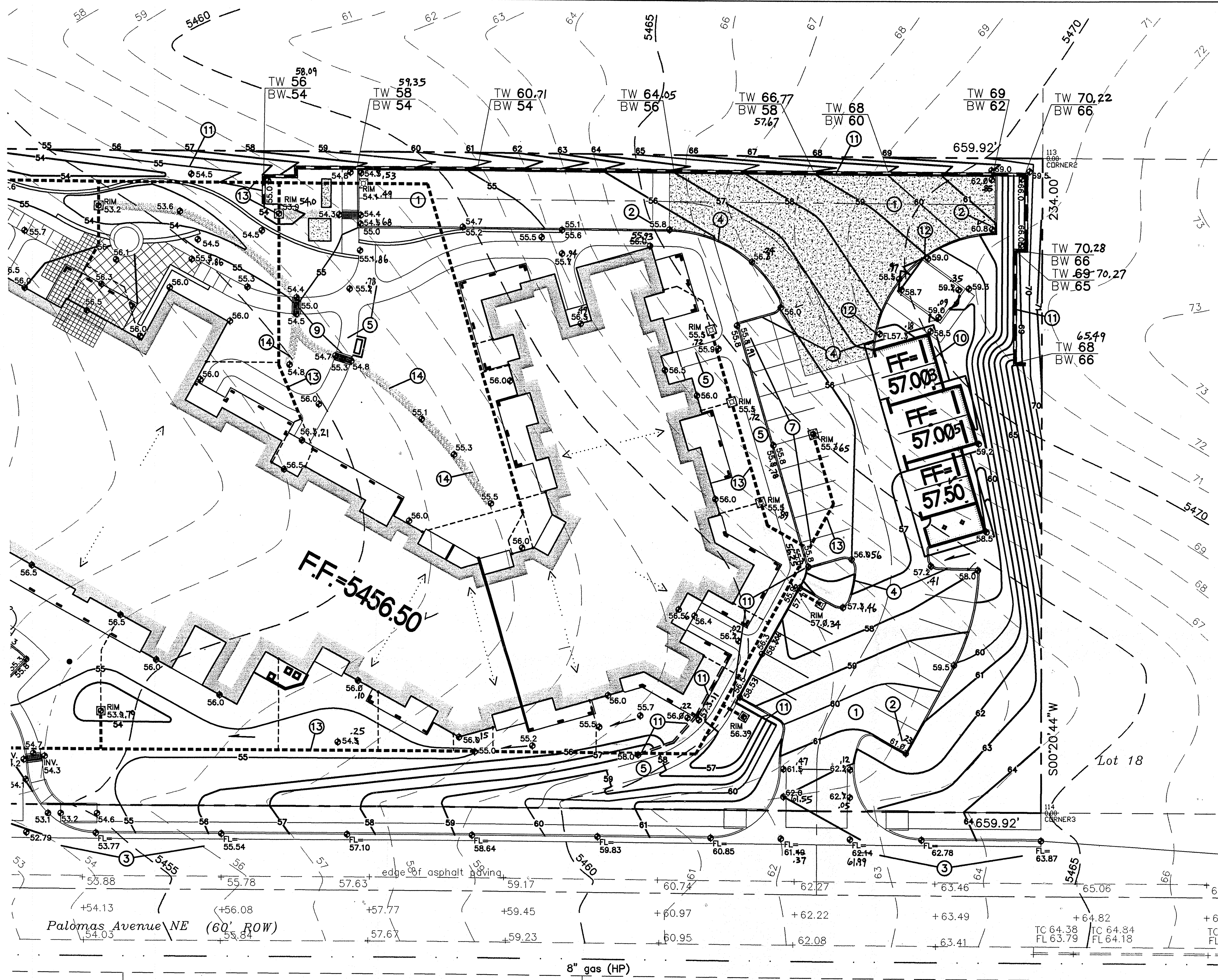


M:\ACTIVE\DL\1499\dwg\1499GRD.dwg, 4/12/2007 1:41:36 PM



GENERAL NOTES

- COORDINATE WORK WITH SITE DEVELOPMENT PLANS, DEMOLITION PLANS, UTILITY DRAWINGS AND DETAILS.
- DO NOT SCALE THIS PLAN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY EXISTING CONDITIONS AND THE LOCATIONS OF ALL ITEMS PRIOR TO CONSTRUCTION. REPORT ALL DISCREPANCIES TO THE ARCHITECT AND VERIFY THE ARCHITECT'S INTENT BEFORE PROCEEDING.
- MAINTAIN ALL UTILITY SERVICES TO THE OWNER'S OPERATIONAL AREAS WHILE PERFORMING WORK. PROVIDE ALL BYPASSES, CROSS-CONNECTS, AND/OR TEMPORARY ROUTINGS AND CONNECTIONS AS REQUIRED TO INSURE FULL OPERATION OF ALL SERVICES TO ALL AREAS NOT UNDER CONSTRUCTION --- AT NO ADDITIONAL COST.
- PROPOSED STORM DRAIN INLETS ARE LOCATED TO PROVIDE DRAINAGE WHILE MAINTAINING EXISTING INFRASTRUCTURE.
- WHERE PROPOSED GRADES ARE SHOWN AS 'MATCH', TRANSITION SHALL BE SMOOTH AND LEVEL. WHERE EXISTING ASPHALT IS TO BE OVERLAID, GRIND EXISTING ALONG PERIMETER AS REQUIRED TO PREVENT BLOCKING FLOW.
