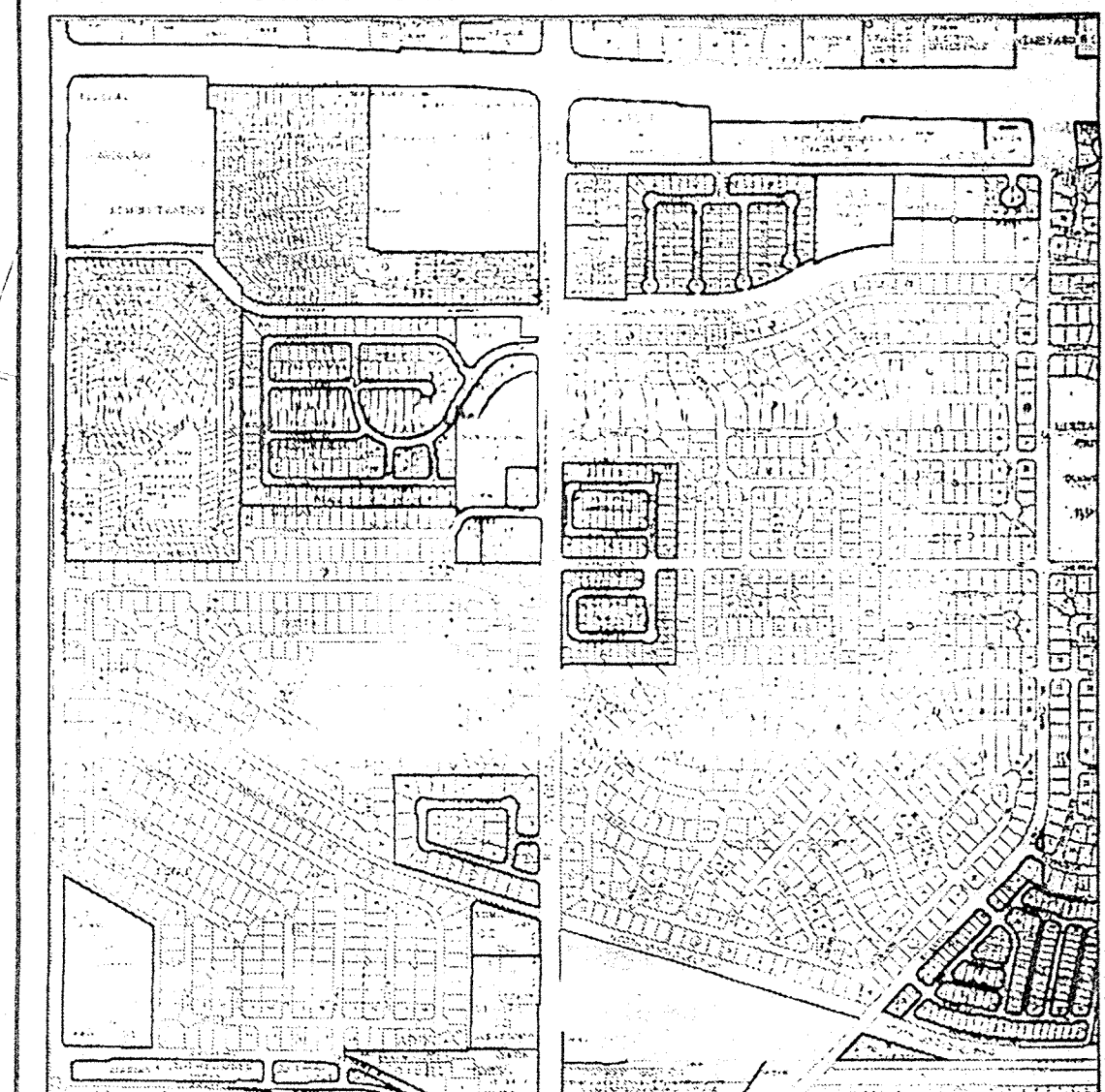
WY

LEGAL DESCRIPTION:
LOTS A-A-1-A-1 AND C-1-A-5-A-1, LOMA DEL NORTE, UNIT 5-A



TRAFFIC CIRCULATION LAYOUT
APPROVED
10/4/12
Digo

GENERAL NOTES
CONTRACTOR TO COORDINATE LOCATION OF ALL UTILITY ENTRANCES INCLUDING BUT NOT LIMITED TO SANITARY SEWER, STORM SEWER, DOMESTIC WATER SERVICE, FIRE PROTECTION WATER SERVICE, ELECTRICAL AND TELEPHONE SERVICE. CONTRACTOR TO COORDINATE LOCATIONS IN SUCH A MANNER TO ASSURE PROPER DEPTHS ARE ACHIEVED, AS WELL AS COORDINATE WITH ANY UTILITY COMPANIES FOR APPROVED LOCATIONS AND SCHEDULING OF CONNECTION TO THEIR FACILITIES.
CONSTRUCTION SHALL COMPLY WITH ALL GOVERNING CODES AND BE CONSTRUCTED TO SAME.
CONTRACTOR SHALL FOLLOW ALL LOCAL, STATE AND FEDERAL REGULATIONS IN DISPOSING OF DEMOLISHED MATERIALS REMOVED FROM THIS SITE.
ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATIONS SHALL RECEIVE 4" OF TOPSOIL.
THE CONTRACTOR SHALL CONFORM TO ALL CITY, STATE AND FEDERAL DUST AND EROSION CONTROL REGULATIONS. THE CONTRACTOR SHALL PREPARE AND OBTAIN ANY NECESSARY DUST OR EROSION CONTROL PERMITS FROM REGULATORY AGENCIES.
THE CONTRACTOR SHALL PROMPTLY REMOVE ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT OF WAY TO KEEP IT FROM WASHING OFF THE PROJECT SITE.
THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE ON TO OTHER PROPERTIES BY CONSTRUCTING TEMPORARY EROSION CONTROL BARRIERS OR INSTALLING SILT FENCES AND WETTING THE SOIL TO KEEP IT FROM BLOWING.
