

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services**

November 19, 2015

Fred Arfman
Isaacson & Arfman, P.A.
128 Monroe St., NE
Albuquerque, NM 87108

**Re: Morningstar of Albuquerque
Request for Certificate of Occupancy- Transportation Development**
D.R.B. Stamp dated 10-21-14 (D19-D029)
Certification dated 11-17-15

Dear Mr. Arfman,

Based upon the information provided in your submittal received 11-17-15, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact Gary Sandoval at (505) 924-3675 or me at (505)924-3994.

Sincerely,

Rudolph P. Archuleta, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

\gs via: email
C: CO Clerk, File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Morningstar At Palomas Building Permit #: _____ City Drainage #: D19/D029
DRB#: 1008952 EPC#: _____ Work Order#: 796784
Legal Description: Lots 25, 26, & 27 and Southerly Portions of Lots 6, 7, & 8, Block 21, Tract A, Unit A, North Albuquerque Acres
City Address: _____

Engineering Firm: Isaacson & Arfman, P.A. Contact: Fred C. Arfman
Address: 128 Monroe Street NE - Albuquerque, NM 87108
Phone#: (505) 268-8828 Fax#: _____ E-mail: freda@iacivil.com

Owner: MVG Development Contact: _____
Address: 1509 York Street - 3rd Floor - Denver, CO 80206
Phone#: _____ Fax#: _____ E-mail: _____

Architect: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Surveyor: Surv-Tek, Inc. Contact: Russ P. Hugg
Address: 9384 Valley View Drive NW - Albuquerque, NM 87144
Phone#: (505) 897-3366 Fax#: (505) 897-3377 E-mail: _____

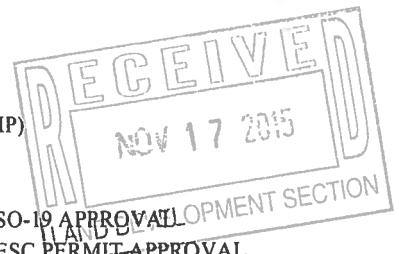
Contractor: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT Supplemental Information
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN RESUBMITTAL
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☒ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
 - ☐ PRELIMINARY PLAT APPROVAL
 - ☐ S. DEV. PLAN FOR SUB'D APPROVAL
 - ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
 - ☐ SECTOR PLAN APPROVAL
 - ☐ FINAL PLAT APPROVAL
 - ☒ CERTIFICATE OF OCCUPANCY (PERM)
 - ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
 - ☐ FOUNDATION PERMIT APPROVAL
 - ☐ BUILDING PERMIT APPROVAL
 - ☐ GRADING PERMIT APPROVAL
 - ☐ PAVING PERMIT APPROVAL
 - ☐ WORK ORDER APPROVAL
 - ☐ GRADING CERTIFICATION
- SO-19 APPROVAL _____
ESC PERMIT APPROVAL _____
ESC CERT. ACCEPTANCE _____
OTHER (SPECIFY) _____



WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes _____ No _____ Copy Provided

DATE SUBMITTED: November 17, 2015 By: Fred C. Arfman
Isaacson & Arfman, P.A.

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development



Isaacson & Arfman, P.A. Consulting Engineering

Thomas O. Isaacson, PE (Ret.) & LS (Ret.) * Fred C. Arfman, PE * Åsa Nilsson-Weber, PE

Project: MorningStar of Albuquerque
8051 Palomas Ave., NE

Subject: TCL Certification


TRAFFIC CERTIFICATION

I, Fred C. Arfman, PE, NMPE No. 7322, of the firm Isaacson & Arfman, PA, hereby certify that the project as identified and dated on the attached TCL plan is in substantial compliance with and in accordance with the design intent of the Site Plan for Building Permit dated October 21, 2014. I further certify that I have personally visited the project on November 11 & 14, 2015, and have determined by visual observations that the actual site conditions are representative of the approved plans or as updated on the attached plan and are true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for a Permanent Certificate of Occupancy.

