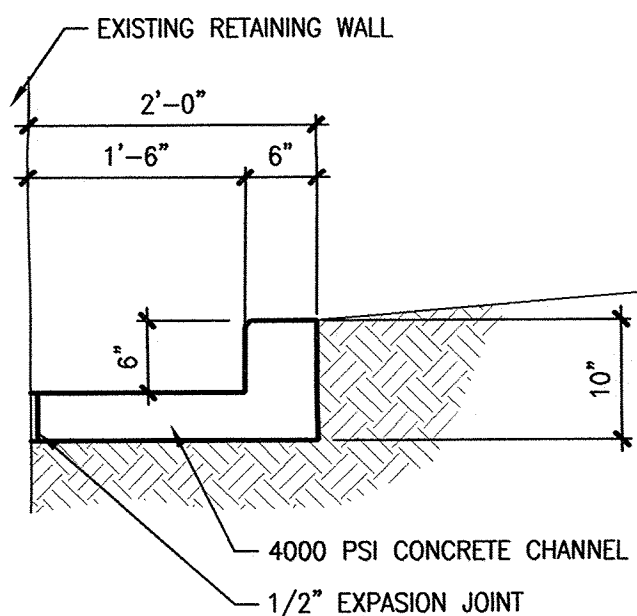
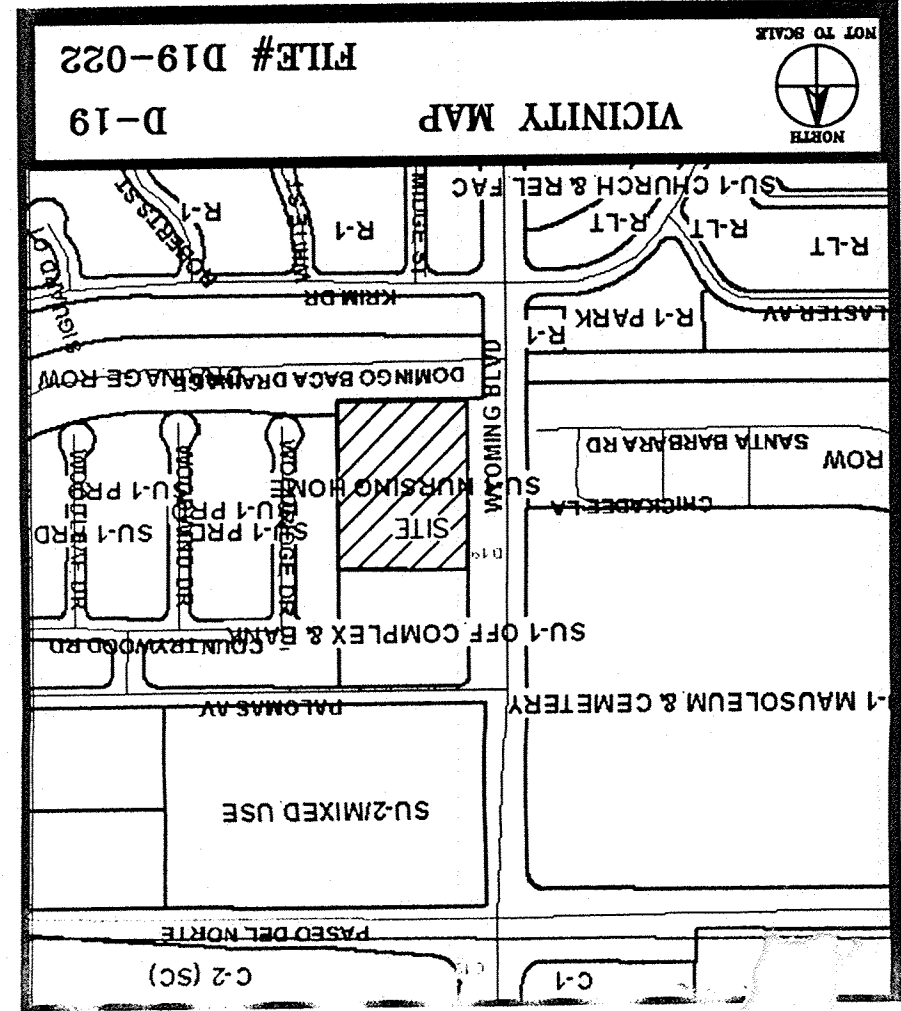



$$\frac{3}{4}'' = 1' - 0''$$

0 10' 20' 40'

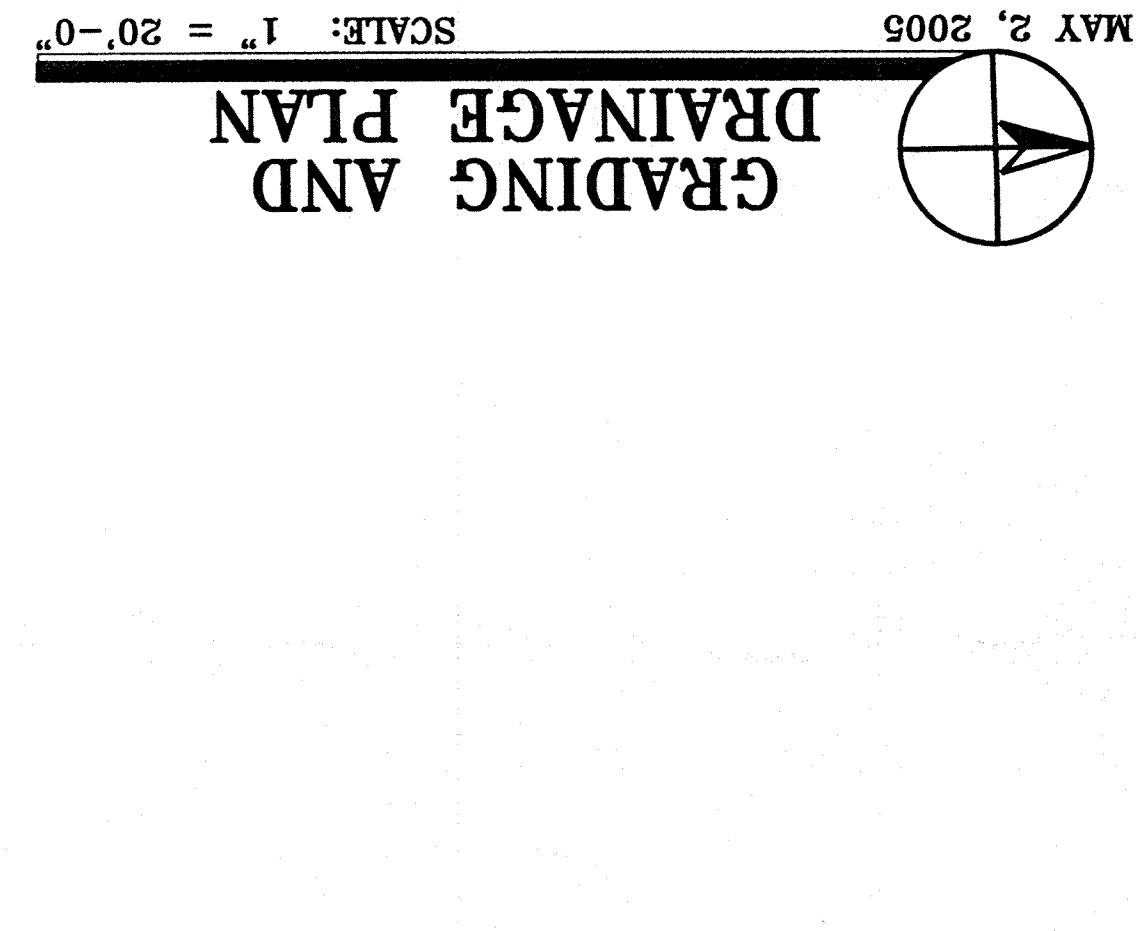
SCALE: 1" = 20'



BENCH MARK:
THE BASIS OF ELEVATIONS FOR THIS SURVEY IS ACS BENCHMARK HEAVEN, THE PUBLISHED ELEVATION OF WHICH IS 5275.62. SAID BENCHMARK IS LOCATED ALONG THE SOUTHERLY RIGHT-OF-WAY OF PASADENA BLVD. NE. 0.15 MI. WEST OF WYOMING BLVD. NE.

LEGAL DESCRIPTION:
TRACTS X-1-B-1, X-1-B-2, X-1-B-3, X-1-B-4 (FORMERLY TRACT X-1-B NORTH ALBUQUERQUE ACRES, SECTION 19, TOWNSHIP 11 N, RANGE 4 E, N.M.P.M. BERNALILLO COUNTY, NEW MEXICO

1. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CALL FOR LOCATIONS OF EXISTING UTILITIES.
2. ALL WORK WITHIN THE CITY RIGHT OF WAY SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE COA STANDARDS AND PROCEDURES.
3. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS, LAWS, AND RULES CONCERNING SAFETY AND HEALTH.
4. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL VERIFY THE EXISTING SITE CONDITIONS AND INFORM THE ARCHITECT / ENGINEER OF ANY DISCREPANCY BETWEEN THE INFORMATION SHOWN ON THE PLANS AND THOSE OF THE EXISTING SITE.
5. THE CONTRACTOR SHALL PROVIDE THE ARCHITECT/ENGINEER WITH AN AS-BUILD SITE PLAN AND SITE GRADING PLAN.
6. THE OWNER / CONTRACTOR SHALL SUBMIT A NOTICE OF INTENT (NOI) TO THE EPA PRIOR TO BEGINNING OF CONSTRUCTION.
7. CONTRACTOR SHALL COMPLY WITH STORM WATER POLLUTION PREVENTION PLAN (SWPPP) SPECIFIC TO THIS PROJECT. SWPPP TO BE PROVIDED BY OWNER.