- GRADES SHOWN WITHIN LANDSCAPED AREAS INDICATE TOP OF LANDSCAPE MATERIAL. SUBGRADE TO BE GRADED TO ELEVATION SHOWN MINUS LANDSCAPE MATERIAL THICKNESS.
- ADJUST RIMS OF EXISTING UTILITY FEATURES AS NECESSARY TO MATCH NEW GRADES. TYPICAL. CONTRACTOR TO FIELD VERIFY AND PROTECT ALL EXISTING UTILITIES WITHIN AREA TO BE IMPROVED.

DRAINAGE CERTIFICATION

I, Scott M. McGee, NMPE 10519, of the firm Isaacson & Arfman, P.A., hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated 04/10/07. The record information edited onto the original design document has been obtained by Lynn D. Lantz NMPS 10856, of the firm Accurate Surveying Company.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Scott M. McGee
Scott M. McGee
NMPE 10519



6/24/08

	ISAACSON & ARFMAN, P.A. Consulting Engineering Associates 128 Monroe Street N.E. Albuquerque, New Mexico 87108 Ph: 505-268-8828 Fax: 505-268-2632 1499GRD.DWG.dwg 12.12.06

This design, calculations, and concepts are owned by and remain the property of Isaacson & Arfman, P.A. and no part thereof shall be utilized by any person, firm or corporation for any purpose whatsoever except with the written permission of Isaacson & Arfman, P.A. ©