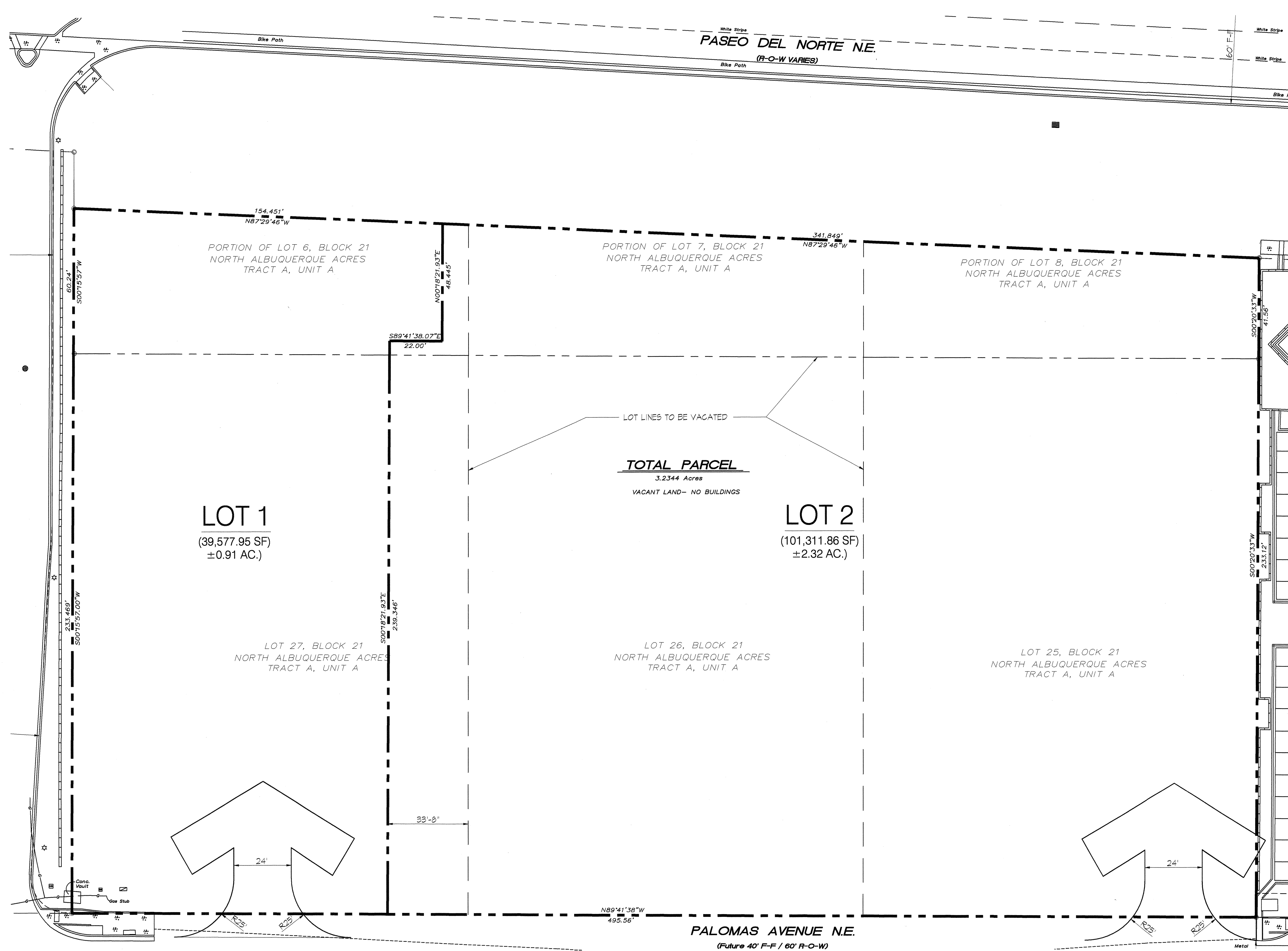
Areas of modification:

1. The temporary PCC sidewalk between the NW corner of the building and the construction/administration trailer to the west will be removed on Nov. 27th and is not part of this certification.

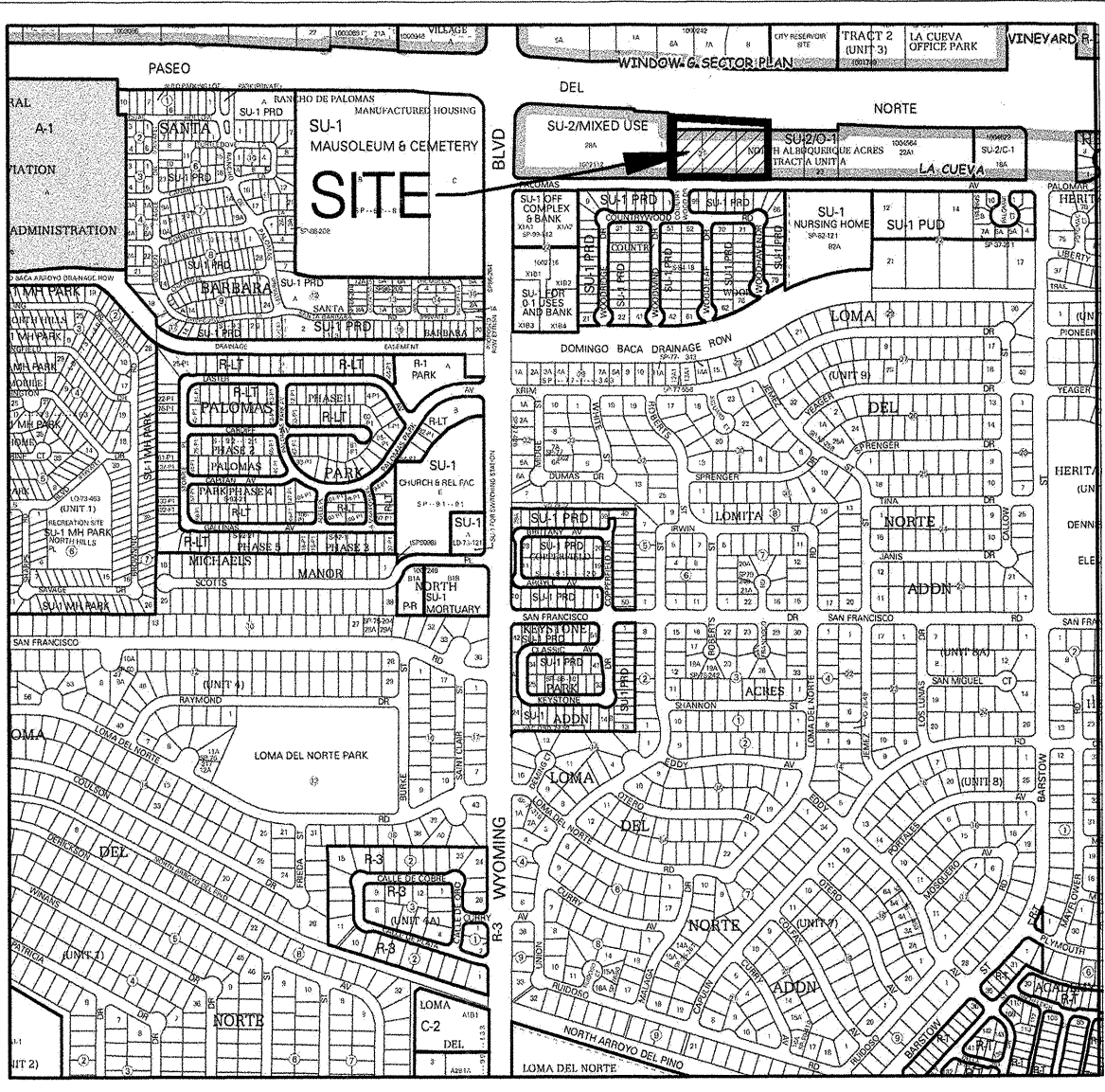
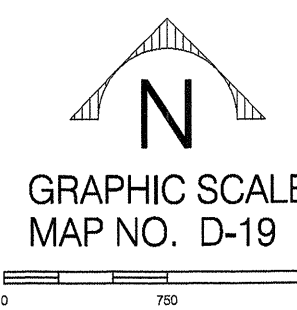
The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