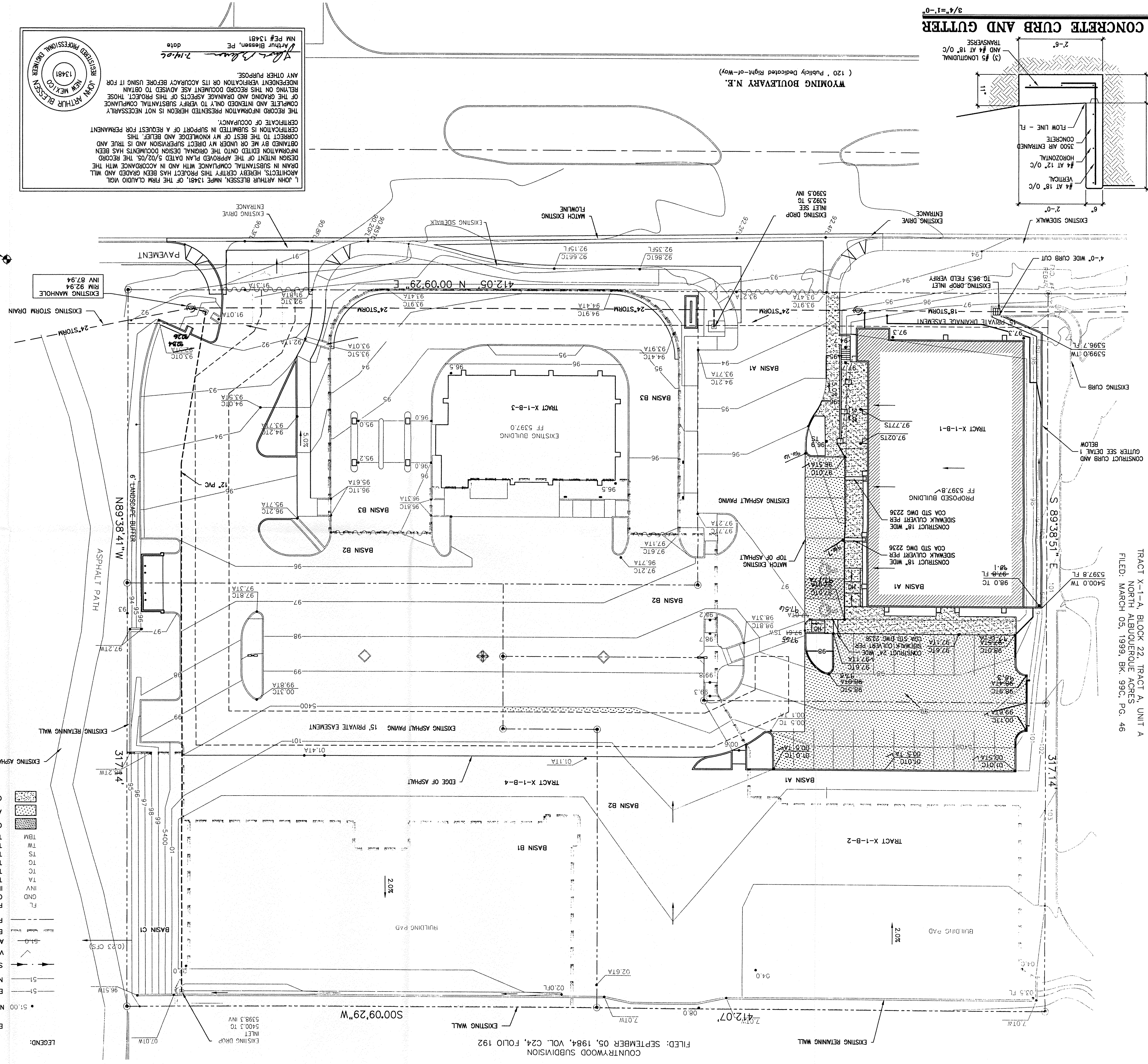
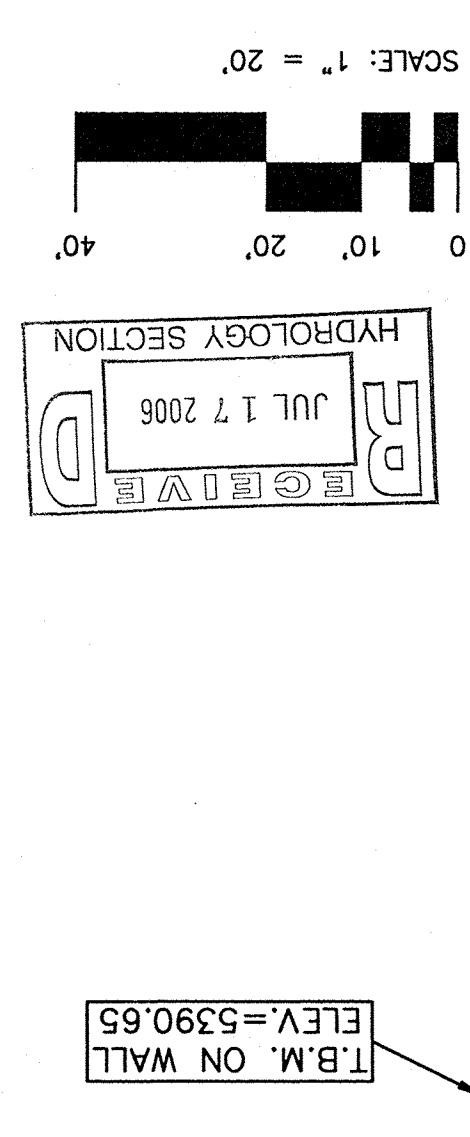
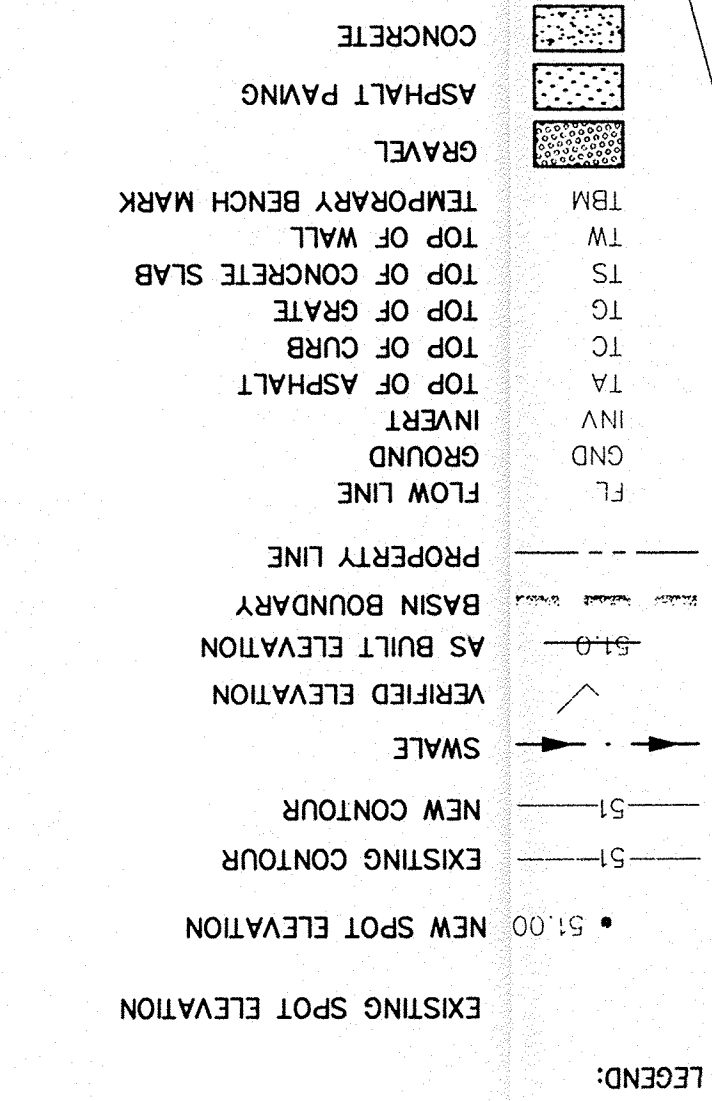


CLAUDIO VIGIL ARCHITECTS
OFFICE BUILDING SHELL
WYOMING OFFICE PARK
7930 WYOMING BOULEVARD
ALBUQUERQUE, NEW MEXICO

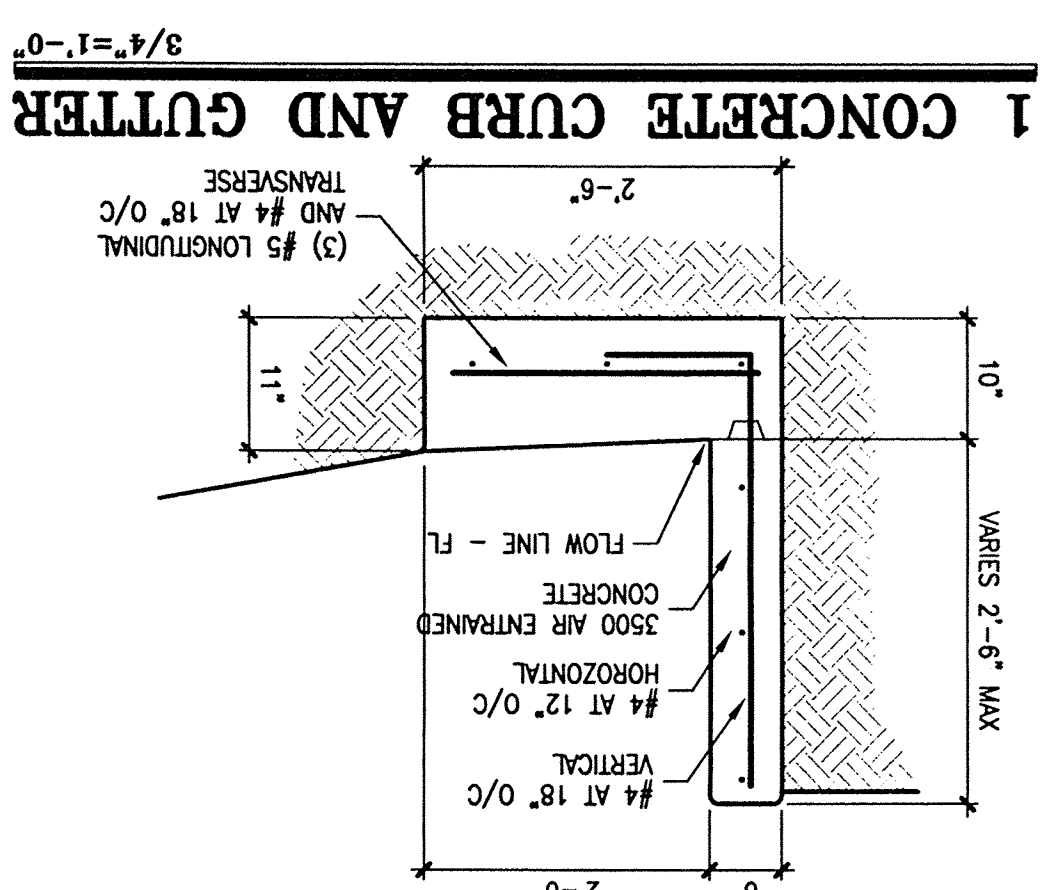
OWNERSHIP OF INSTRUMENTS OF SERVICE
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Phone: 505/842-1113 Fax: 505/842-1330