Albuquerque Retirement Residence

Curry Brandaw Architects

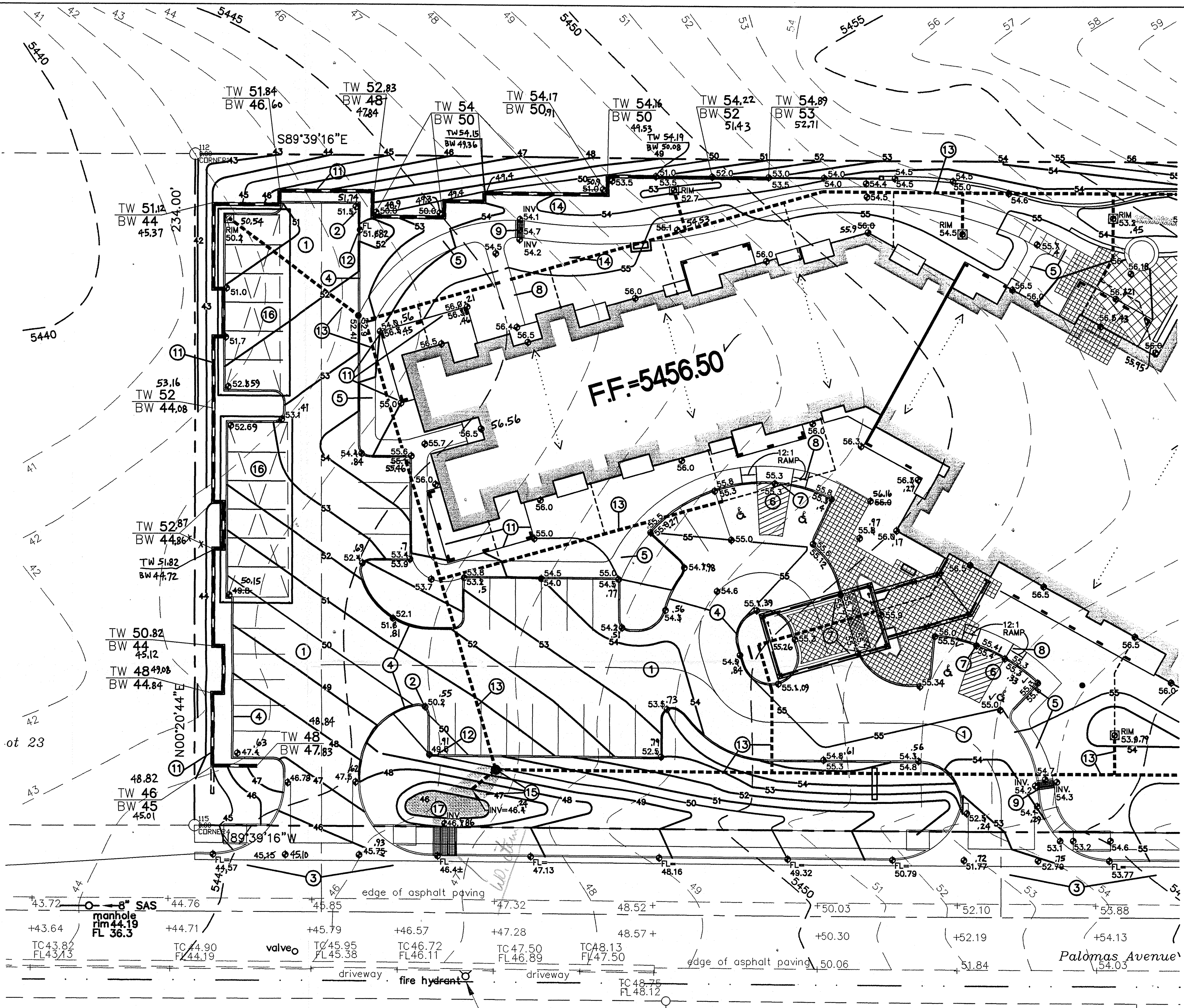
EAST GRADING AND DRAINAGE PLAN

Date:	No. Revision	Date:	Job No.
11/28/05			1499
Drawn By:			
thor			
Chk By:			
SMM			