 11.17.15
Fred C. Arfman, PE No. 7322 Date





SITE VICINITY



PROJECT NUMBER: 1008952
Application Number: 140RB-70160

This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated April 10, 2014 and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

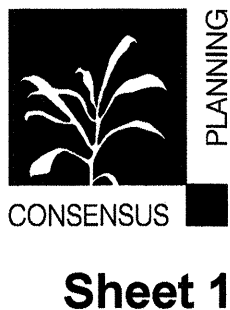
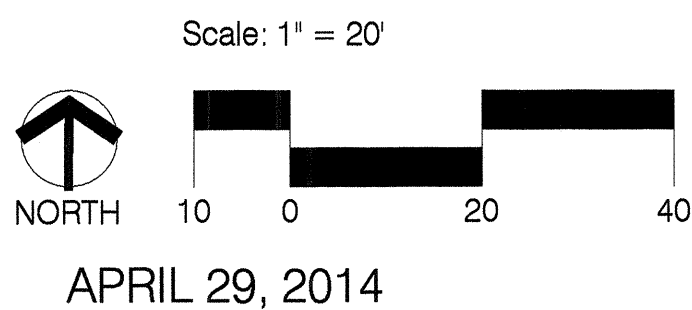
<i>[Signature]</i> Traffic Engineering, Transportation Division	05-21-14 Date
<i>[Signature]</i> ABCWUA	05/21/14 Date
<i>[Signature]</i> Parks and Recreation Department	5-21-14 Date
<i>[Signature]</i> City Engineer	8-20-14 Date
<i>[Signature]</i> Solid Waste Management	8-20-14 Date
<i>[Signature]</i> DRB Chairperson, Planning Department	8-20-14 Date

MORNINGSTAR of ALBUQUERQUE

SITE PLAN FOR SUBDIVISION

Prepared For:
MVG | Development
1509 York Street, 3rd Floor
Denver, CO 80206

Prepared By:
Consensus Planning, Inc.
302 Eighth St. NW
Albuquerque, NM 87102



SITE PLAN FOR SUBDIVISION - REQUIRED INFORMATION

THE SITE:
The site is legally described as Lots 25, 26 and 27; and the southerly portion of Lots 6, 7, and 8 Block 21, Tract A, Unit A North Albuquerque Acres. The Site consists of approximately 3.2 acres. The property is bounded on the north by Paseo del Norte and to the south by Palomas Avenue.

ZONING AND PROPOSED USE:
The Site is zoned SU-2 /O-1 as regulated by the La Cueva Sector Development Plan. The proposed use is an Assisted Living and Memory Care Facility.

PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS:
Vehicular Access and Circulation - Paseo del Norte is a limited access arterial, so there is no vehicular access permitted. The primary access to the project is from Palomas Avenue and there is one access proposed to Lot 1 and there are two access points proposed to Lot 2. The existing raised traffic diverter to the west on Palomas is proposed to be removed.

Transit - The property is currently served by two existing bus routes on Wyoming; 31 and 98.

Bicycle Facilities - There are several bike trails that are proximate to the site, on the north side of Paseo del Norte and along the North Domingo Baca Arroyo to the south of the property. There are also bike lanes on Wyoming and Barstow.

Pedestrian Facilities - The primary pedestrian access to the site will be from Palomas Avenue.