REGISTERED PROFESSIONAL ENGINEER
NEW MEXICO
13481
JOHN ARTHUR BLESSEN
C-1 SHEET



TRACT X-1-A, BLOCK 22, TRACT A, UNIT A
NORTH ALBUQUERQUE ACRES
FILED: MARCH 05, 1999, BK. 99C, PG. 46

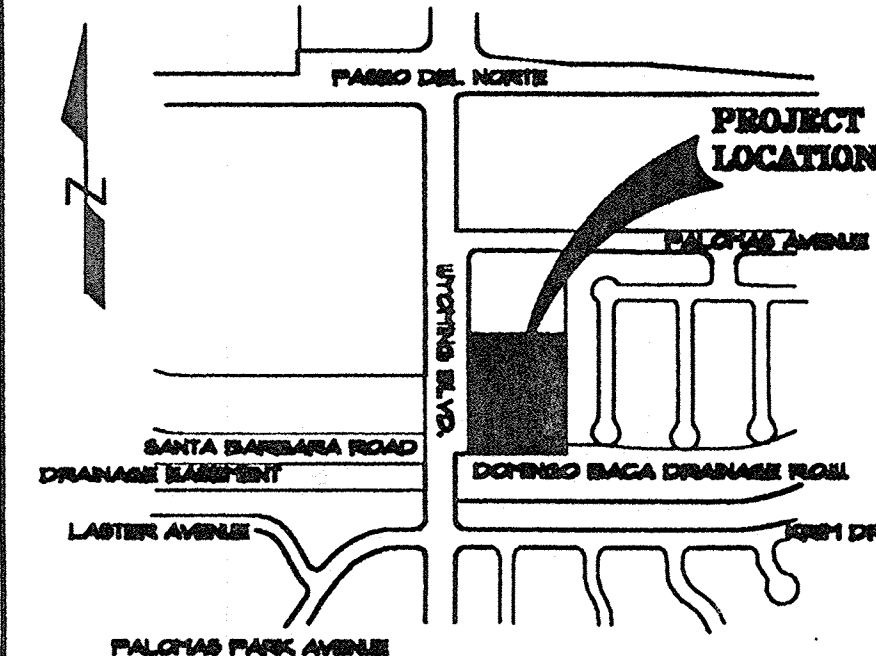


COUNTRYWOOD SUBDIVISION
FILED: SEPTEMBER 05, 1984, VOL. C24, FOLIO 192

SITE PLAN LEGEND

- INDICATES EXTENT OF LANDSCAPE AREAS AND SIZE OF EACH AREA
- INDICATES EXTENT OF ASPHALTIC CONCRETE PAVING, MINIMUM 2" OF ASPHALT OVER 4" BASE COURSE
- INDICATES EXTENT OF CONCRETE PAVING AND CONCRETE SIDEWALKS
- PROPERTY LINE
- EASEMENT BOUNDARIES
- STORM DRAIN

VICINITY MAP



D-19

SITE LIGHTING SHALL BE LOCATED SO AS NOT TO GLARE ON TO ADJACENT SITES. LIGHTS SHALL BE LOCATED ON THE SITE AND THE BUILDING.

LIGHT SHALL NOT GLARE ON TO ANY PUBLIC RIGHT-OF-WAY AND SHALL NOT HAVE AN OFF-SITE LUMINANCE OF GREATER THAN 100 FOOT CANDLETS. ALL LIGHT FIXTURES SHALL BE FULL CUTOFF TYPE TO PREVENT RIGTHTE LIGHT. NO LIGHT SOURCE SHALL BE VISIBLE FROM THE SITE PERIMETER. ALL LIGHTS MUST BE FULLY SHIELDED TO PREVENT RIGTHTE LIGHT BEYOND THE PROPERTY LINE.

SITE LIGHTING FOR PAD STRUCTURES IS TO MATCH THE SITE LIGHTING PROVIDED FOR THE MAIN PARKING AREA EXPOSED. IE. UNSHIELDED LIGHT FIXTURES ARE PROHIBITED. ALL LIGHTS MUST BE SHIELDED SHOE BOX TYPE FIXTURES.

ALL LIGHTING TO COMPLY WITH THE NIGHT SKY PROTECTION ACT.

1 LIGHTING DETAIL

NOT TO SCALE

GENERAL NOTES

- PERMISSIVE USE SHALL INCLUDE OFFICE AND MEDICAL/DENTAL CLINICS, AS WELL AS 10% OF TOTAL FLOOR AREA FOR INCIDENTAL USE AS LONG AS SIGN OR WINDOW DISPLAY RELATING TO USE IS NOT DISCERNABLE FROM PUBLIC RIGHT OF WAY.
- LANDSCAPING SHALL BE MAINTAINED BY THE OWNER.
- THERE SHALL BE NO LIMIT TO THE NUMBER OF WALL SIGNS. TOTAL BUILDING SIGNAGE SHALL NOT EXCEED 15% OF THE AREA OF THE FACADE.
- THERE SHALL BE ONE FREE STANDING SIGN FOR THE PREMISES.
- HEIGHT OF FREE STANDING SIGN SHALL NOT EXCEED 26' AND THERE SHALL BE NO MOTION OR WIND DEVICES FOR ANY SIGN UNLESS A MESSAGE SIGN DISPLAYS THE OR TEMPERATURE.
- SIGN LETTERING OR CHARACTERS SHALL NOT EXCEED 3" IN HEIGHT.
- SIGNS SHALL NOT PROTRUDE INTO THE PUBLIC RIGHT OF WAY EXCEPT A WALL SIGN WHICH MAY PROTRUDE UP TO ONE FOOT.

7920 WYOMING BLVD NW
Proposed Building 'B'
Phase II - One Story Offices
GROSS FLOOR AREA - 8,700 Sq. Ft.
Net Leasable Area 7,400 S.F.
37 Parking Stalls - 2 Bicycle
10% Reduction for Bus = 34 Stalls
Accessible Parking Rqd = 2

7910 WYOMING BLVD NW
Proposed Building 'C'
Phase III - One Story Offices
GROSS FLOOR AREA - 10,915 Sq. Ft.
Net Leasable Area 9,500 S.F.
48 Parking Stalls - 2 Bicycle
10% Reduction for Bus = 43 Stalls
Accessible Parking Rqd = 3

7930 WYOMING BLVD NW
Proposed Building 'A'
Phase I - One Story Offices
GROSS FLOOR AREA - 8,550 Sq. Ft.
Net Leasable Area 7,300 S.F.
37 Parking Stalls - 2 Bicycle
10% Reduction for Bus = 34 Stalls
Accessible Parking Rqd = 2

7900 WYOMING BLVD NW
Bank - 3 window
GROSS FLOOR AREA - 3,800 Sq. Ft.
Usable Area 3,450 S.F.
17 Parking Stalls - 2 Bicycle
10% Reduction for Bus = 16 Stalls
Accessible Parking Rqd = 1
Queueing Rqd 6x3=18x20' = 360'
Queueing Length Prvd. = 400'

Wyoming Boulevard n.e.
(120' Publicly Dedicated Right-of-Way)

SIGNATURE BLOCK

PROJECT NO. 1902716 E.P.C. CASE NO. 0367, 00912
S.D.P. CASE NO. 0367, 01570

THIS PLAN IS IN CONFORMANCE WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) ON 10/1/03 AND THAT THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTICE OF DECISION HAVE BEEN COMPLIED WITH.

SITE DEVELOPMENT PLAN

10/1/03 DATE

10/1/03 DATE

12/22/03 DATE

12/26/03 DATE

9-15-03 DATE

APPROVAL AND CONDITIONAL ACCEPTANCE: AS SPECIFIED BY THE DEVELOPMENT PROCESS MANUAL.