RECEIVED

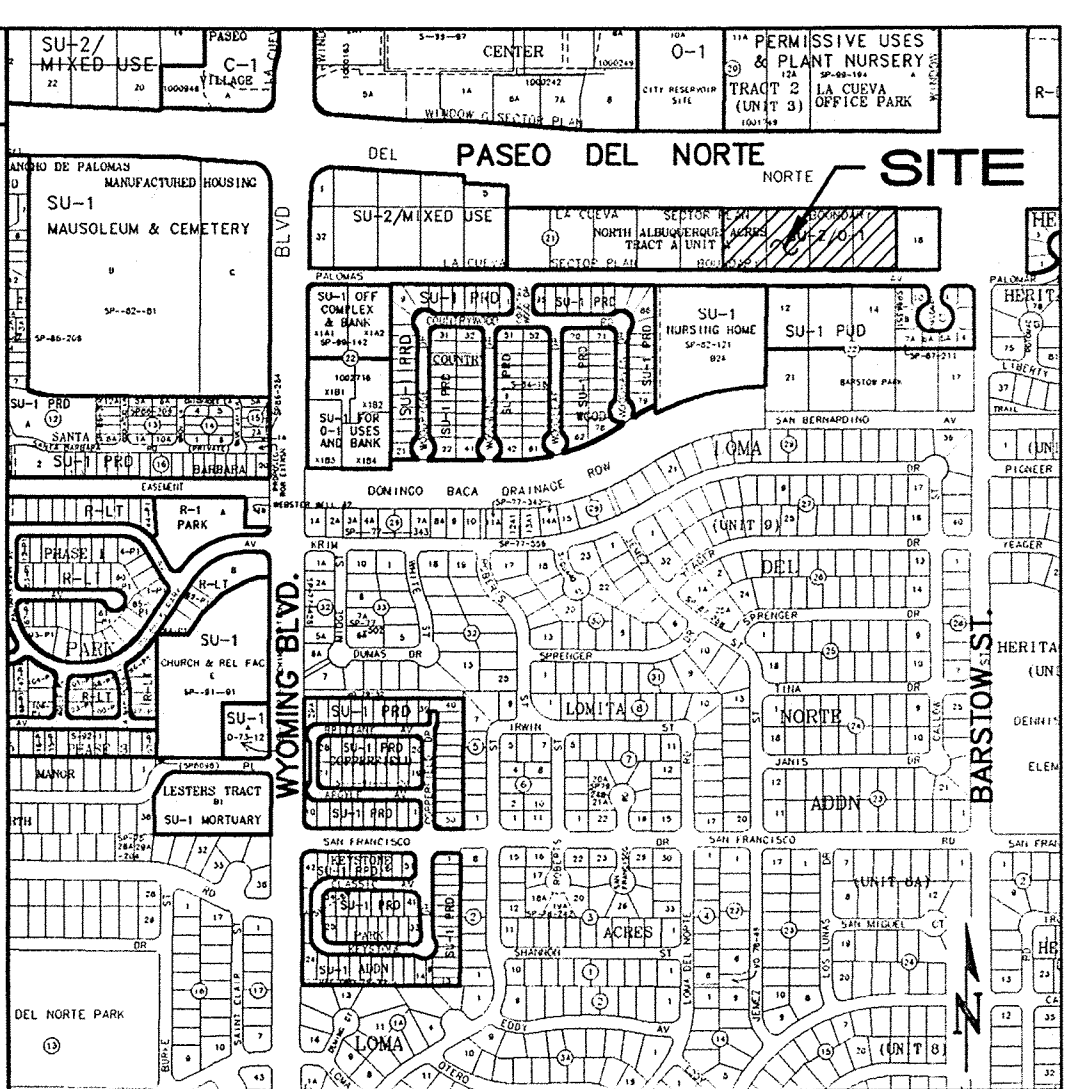
JUN 24 2008

HYDROLOGY SECTION



KEYED NOTES

1. CONSTRUCT ASPHALT PAVING AT ELEVATIONS SHOWN. SEE ARCH. FOR PARKING LAYOUT, PAVEMENT SECTIONS, AND STRIPING.
2. ALL SPOT ELEVATIONS WITHIN PRIVATE PROPERTY REPRESENT TOP OF PAVING UNLESS NOTED. ADD 6" TYPICAL FOR ADJACENT TOP OF CURB / TOP OF WALK ELEVATIONS.
3. ALL NEW INFRASTRUCTURE WITHIN THE PALOMAS AVE. R.O.W. INCLUDING PAVING, PUBLIC SIDEWALK, AND HANDICAP RAMPS TO BE CONSTRUCTED UNDER SEPARATE C.O.A. WORK ORDER. GRADES SHOWN ARE FOR GENERAL INFORMATION ONLY.
4. CONSTRUCT CONCRETE MEDIAN CURB (6" HIGH) AND GUTTER TYPICAL AT ALL ON-SITE CURB LOCATIONS.
5. CONSTRUCT CONCRETE SITE WALK THIS AREA AT ELEVATIONS SHOWN. MAXIMUM SLOPE = 5%. SEE ARCHITECTURAL FOR DETAILS.
6. CONSTRUCT HANDICAP PARKING SPACES WITH 2% MAX. SLOPE ALL DIRECTIONS.
7. CONSTRUCT ASPHALT PAVING FLUSH WITH TOP OF CONCRETE PAVING THIS AREA. PROVIDE SMOOTH TRANSITION FROM 6" HIGH TO FLUSH CURB BOTH SIDES.
8. CONSTRUCT HANDICAP ACCESS RAMP - SEE ARCHITECTURAL FOR LOCATIONS AND DETAILS.