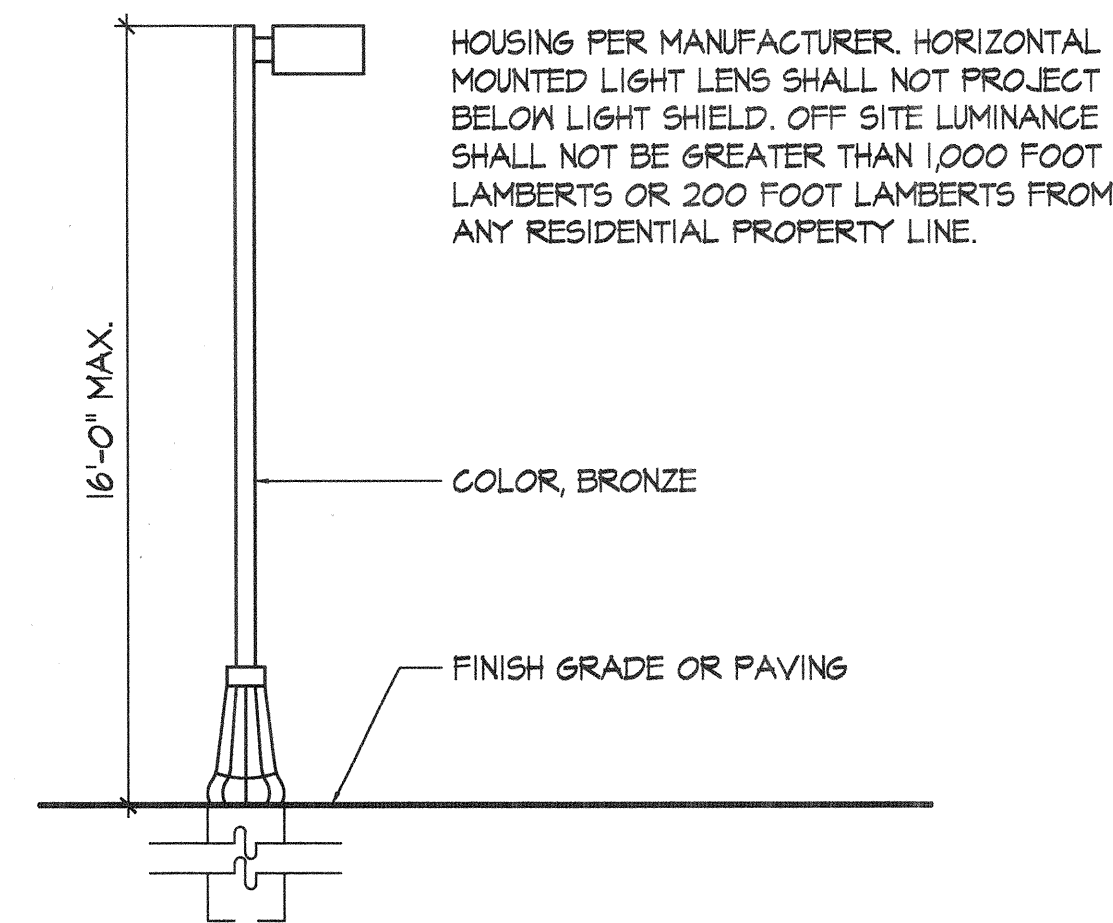
BUILDING HEIGHTS AND SETBACKS:
Buildings shall not exceed two stories and shall not exceed 30 feet in height. Setbacks shall be as provided in the O-1 zone as provided in the Comprehensive City Zoning Code.

MAXIMUM FAR/DENSITY:
Buildings shall not exceed a maximum FAR of .65.

LANDSCAPE PLAN:
Landscape plans shall be submitted with future Site Plans for Building Permit and shall be consistent with the Water Conservation Landscaping and Water Waste Ordinance, Pollen Control Ordinance, and the Design Requirements in the La Cueva Sector Development Plan.

CROSS ACCESS EASEMENT:
27' Private Access and Drainage Easement for the benefit of Tract B to be maintained equally by both owners of Tracts A and B.

DRAINAGE EASEMENT:
Common Private Drainage Easement for the benefit of Tracts A and B to be maintained equally by both owners of Tracts A and B.



PARKING LOT LIGHT FIXTURE DETAIL Not to Scale

NOTE: LIGHTING FIXTURE LOCATIONS SHALL BE DETERMINED WITH THE PHOTOMETRIC PLAN PRIOR TO BUILDING PERMIT. LIGHTING DESIGN SHALL COMPLY WITH THE NORTH ALBUQUERQUE ACRES AND SANDIA HEIGHTS LIGHT POLLUTION ORDINANCE AND SITE AND BUILDING MOUNTED LIGHT FIXTURES SHALL NOT EXCEED 16 FEET IN HEIGHT.