10/1/03 DATE

PLN2(10706) 4/06

BUILDING CRITERIA

PROJECT: WYOMING OFFICE PARK
LEGAL DESCRIPTION:
LOTS 1-15 OF LOTS 1 THRU 15, BLOCK 22, TRACT 18, UNIT 15 NORTH ALBUQUERQUE ACRES

ZONING CLASSIFICATION: EXISTING: SU-1
PROPOSED: SU-1C-1 OFFICE AND BANK

ZONING ATLAS MAP: D-18

CASE HISTORY: DRS-21-361 & DRS-22-4
7-00-01

BUILDING TYPE: OFFICE BUILDING & THREE WINDOW BANK

CONSTRUCTION TYPE: TYPE IN ASPHALT

GROSS SQUARE FOOTAGE: 28,965 SF

NET LEASABLE SQUARE FOOTAGE: 21,600 SF

OCCUPANCY GROUP: GROUP 1 OCCUPANCIES

REQUIRED PARKING: 136 SPACES - 10% BUS ROUTE = 25 STALLS
REQUIRED ACCESSIBLE = 8

PROVIDED PARKING: 136 STALLS - 10 ACCESSIBLE

PARKING SPACE SIZES:
REGULAR CAR PARKING SPACES = 9'-0" x 19'-0" WITH A 2'-0" OVERHANG
VAN ACCESSIBLE HANDICAP PARKING SPACE = 9'-0" x 19'-0" WITH A 2'-0" OVERHANG AND A 9'-0" WIDE ACCESS STRIP.

TOTAL LOT AREA: 108,600 SQUARE FEET, 3.0 ACRES

NET LOT AREA: 98,715 SQUARE FEET

TOTAL PARKING/PAVED AREA: 60,461 SQUARE FEET

TOTAL LANDSCAPE AREA REQUIRED: 14,161 SF.

TOTAL LANDSCAPE AREA PROVIDED: 24,626 SF.

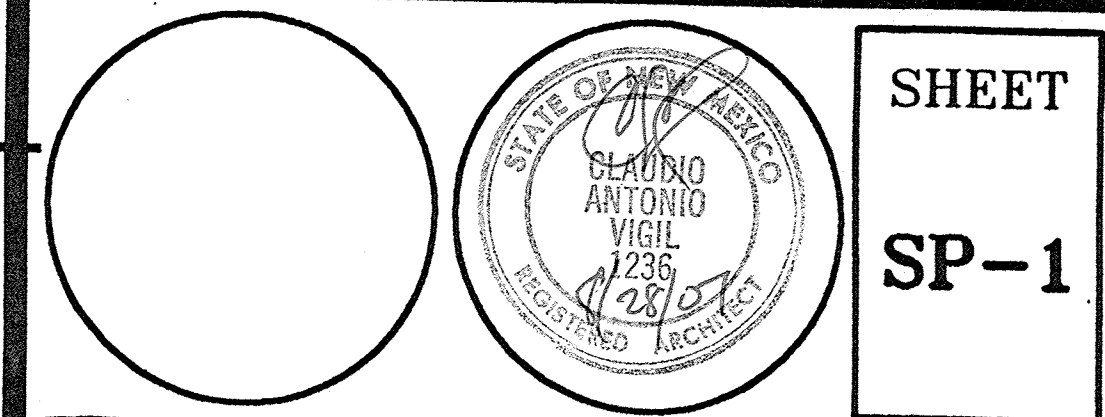
LANDSCAPE TO PARKING AREA RATIO: 41 TO 1

S.D.P. FOR BUILDING PERMIT

SEPTEMBER 16, 2003 SCALE: 1" = 20'-0"

CLAUDIO VIGIL ARCHITECTS

WYOMING OFFICE PARK
OFFICE COMPLEX AND BANK
WYOMING BLVD. & PALOMAS AVE. N.E.
ALBUQUERQUE, NEW MEXICO



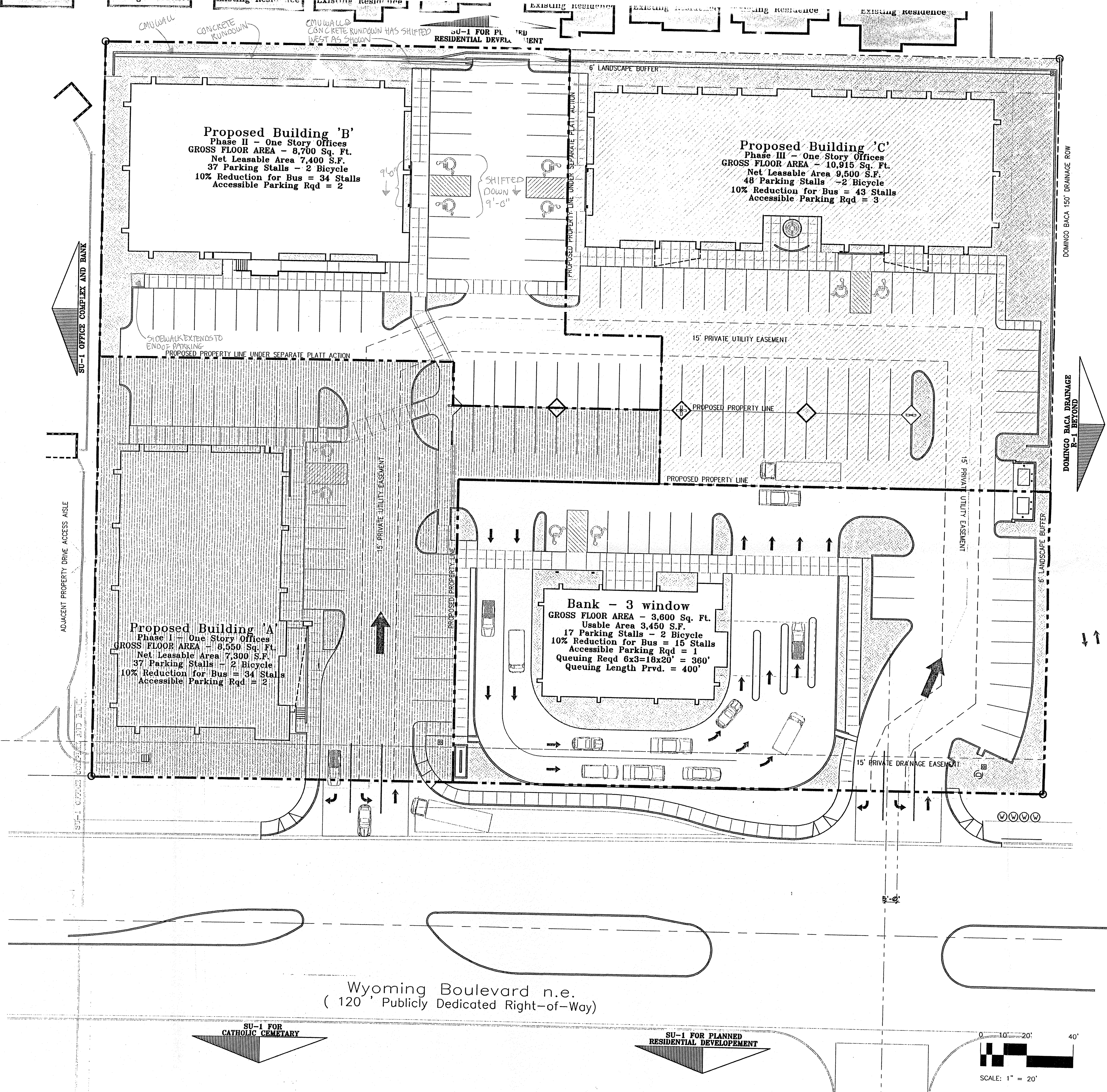
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Phone: 505/842-1113 Fax: 505/842-1330