WATERING, AS REQUIRED FOR CONSTRUCTION AND DUST CONTROL SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION AND NO MEASUREMENT OF PAYMENT SHALL BE MADE THEREFOR. CONSTRUCTION AREAS SHALL BE WATERED FOR DUST CONTROL IN COMPLIANCE WITH GOVERNMENT ORDINANCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND SUPPLYING WATER AS REQUIRED.
THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE REGULATIONS CONCERNING CONSTRUCTION NOISE AND HOURS OF OPERATION.
PARKING
HEALTH CLUB 1,123 IBC OCCUPANTS / 3 SPACES PER OCCUPANT = 374 SPACES
RETAIL OCCUPANCY 28,369 TOTAL SQ. FT. = 121 SPACES
15,000 / 200 SQ. FT. FOR FIRST 15,000 SF = 75 SPACES
11,369 / 300 SQ. FT. FOR THE NEXT 45,000 SF = 46 SPACES
OFFICE 77,807 SQ. FT. / 200 SQ. FT. = 389 SPACES
DAY CARE CENTER 8,543 SQ. FT. / 600 SQ. FT. + 2 SPACES = 17+2 = 19 SPACES
SUBTOTAL PARKING REQUIRED = 904 SPACES
904 SPACES - 15% FOR ON SITE BUS SHELTER = 768 SPACES
TOTAL DISABLED SPACES REQUIRED = 16 SPACES
TOTAL SPACES REQUIRED = 887
TOTAL SPACES PROVIDED 887
TOTAL DISABLED SPACES PROVIDED = 28 SPACES
TOTAL BICYCLE SPACES PROVIDED = 36 SPACES
NOTE:
THIS SITE WAS DEVELOPED PRIOR TO THE MOTORCYCLE PARKING REQUIREMENT
ZONING
ZONE GRID = D-18
ZONING BU-1 NEIGHBORHOOD SHOPPING CENTER/ MOVIE THEATER