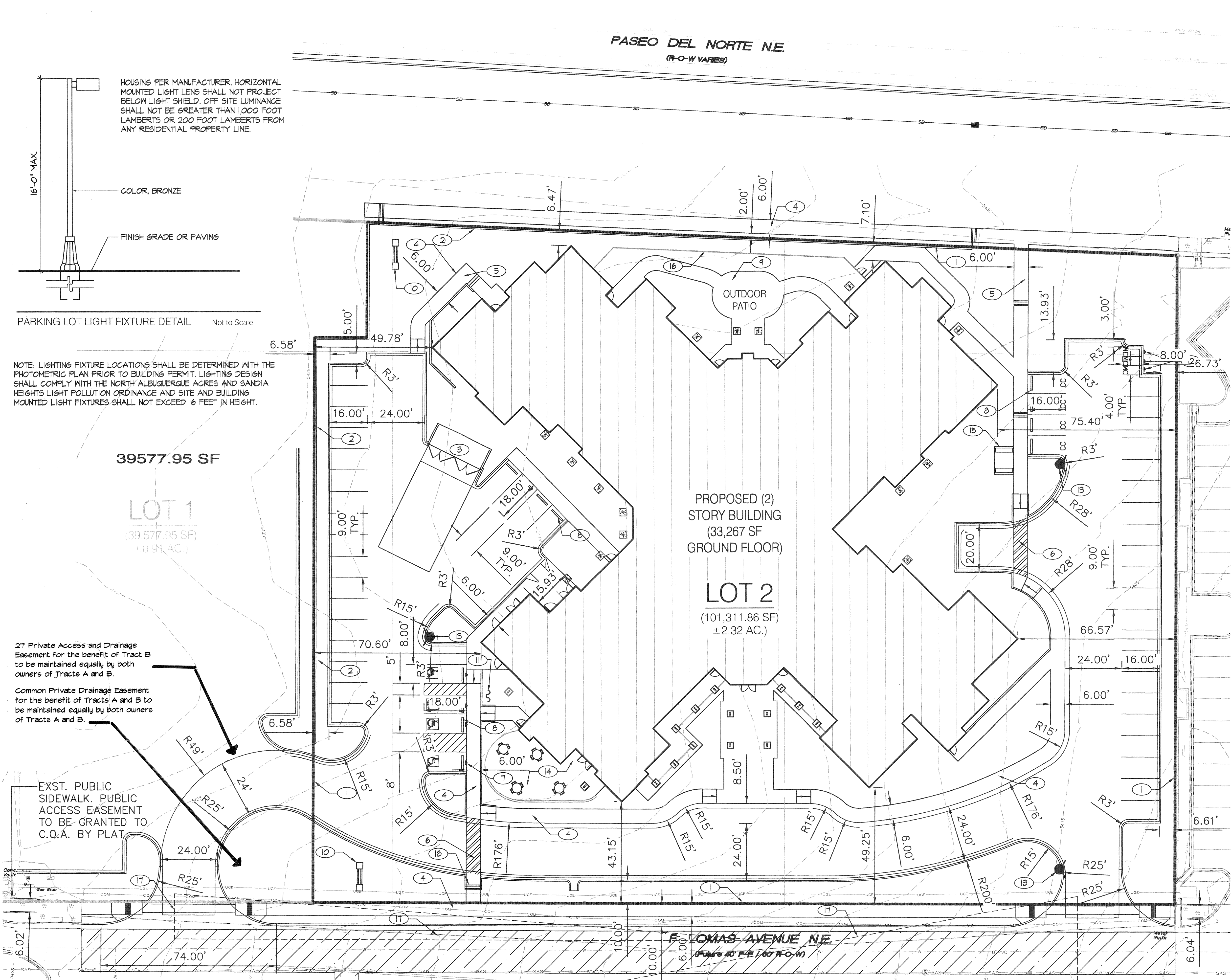
39577.95 SF

LOT 1
(39,577.95 SF)
±0.91 AC.)

21' Private Access and Drainage Easement for the benefit of Tract B to be maintained equally by both owners of Tracts A and B.

Common Private Drainage Easement for the benefit of Tracts A and B to be maintained equally by both owners of Tracts A and B.

EXST. PUBLIC SIDEWALK. PUBLIC ACCESS EASEMENT TO BE GRANTED TO C.O.A. BY PLAT



- KEY NOTES**
- 1 PROPERTY LINE.
 - 2 RETAINING WALL. SEE GRADING/DRAINAGE SHEET.
 - 3 TRASH ENCLOSURE.
 - 4 PROPOSED ADA ACCESSIBLE CONCRETE SIDEWALK, WIDTH VARIES.
 - 5 PROPOSED CONCRETE SIDEWALK (NON-ADA), WIDTH VARIES.
 - 6 6' COLORED/TEXTURED ADA PEDESTRIAN CROSSING, TYP.
 - 7 HANDICAP SIGN, TYP. (12"x18" MOUNTED ON POLE).
 - 8 PRECAST CONCRETE WHEEL STOPS.
 - 9 OUTDOOR PATIO.

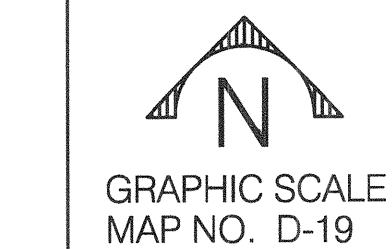
- 10 MONUMENT SIGN.
- 11 BICYCLE RACK (3 SPACES).
- 12 MOTORCYCLE SIGN.
- 13 FIRE HYDRANT.
- 14 OUTDOOR DINING SPACE.
- 15 SEATING SPACE.
- 16 8' CEDAR FENCE.
- 17 CLEAR SIGHT TRIANGLE.
- 18 SIDEWALK CULVERT, TYP.

NOTES:
ALL RAMPS LOCATED WITHIN THE CITY OF ALBUQUERQUE RIGHT OF WAY MUST HAVE TRUNCATED DOMES.

Final Plat Recording Information:

Plat of Tracts A and B, Morningstar at Palomas (Being a Replat of Lots 25, 26, and 27, Block 21 and Southern portions of Lots 6, 7, and 8, Block 21, Tract A, Unit A, North Albuquerque Acres)
Situate within the Elena Gallegos Grant in Projected Section 19 Township 11 North, Range 4 East
New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico
B: 2014C P: 0099 M

AFD PLANS CHECKING OFFICE
924-3611
APPROVED/DISAPPROVED
HYDRANT(S) ONLY
Signature: [Signature]
DATE: 5/24/14



SITE DATA:
LEGAL DESCRIPTION: A PORTION OF LOTS 6 THROUGH 8, LOTS 25, 26, AND 27, TRACT A, UNIT A, BLOCK 21, NORTH ALBUQUERQUE ACRES
SITE AREA: 2.23 ACRES
EXISTING ZONING: SU-1 / O-2 USES
PROPOSED LAND USE: 2-STORY ASSISTED LIVING FACILITY AND MEMORY CARE.
BUILDING AREA: 33,267 S.F. (GROUND FLOOR)
65,465 S.F. (TOTAL BUILDING AREA)

MAXIMUM TOTAL BUILDING HEIGHT: 30 FEET.
PARKING: REQUIRED MINIMUM PARKING: 1 SPACE PER 2 BEDS
TOTAL PARKING REQUIRED: 44
TOTAL PROVIDED PARKING: 50
HANDICAPPED REQUIRED: 3
HANDICAPPED PROVIDED: 3
MOTORCYCLE REQUIRED: 2
MOTORCYCLE PROVIDED: 3
BICYCLE REQUIRED: 2
BICYCLE PROVIDED: 3

PROJECT NUMBER: 1008952
Application Number: 141183-7-0138

This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated November 4, 2013 and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

[Signature]	05-21-14	Date
Traffic Engineering, Transportation Division		
[Signature]	05/11/14	Date
ABCWUA		
[Signature]	5-21-14	Date
Parks and Recreation Department		
[Signature]	8-20-14	Date
City Engineer		
[Signature]	8-20-14	Date
Solid Waste Management		
[Signature]	10-21-14	Date
DRB Chairperson, Planning Department		