SHEET
SP-1

AFD PLANS CHECKING OFFICE
824-3611
APPROVED
HYDRANT(S) ONLY
19-15-03
SIGNATURE & DATE

SCALE: 1" = 20'-0"
AUG 28 2007
HYDROLOGY SECTION

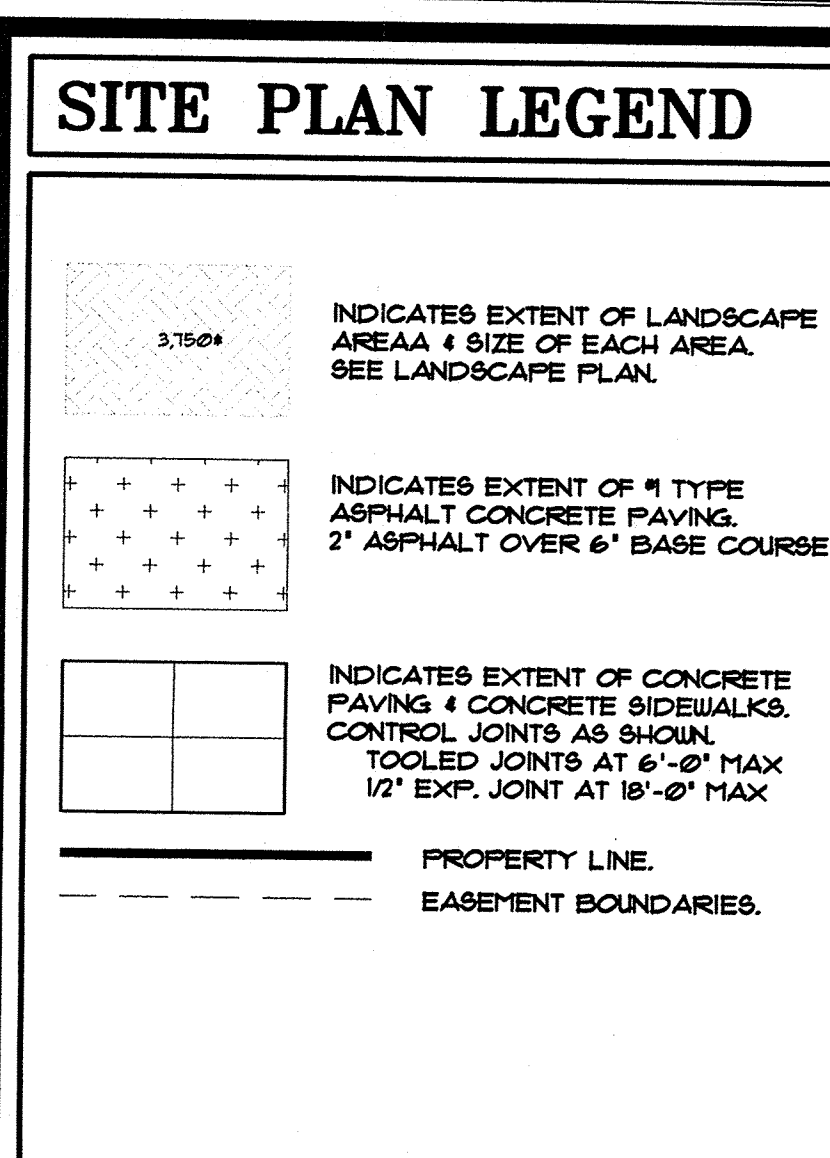
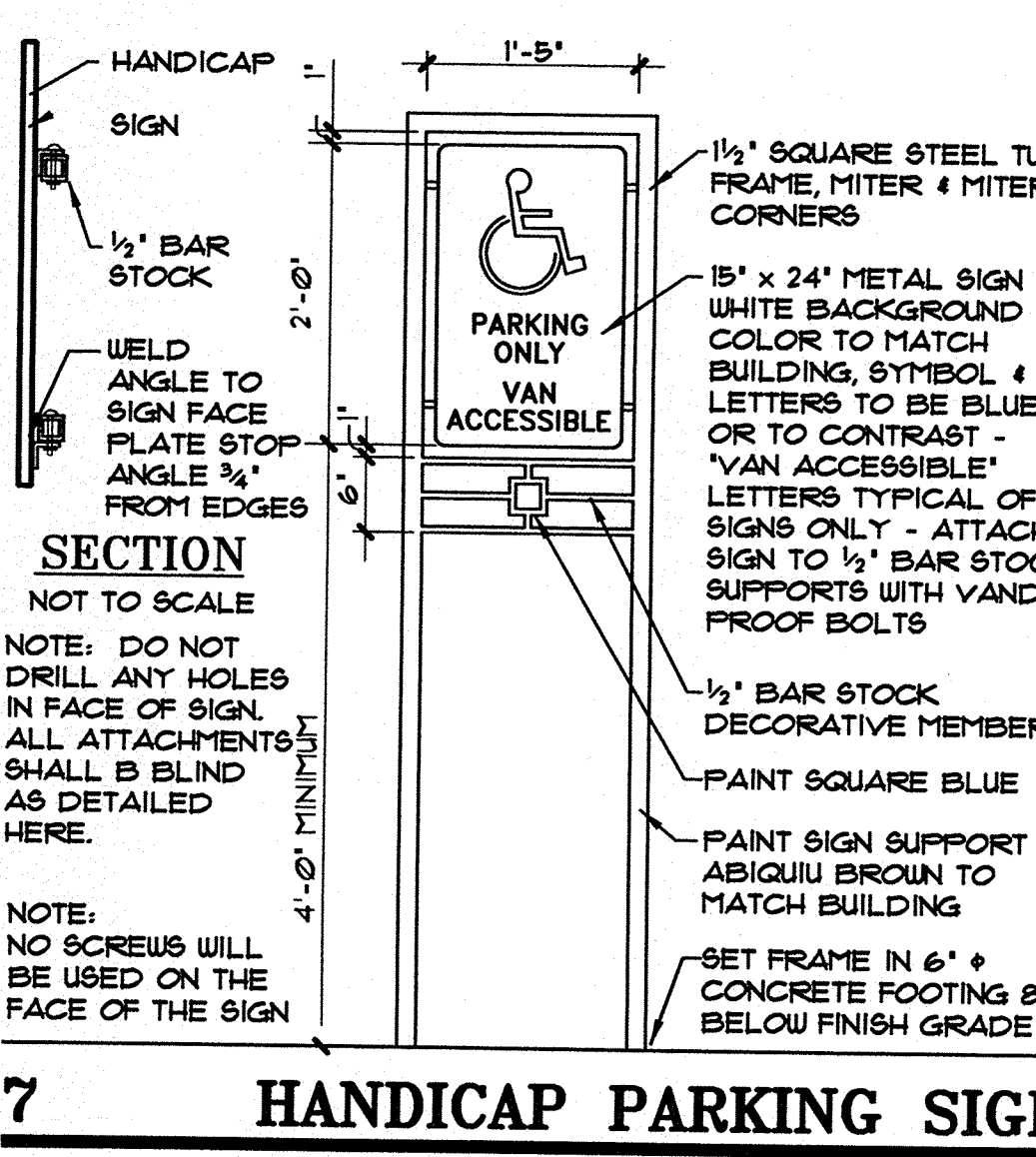
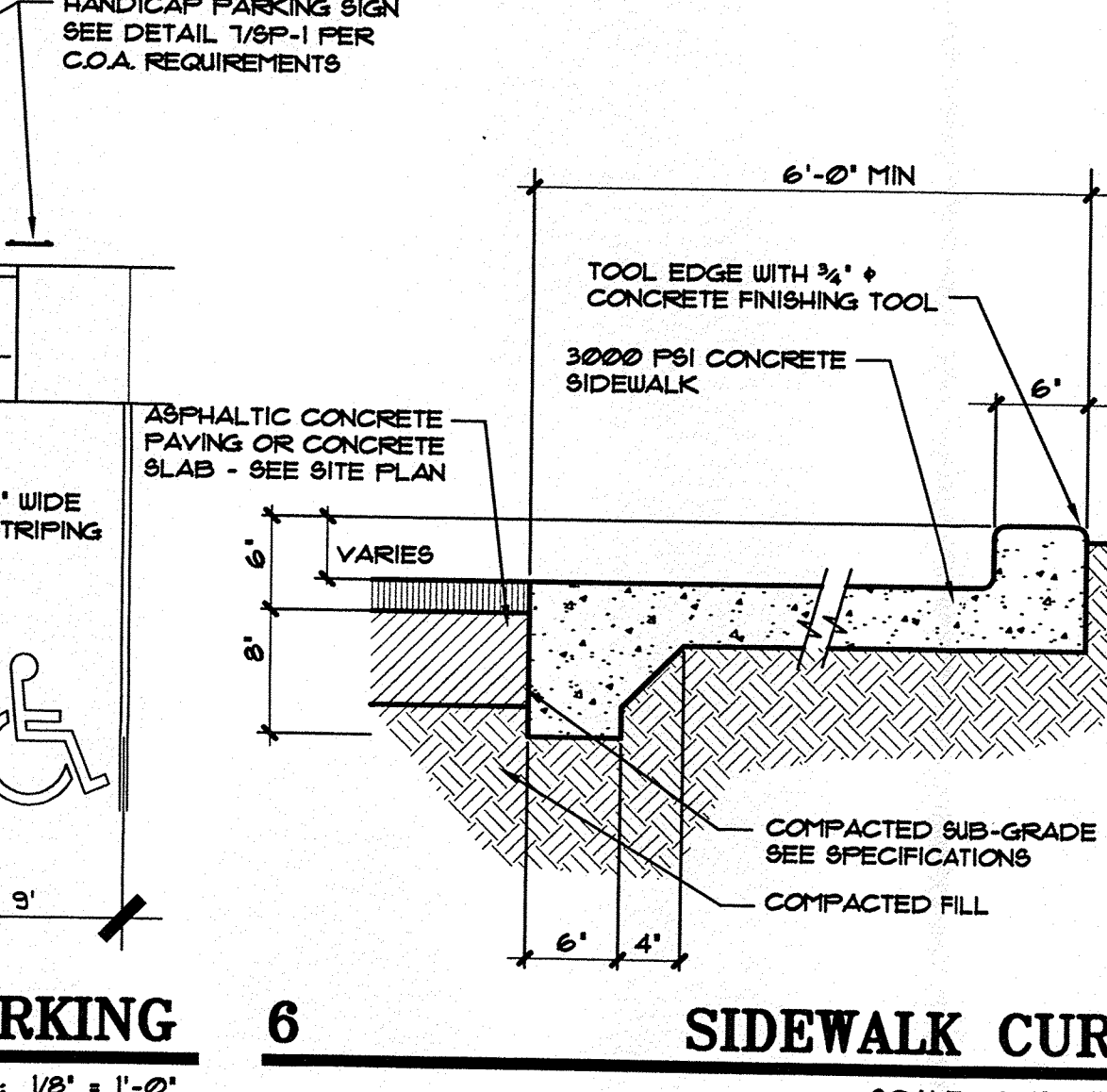