No	Revision	Item	Date

SCOTT ANDERSON ARCHITECT
7604 Rio Penasco NW, Albuquerque, New Mexico 87120
Phone: (505) 401-7575 Email: andersonscott@comcast.net

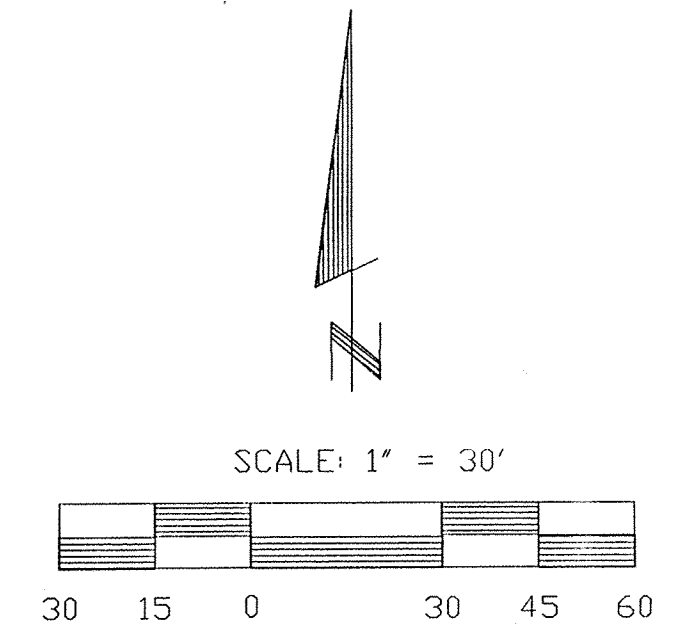
NM GAS COMPANY OFFICE ADDITION
7120 WYOMING BLVD. NE SUITE 20
ALBUQUERQUE, NM 87109