MORNINGSTAR of ALBUQUERQUE

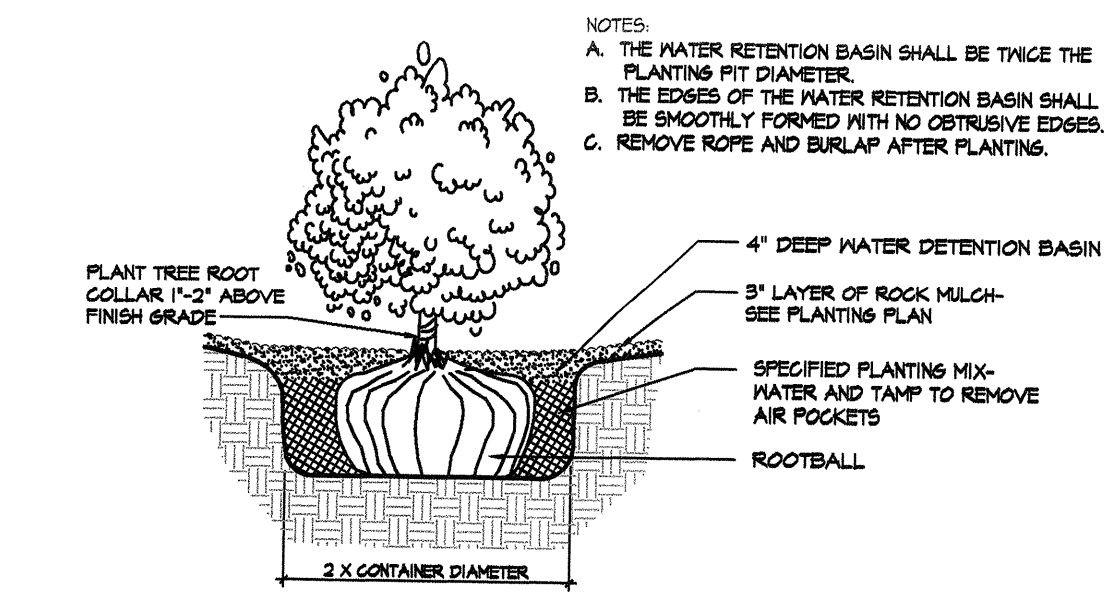
SITE PLAN FOR BUILDING PERMIT

Prepared For:
MVG | Development
1509 York Street, 3rd Floor
Denver, CO 80206

Prepared By:
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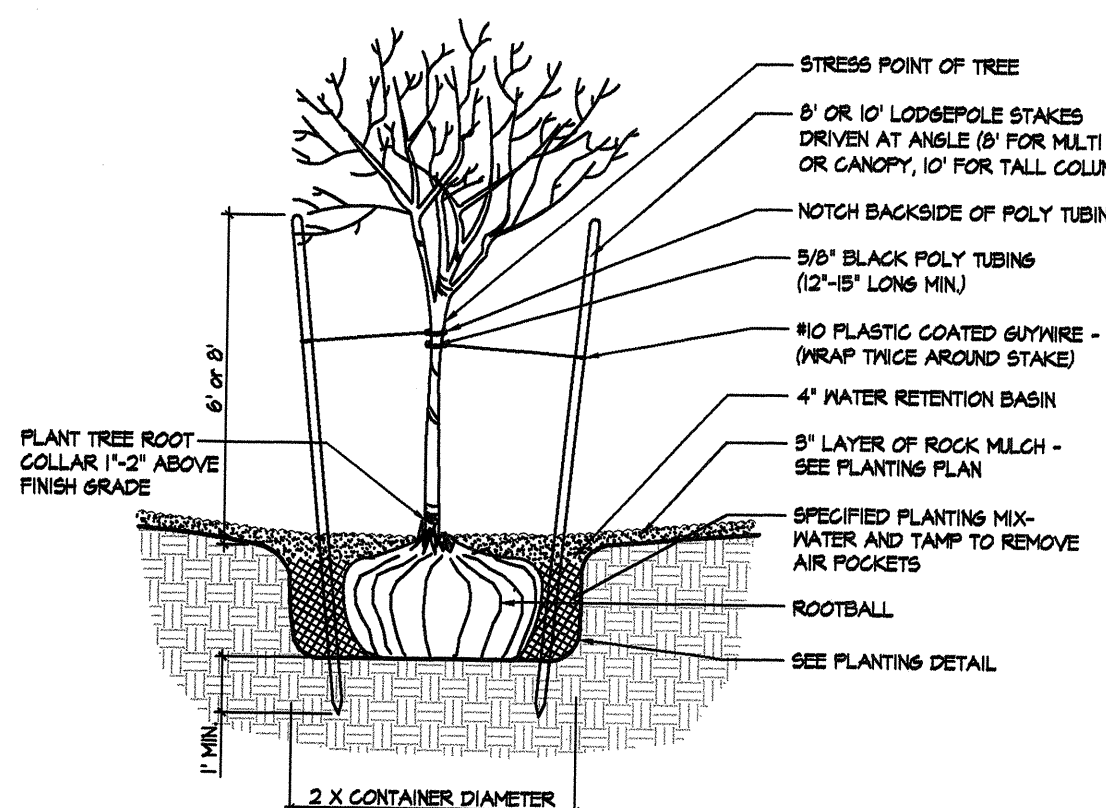
Scale: 1" = 20'
NORTH
10 0 20 40
MAY 16, 2014