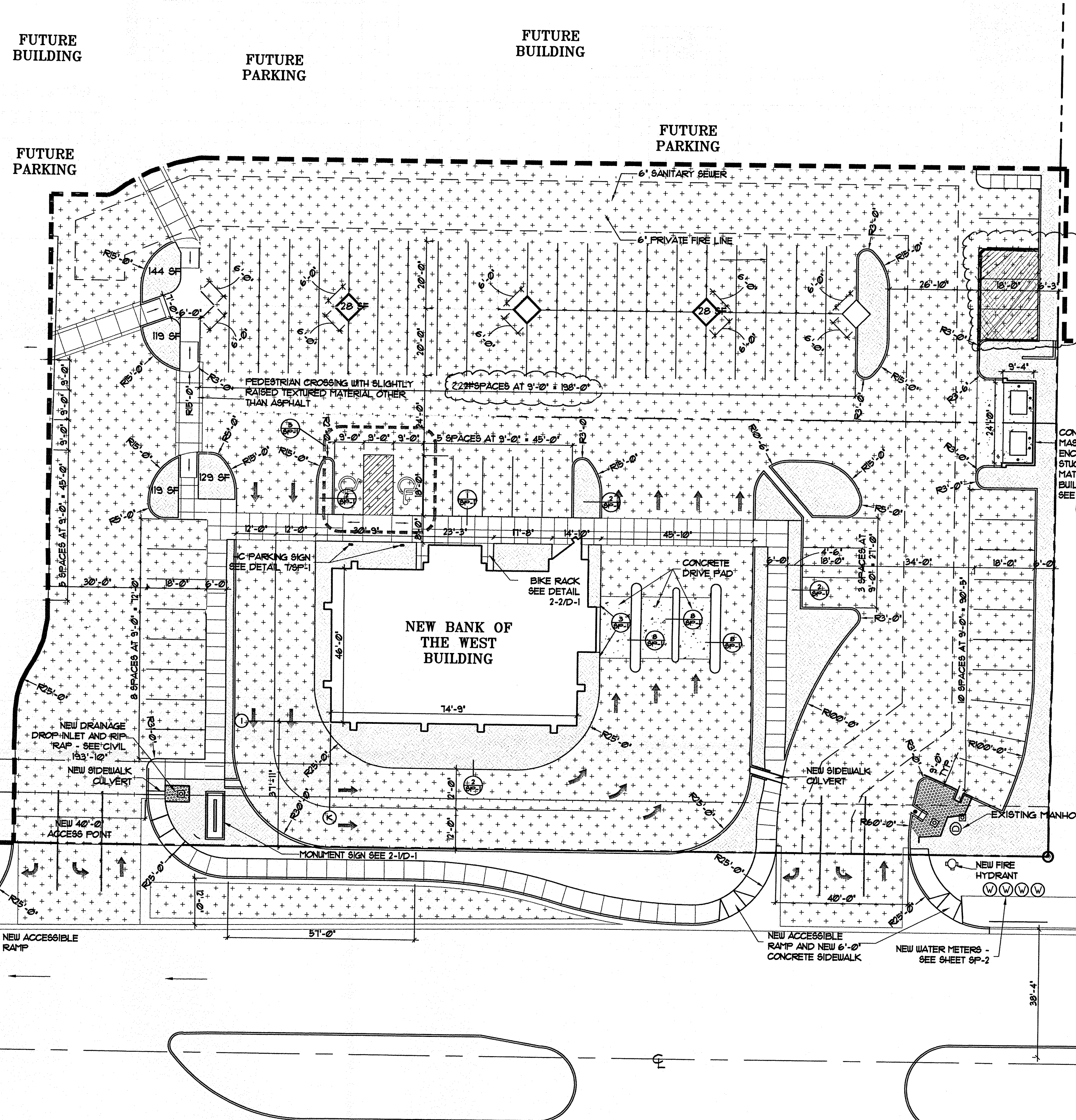
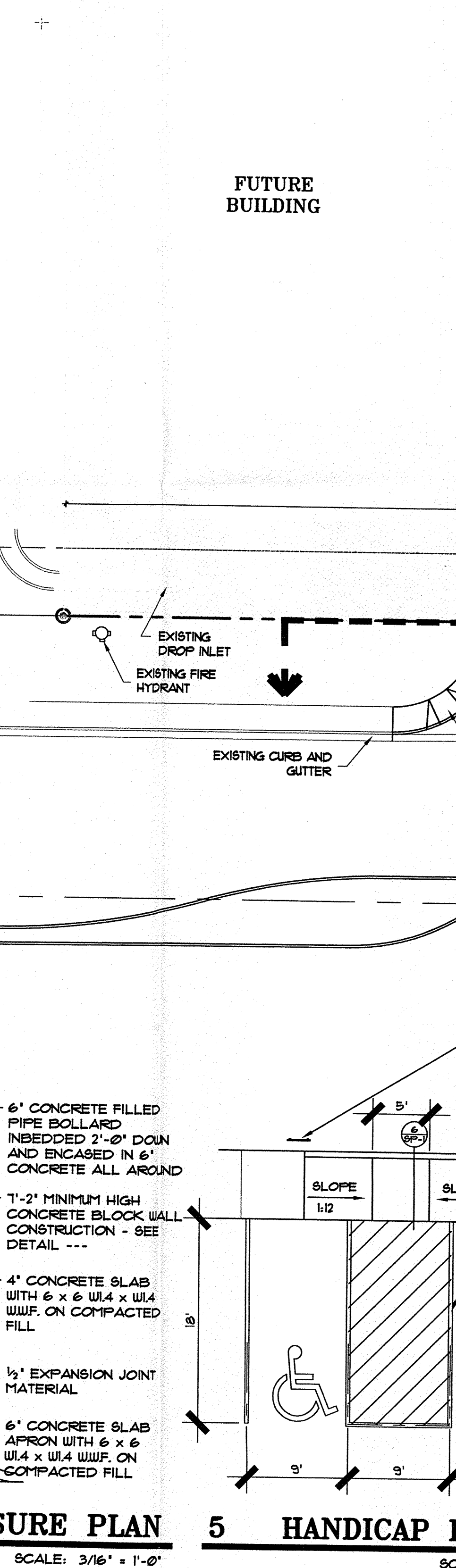
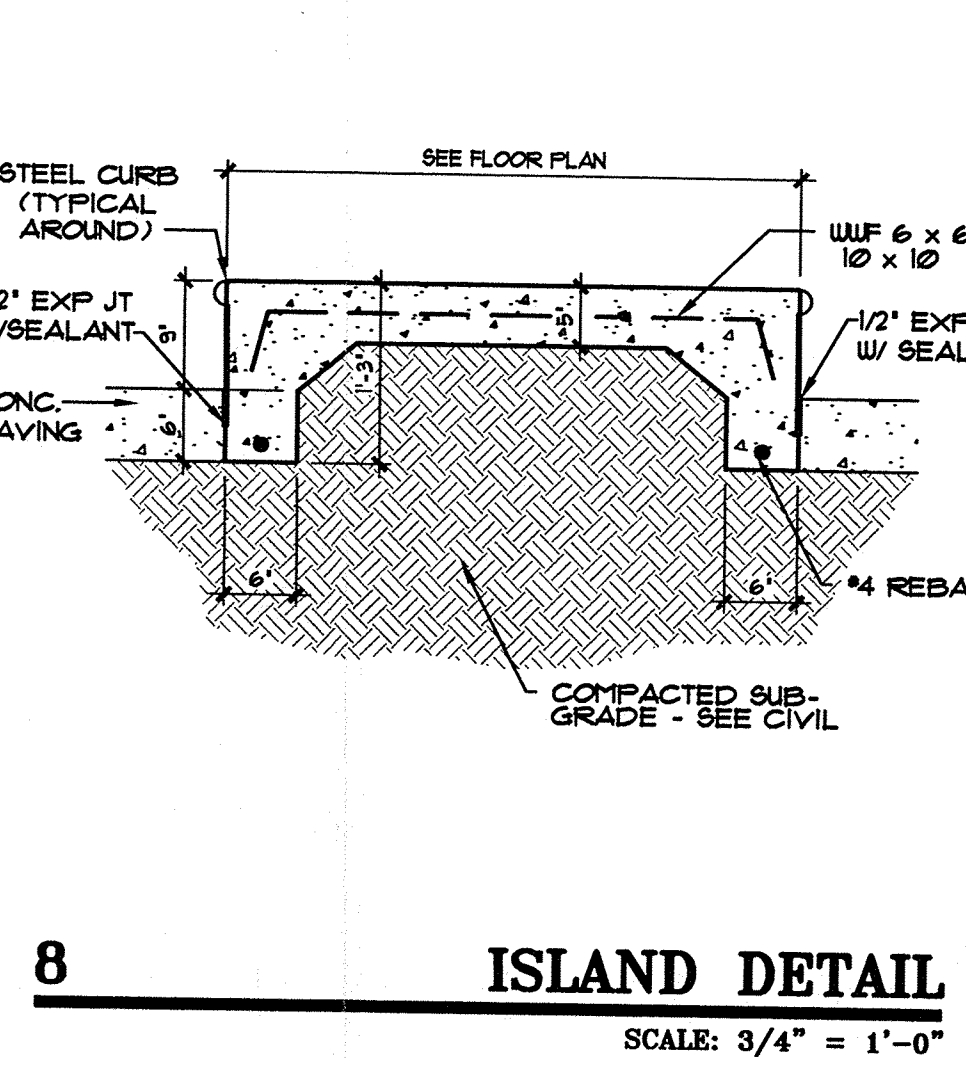
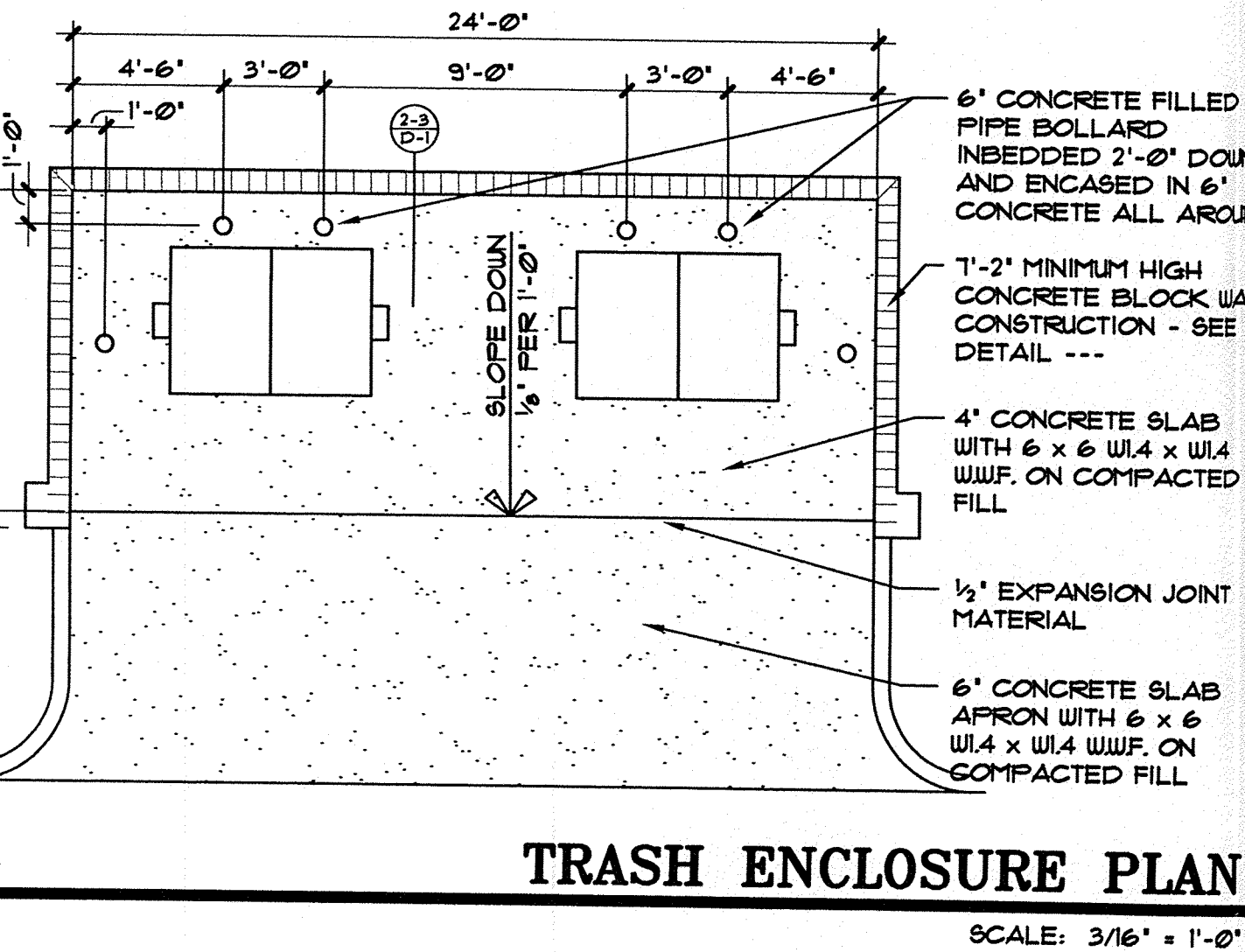
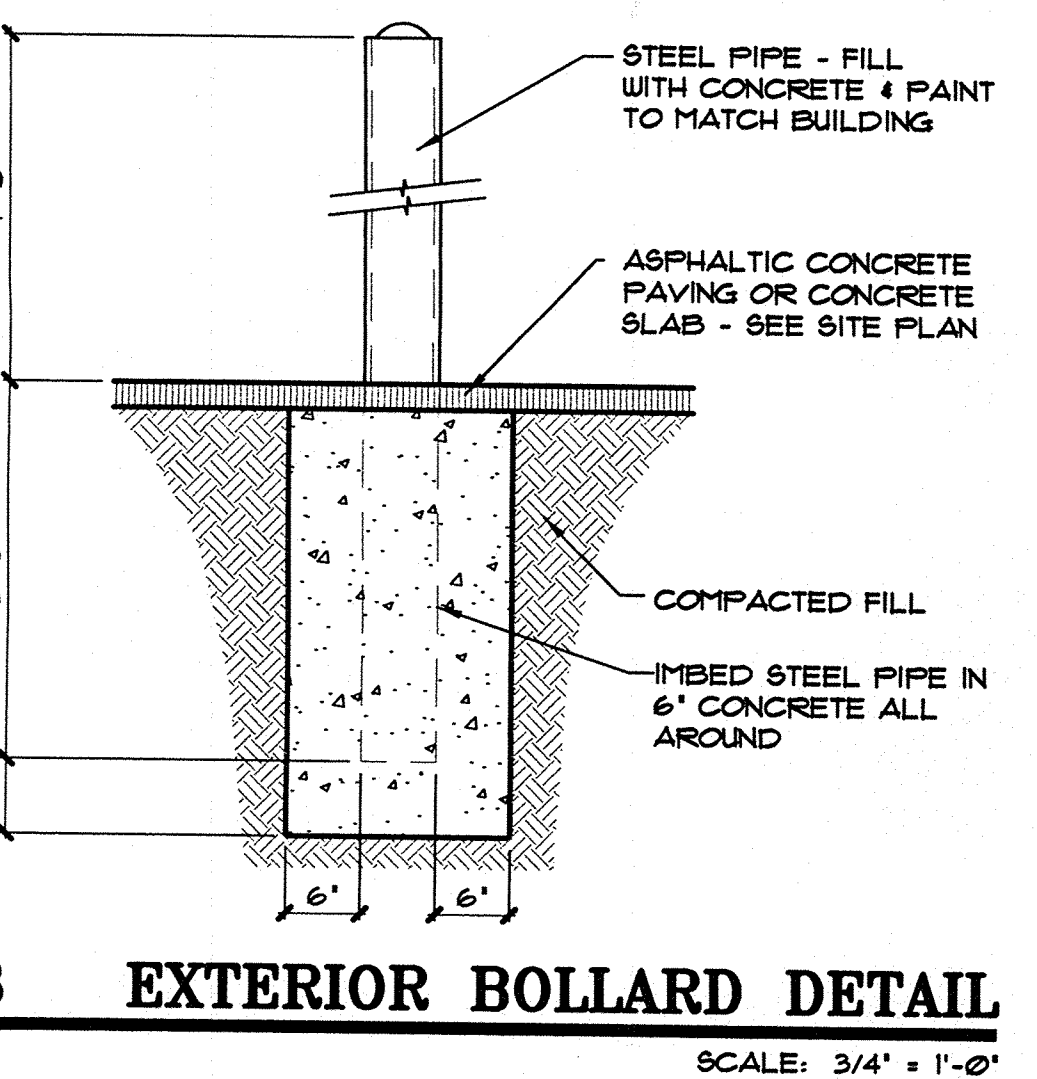
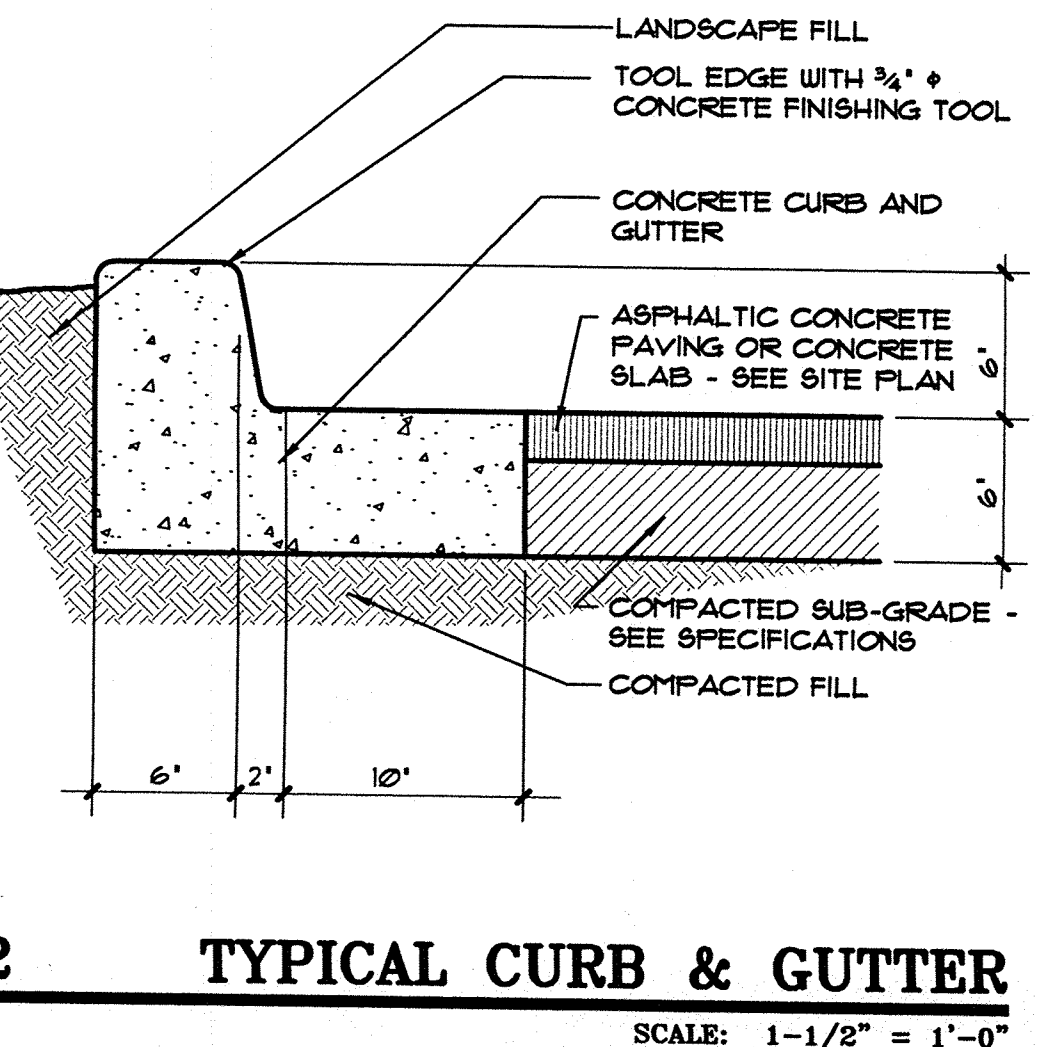
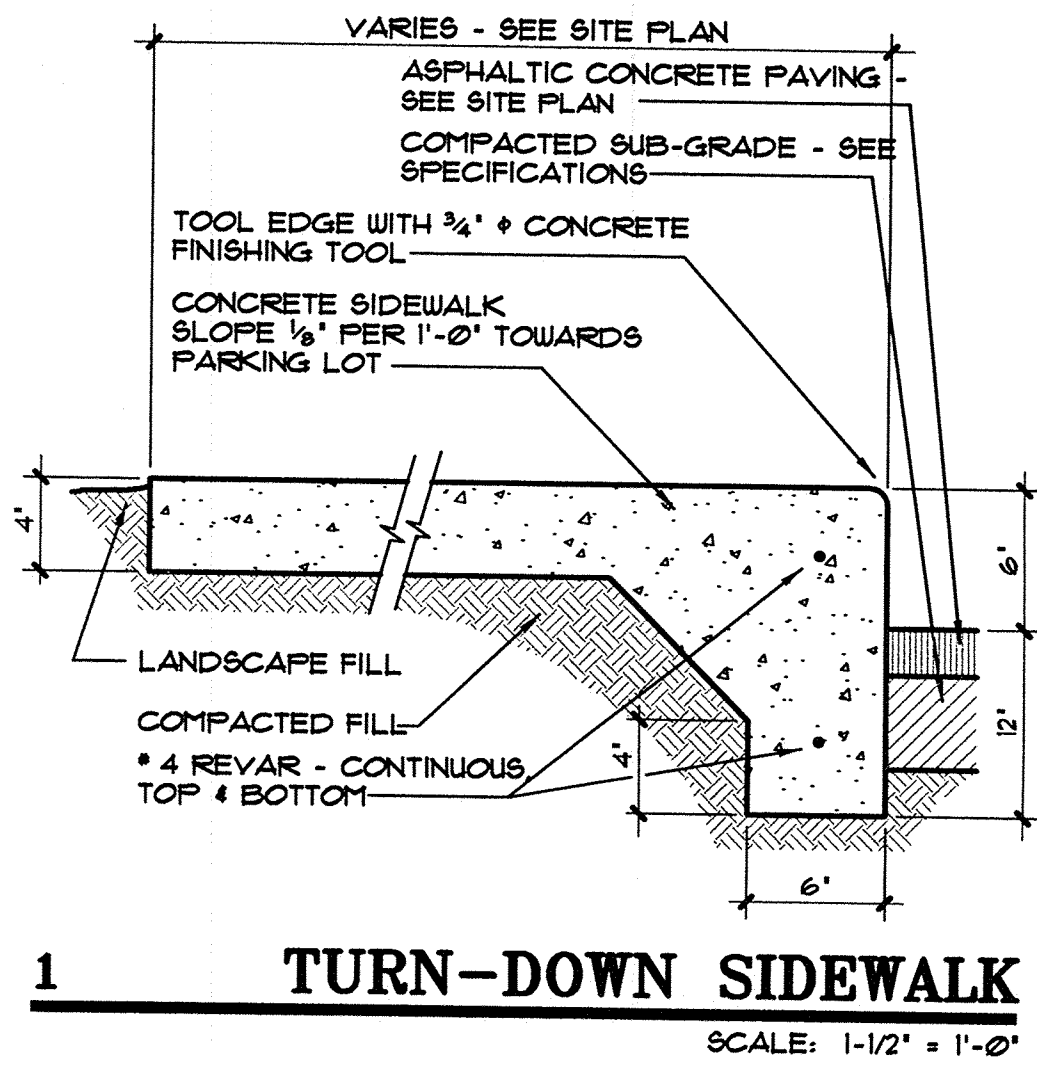