DRAWING TITLE: **ARCHITECTURAL SITE PLAN**

DESIGNED	PROJECT NO.
DRAWN	SCALE
CHECKED	DRAWING NO.
REVIEWED	DATE
	11/30/11

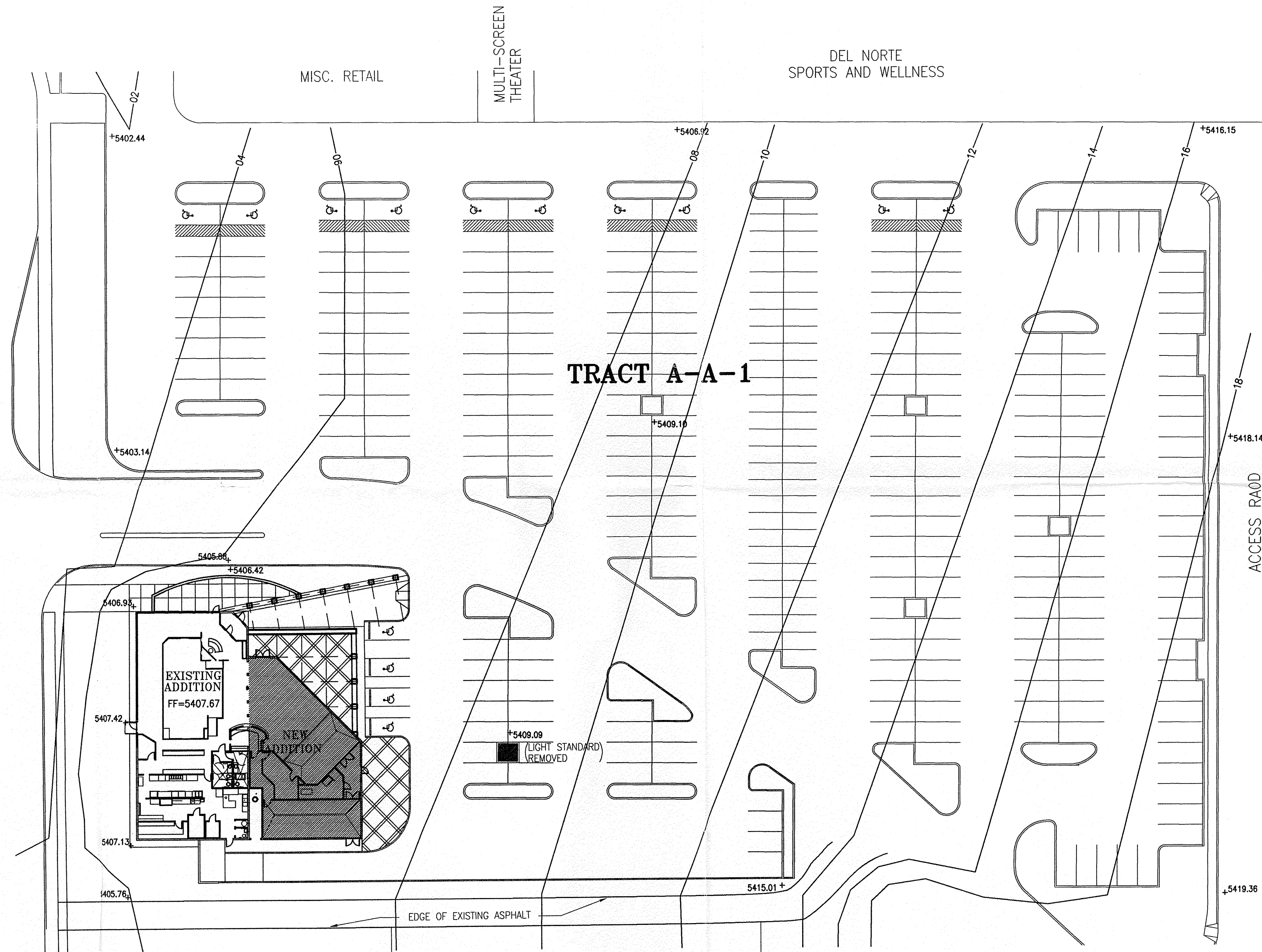
SEAL: **A-100**

AS-BUILT DRAINAGE PLAN OF A PORTION OF
TRACT A-A-1
DEL NORTE SHOPPING CENTER
 7120 WYOMING BLVD.
 ALBUQUERQUE, NEW MEXICO
 APRIL 1997



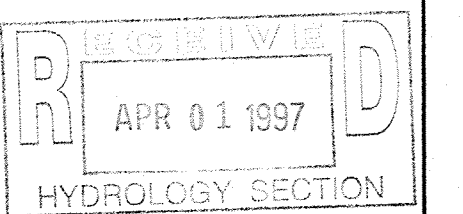
- LEGEND**
- +5406.93 SPOT ELEVATION
 - [Symbol] LIGHT STANDARD
 - [Symbol] CURB & GUTTER
 - [Symbol] CONTOUR INTERVAL 2 FEET
- NOTE:**
 ALL PARKING, DRIVEWAYS AND ACCESS ROADS ARE ASPHALT PAVEMENT

WYOMING BOULEVARD N.E.



TR C1A1

TR C1A2



James A. Baker
 NEW MEXICO
 REGISTERED PROFESSIONAL ENGINEER
As-Built
4-1-97

ASSOCIATED DEVELOPMENT, INC.				REVISIONS		DATE
CIVIL ENGINEERING/WATER RESOURCES COMMUNITY PLANNING & DEVELOPMENT P.O. BOX 5000 MORIARTY, NEW MEXICO 87035 505-832-1425 or 832-6996/FAO						
FILE: DEL NORTE SHOPPING	DES BY JAB DATE	4/97				
JOB# 97-105	DRW BY JNS DATE	4/97				
COMP FILE# N/A	CHK BY JAB DATE					
FIELD BOOK# N/A	DWG FILE# 97-105.DWG					
SHEET 1 OF 1 SHEETS						