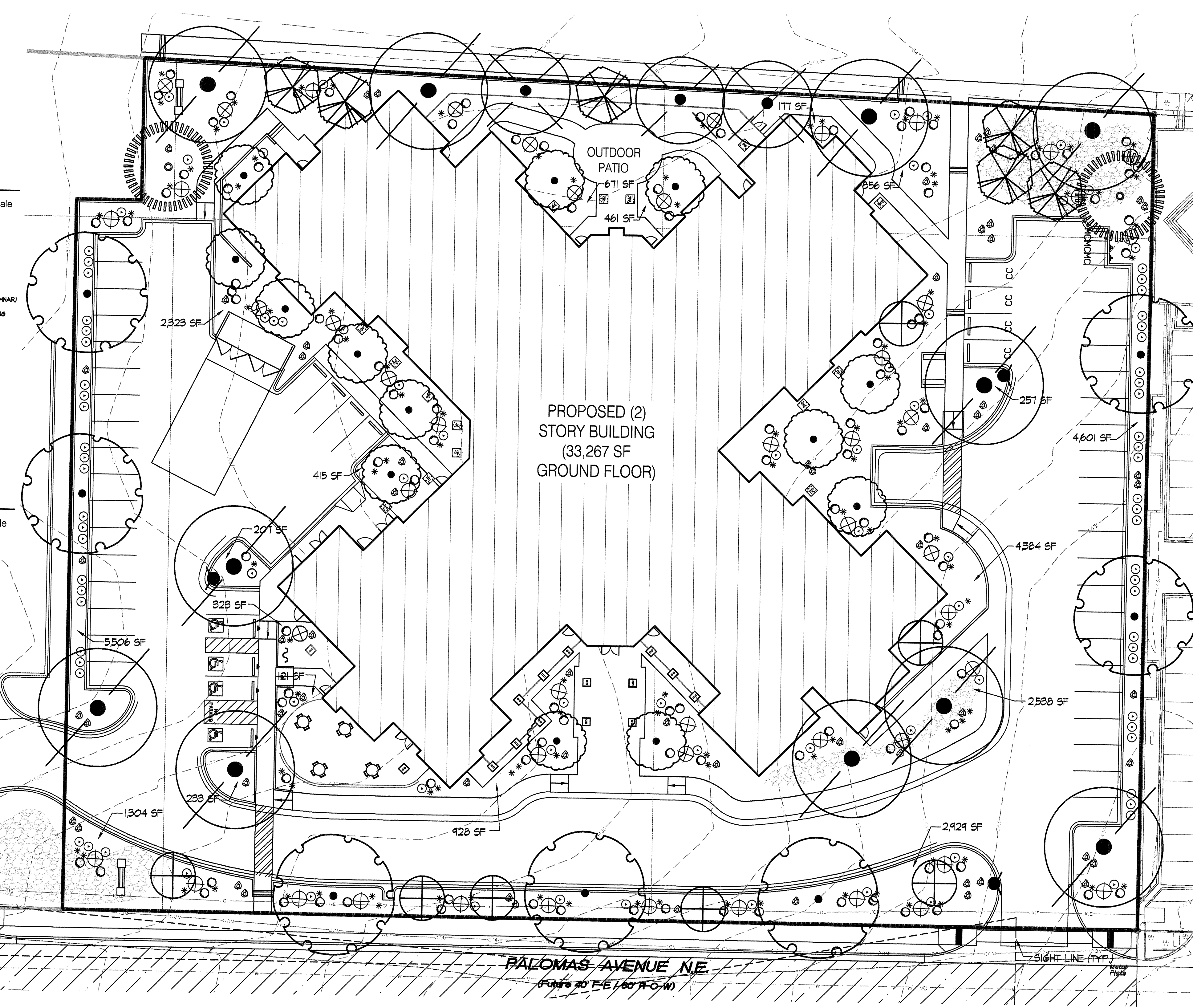
SHRUB PLANTING ON GRADE

NOTES:
A. THE WATER RETENTION BASIN SHALL BE TWICE THE PLANTING PIT DIAMETER.
B. THE EDGES OF THE WATER RETENTION BASIN SHALL BE SMOOTHLY FORMED WITH NO OBTRUSIVE EDGES.
C. REMOVE ROPE AND BURLAP AFTER PLANTING.



TREE PLANTING ON GRADE

NOTES:
A. THE WATER RETENTION BASIN SHALL BE TWICE THE PLANTING PIT DIAMETER.
B. THE EDGES OF THE WATER RETENTION BASIN SHALL BE SMOOTHLY FORMED WITH NO OBTRUSIVE EDGES.
C. REMOVE ROPE AND BURLAP AFTER PLANTING.



GENERAL LANDSCAPE NOTES
LANDSCAPE DESIGN
ALL PLANTING AREAS SHALL BE TOP DRESSED WITH 7/8" BUILDOLGY BROWN ROCK MULCH AND 2"-4" COBBLE MULCH.

IRRIGATION
IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE SHALL BE STRICTLY ADHERED TO. A FULLY AUTOMATED IRRIGATION SYSTEM WILL BE USED TO IRRIGATE TREE, SHRUB AND GROUND COVER PLANTING AREAS. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO ISOLATE PLANT MATERIAL ACCORDING TO SOLAR EXPOSURE AND WILL BE SET UP BY PLANT ZONES ACCORDING TO WATER REQUIREMENTS. THE TREES WILL BE PROVIDED WITH (6) 2 GPH EMITTERS, WITH THE ABILITY TO BE EXPANDED TO ACCOMMODATE THE GROWTH OF THE TREE. SHRUBS AND GROUNDCOVERS WILL BE PROVIDED WITH (2) 1 GPH EMITTERS. TREES, SHRUBS AND GROUNDCOVERS WILL BE GROUPED ON THE SAME VALVE.