SIGNATURE BLOCK	
PROJECT NO. 1002716	E.P.C. CASE NO. 03EPC 00726 D.R.B. CASE NO. 03DRB 01547
THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVAL BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) ON <u>SEP 24/03</u> AND THAT THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTICE; NOTIFICATION OF DECISION HAVE BEEN COMPLIED WITH.	
SITE DEVELOPMENT PLAN	
<i>Roll Dine</i>	DATE 12/12/03
TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE 10/1/03
<i>Christina Sandoval</i>	DATE 12/22/03
PARKS & RECREATION DEPARTMENT	DATE 12/26/03
<i>Yousuf Murrat</i>	DATE 12/26/03
PUBLIC WORKS, WATER UTILITIES DIVISION	DATE 12/26/03
<i>Brad D. Bihun</i>	DATE 12/26/03
CITY ENGINEER, ENGINEERING DIVISION / AMAFCA	DATE 12/26/03
N/A	DATE
SOLID WASTE DEPARTMENT / REFUSE	DATE
APPROVAL AND CONDITIONAL ACCEPTANCE: AS SPECIFIED BY THE DEVELOPMENT PROCESS MANUAL.	
<i>Sheran Matson</i>	DATE 12/29/03
CITY PLANNER, ALBUQUERQUE	DATE
PLN2(10700) 4/98	