9. CONSTRUCT 12" WIDE (BOTTOM WIDTH) X 6" DEEP COVERED SIDEWALK CULVERT PER C.O.A. STD. DWG. 2236 TO PASS CONCENTRATED FLOW.
10. CONSTRUCT EXTENDED / RETAINING STEMWALL THIS AREA TO ACHIEVE GRADE DIFFERENCES SHOWN.
11. CONSTRUCT RETAINING WALL THIS AREA TO ACHIEVE GRADE DIFFERENCES SHOWN. DESIGN BY OTHERS.
12. CONSTRUCT 2' WIDE CURB OPENING TO PASS CONCENTRATED FLOW. GRADE AREA TO DRAIN.
13. INSTALL NEW PRIVATE STORM DRAIN SYSTEM. SEE SHEET C-1.3 FOR DTL.
14. INSTALL 2' WIDE (MIN.) COBBLE LINED SWALE ALONG CONCENTRATED FLOW CENTERLINE. SEE SHEET C-1.2 FOR DETAIL TYPICAL.
15. INSTALL STORM DRAIN OUTLET STRUCTURE PER DETAIL SHEET C002. PROVIDE 3' WIDE X 12" DEEP COBBLE PAD (AVG. DIA. = 6") AROUND OUTLET STRUCTURE. EXTEND 6' WIDE COBBLE EROSION PROTECTION TO STILLING BASIN.
16. PROPOSED CARPORT OVER PARKING SPACES.
17. CONSTRUCT SHALLOW (APPROX. 12" DEEP) LANDSCAPED STILLING BASIN TO ACCEPT CONCENTRATED DISCHARGE, UTILIZE FOR LANDSCAPING AND RELEASE EXCESS TO PAVEMENT.



VICINITY MAP
1"=750'±

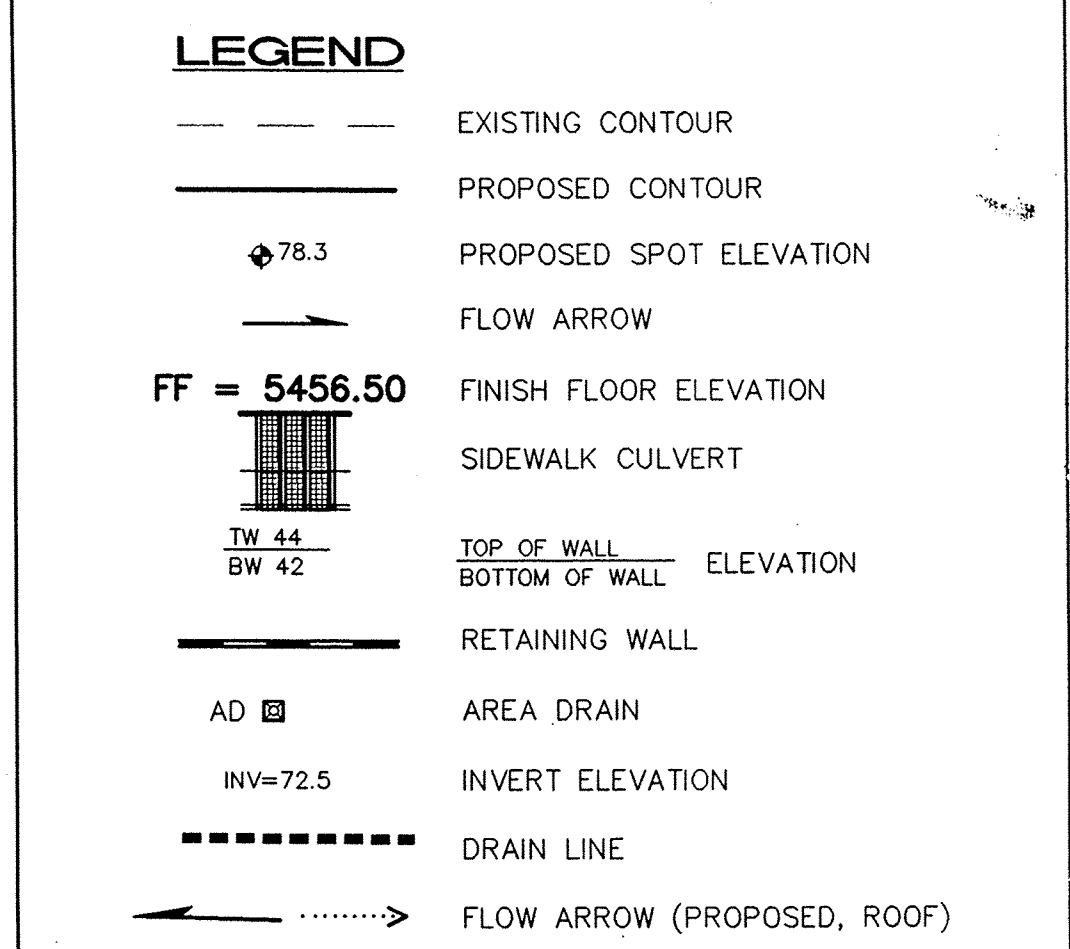
LEGAL: LOTS 19-22, BLOCK 21, TRACT A, UNIT A, NORTH ALBUQUERQUE ACRES.