CRITERIA FOR EACH LOT	
MINIMUM BUILDING HEIGHT	24'-0"
MINIMUM BUILDING SETBACK	10'-0"
MINIMUM DUELLING UNITS	NA
MINIMUM FLOOR AREA RATIO	4

S.D.P. FOR SUBDIVISION	
JUNE 2003	SCALE: 1" = 20'-0"

CLAUDIO VIGIL ARCHITECTS	
WYOMING OFFICE PARK OFFICE COMPLEX AND BANK WYOMING BLVD. & PALOMAS AVE. N.E. ALBUQUERQUE, NEW MEXICO	
SHEET SP-2	
OWNERSHIP OF INSTRUMENTS OF SERVICE design concepts, details, plans, specifications, computer field data, notes and other documents and instruments prepared by Claudio Vigil Architects, P.C. as instruments of service shall remain the property of Claudio Vigil Architects, P.C. Claudio Vigil Architects, P.C. shall retain all common law, statutory and other reserved rights, including the copyright thereto.	
1801 Rio Grande NW, #2, Albuquerque, NM 87104	Phone: 505/842-1113 Fax: 505/842-1330



BUILDING CRITERIA

PROJECT: BANK OF THE WEST WYOMING OFFICE PARK
OWNER: BRUNACINI CONSTRUCTION CO.
 P.O. BOX 6363
 ALBUQUERQUE, NEW MEXICO 87191
ARCHITECT: CLAUDIO VIGIL ARCHITECTS
 1801 RIO GRANDE BLVD. NW
 ALBUQUERQUE, NEW MEXICO 87104-2566

LEGAL DESCRIPTION: LOTS X-1-B OF LOTS 1 THRU 5, BLOCK 22, TRACT B, UNIT B NORTH ALBUQUERQUE ACRES

ZONING ATLAS MAP: D-19-Z
CURRENT ZONING CLASSIFICATION: EXISTING: SU-1 FOR O-1 INCIDENTAL AND BANK
CONSTRUCTION TYPE: TYPE V-N
OCCUPANCY GROUP: B
NUMBER OF FLOORS: ONE
GROSS SQUARE FOOTAGE: 3708 SQ. FT.
NET USEABLE SQUARE FOOTAGE: 3374
ALLOWABLE AREA:
 B OCCUPANCIES & V-N CONSTRUCTION = 8,000 SQ. FT.
 SEPARATION ON ALL SIDES OVER 60 FT. = X 200
TOTAL: 16,000 SQ. FT.

OCCUPANCY LOAD:
 OFFICE AREA = 64
 LOBBY & WAITING = 104
TOTAL: 168

EXIT WIDTH REQUIRED: 168 x 0.2 = 33.6', 32' MIN.
NUMBER OF EXIT REQUIRED: 2
NUMBER OF EXITS PROVIDED: 2
PARKING ANALYSIS:
 OFFICE AREA = 3374/200 = 17
TOTAL REQUIRED: 17
TOTAL PROVIDED: 18 REGULAR SPACES, 2 ACCESSIBLE SPACES
 BICYCLE PARKING PROVIDED = 11 / 20 = 1
PARKING SPACE SIZES:
 REGULAR CAR PARKING SPACES = 9'-0" x 18'-0" WITH A 2'-0" OVERHANG.
 VAN ACCESSIBLE HANDICAP PARKING SPACE = 9'-0" x 18'-0" WITH A 2'-0" OVERHANG AND A 9'-0" WIDE ACCESS STRIP.

TOTAL LOT AREA: 130,680 SQUARE FEET, 3.0 ACRES
PROJECT LOT AREA: 33,271 SQUARE FEET
NET LOT AREA: 29,569 SQUARE FEET
TOTAL PARKING/PAVED AREA: 24,136 SQUARE FEET
TOTAL LANDSCAPE AREA REQUIRED: 4435 SF.
TOTAL LANDSCAPE AREA PROVIDED: 5433 SF.
LANDSCAPE TO PARKING AREA RATIO: 23 TO 1

GENERAL NOTES (SITE)

- THE CONTRACTOR SHALL REFER TO THE OWNER'S SURVEY FOR THE METES AND BOUNDS DESCRIPTION.
- THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO COMMENCING WITH CONSTRUCTION.
- ALL WORK WITHIN THE RIGHT OF WAY SHALL MEET CITY OF ALBUQUERQUE STANDARDS.
- THE SQUARE FOOTAGES SHOWN ON THESE PLANS ARE FOR BUILDING CODE AND ARCHITECTURAL PURPOSES ONLY.
- THE CONTRACTOR SHALL PLACE THE BUILDING ADDRESS IN A LOCATION WHERE IT IS VISIBLE AND CLEARLY LEGIBLE FROM THE STREET. SEE THE EXTERIOR ELEVATIONS FOR LOCATION.
- TREES AND SHRUBS SHALL BE PLANTED NO LESS THAN 3'-0" FROM ANY EXISTING OR NEW UNDERGROUND UTILITY LINES.

AS BUILT 10-13-04

CLAUDIO VIGIL ARCHITECTS

WYOMING OFFICE PARK
 OFFICE COMPLEX AND BANK
 WYOMING BLVD. & PALOMAS AVE. N.E.
 ALBUQUERQUE, NEW MEXICO

SHEET SP-1

1305 Tijeras NW Albuquerque, NM 87102-2882
 Phone: 505/842-1113 Fax: 505/842-1330

STAMP: CLAUDIO VIGIL ARCHITECTS, REGISTERED ARCHITECT, STATE OF NEW MEXICO, 10314, OCT 14 2004, HYDROLOGY SECTION