SURVEYOR: FORSTBAUER SURVEYING CO.
DATED JULY 18, 2005.

AREA: 3.55 ACRES (154,420 SF)

EXISTING CONDITIONS: SITE SLOPES DOWN FROM EAST TO WEST AT APPROXIMATELY 4%. THE SITE IS UNDEVELOPED AND COVERED WITH NATIVE VEGETATION.
ZONE: 3 LAND TREATMENT: 100% A
Q100= (3.55)(1.87 cfs/Ac)= 6.6 cfs

BENCHMARK: City of Albuquerque aluminum disc 9-C19 at the entrance to the W.A. Webster Well No. 1, 0.25 miles east of Wyoming on the north side of Paseo del Norte. Elevation 5435.67 NAVD88.



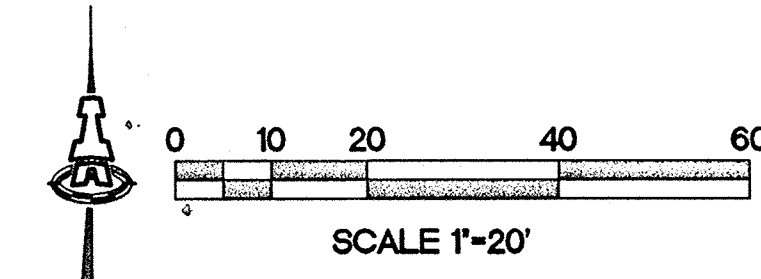
DRAINAGE CERTIFICATION

I, Scott M. McGee, NMPE 10519, of the firm Isaacson & Arfman, P.A., hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated 04/10/07. The record information edited onto the original design document has been obtained by Lynn D. Lantz NMPS 10856, of the firm Accurate Surveying Company.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Scott M. McGee
Scott M. McGee NMPE 10519 Date 6/24/08

SCOTT M. MCGEE
NEW MEXICO
10519
REGISTERED PROFESSIONAL ENGINEER



ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph: 505-268-8828 Fax: 505-268-2632
1499GRD.DWGslp 12.08.06

This design, calculations, and concepts are owned by and remain the property of Isaacson & Arfman, P.A. and no part thereof shall be utilized by any person, firm or corporation for any purpose whatsoever except with the written permission of Isaacson & Arfman, P.A. ©

Albuquerque Retirement Residence			
Curry Brandaw Architects			
WEST GRADING AND DRAINAGE PLAN			
Date: 11/28/05	No. 1	Revised:	Date:
Drawn By: thor			Job No. 1499
Ok'd By: SMM			SH. CI

RECEIVED
JUN 24 7:08
HYDROLOGY SECTION