RESPONSIBILITY OF MAINTENANCE
MAINTENANCE OF ALL PLANTING AND IRRIGATION, INCLUDING THOSE WITHIN THE PUBLIC R.O.W, SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

METHOD FOR COMPLYING WITH WATER CONSERVATION ORDINANCE
THE PLANT PALETTE IS PREDOMINANTLY COMPRISED OF PLANTS WITH LOW TO MEDIUM WATER USE REQUIREMENTS, THEREBY MINIMIZING IRRIGATION NEEDS WHILE ENSURING THE VIABILITY OF THE PLANTS. AN EVAPOTRANSPIRATION MANAGEMENT CONTROLLER WILL BE INCLUDED IN THE DESIGN OF THE IRRIGATION SYSTEM TO MONITOR WEATHER CONDITIONS SO THAT THE OPTIMUM MOISTURE BALANCE IS ACHIEVED AND THE POSSIBILITY OF OVER-WATERING IS REDUCED.

FINM COORDINATION
COORDINATION WITH FINM'S NEW SERVICE DELIVERY DEPARTMENT IS NECESSARY REGARDING PROPOSED TREE LOCATION AND HEIGHT, SIGN LOCATION AND HEIGHT, AND LIGHTING HEIGHT IN ORDER TO ENSURE SUFFICIENT SAFETY CLEARANCES.

SCREENINGS WILL BE DESIGNED TO ALLOW FOR ACCESS TO ELECTRIC UTILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET IN FRONT AND AT LEAST 5 FEET ON THE REMAINING THREE SIDES SURROUNDING ALL GROUND-MOUNTED EQUIPMENT FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

CLEAR SIGHT DISTANCE
LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE AREA.

LANDSCAPE AREA COVERAGE
TOTAL SITE AREA: 97,386 SF (2.23 AC)
BUILDING AREA (BUILDING ENVELOPE): 33,267 SF
NET AREA: 63,871 SF
REQUIRED LANDSCAPE AREA (15% OF NET AREA): 9,580 SF
PROVIDED LANDSCAPE AREA: 25,519 SF (45%)

LANDSCAPE LIVE VEGETATIVE COVERAGE
LANDSCAPE COVERAGE REQUIREMENTS SPECIFY LANDSCAPE AREAS TO HAVE A 75% COVERAGE OF LIVE VEGETATIVE MATERIAL. THE PALOMAS PROJECT WILL PROVIDE A MINIMUM OF 75% LIVE VEGETATIVE COVERAGE (OF THE 15%) IN THE LANDSCAPE AREAS.

PARKING LOT TREES
THE PALOMAS PROJECT IS PROVIDING 58 PARKING SPACES. PARKING LOT TREE REQUIREMENTS ARE BASED UPON 1 TREE PER 10 SPACES.
PARKING LOT TREES REQUIRED: 5
PARKING LOT TREES PROVIDED: 4

STREET TREES
PASEO DEL NORTE BOULEVARD FRONTAGE IS 341'. STREET TREE REQUIREMENTS ARE BASED ON AN AVERAGE SPACING OF 30' O.C.
STREET TREES REQUIRED: 11
STREET TREES PROVIDED: 11

SITE TREES
TREE REQUIREMENTS FOR MULTI-FAMILY RESIDENTIAL DEVELOPMENTS ARE AT A RATE OF ONE TREE PER GROUND FLOOR UNIT AND ONE TREE FOR EVERY TWO SECOND FLOOR UNITS. THE PALOMAS PROJECT IS PROVIDING 28 FIRST FLOOR UNITS AND 41 SECOND STORY UNITS.
SITE TREES REQUIRED: 41
SITE TREES PROVIDED: 41

NOTES:
1) CONTRACTOR TO VERIFY THAT ASSEMBLY OF BACKFLOW PREVENTER SHALL BE SHOWN WILL FIT INTO SPECIFIED INSULATED ENCLOSURE.
2) BACKFLOW PREVENTER MUST BE PROTECTED FROM FREEZING WITH POSITIVE HEAT SOURCE OR ASSEMBLY DRAINED BEFORE FREEZING WEATHER CONDITIONS OCCUR.
3) ALL ELECTRICAL WORK SHALL CONFORM TO THE NATIONAL ELECTRIC CODE AND ALL LOCAL CODES THAT MAY APPLY.

1) REDUCED PRESSURE BACKFLOW PREVENTER (SEE LEGEND FOR MODEL AND SIZE)
2) 120 VOLT ELECTRICAL OUTLET (INSTALL PER NEC AND LOCAL CODES)
3) GALVANIZED UNION
4) 3000 PSI CONCRETE PAD - 4" THICK (SEE ENCLOSURE MANUFACTURER'S RECOMMENDATIONS FOR PAD DIMENSIONS)
5) CLOSE GALVANIZED NIPPLE (WATTS #8-4000 SERIES 1" BALL VALVE)
6) GALVANIZED NIPPLE (LENGTH AS REQUIRED)
7) GALVANIZED TEE WITH 1" SIDE OUTLET
8) GALVANIZED ELL
9) GALVANIZED ELECTRICAL CONDUIT
10) GALVANIZED NIPPLE
11) 12" SCH40 PVC TEE NIPPLE
12) SCH40 PVC COUPLING WITH REDUCER BUSHING IF REQUIRED
13) PVC PIPING FROM WATER SOURCE
14) PVC PIPING TO SYSTEM ELECTRICAL
15) SHREIF ELL
16) HOT BOX INSULATED BACKFLOW DEVICE ENCLOSURE
17) (SEE LEGEND FOR SIZE)

PLANT LEGEND				
QTY.	SYMBOL	SCIENTIFIC NAME COMMON NAME	SIZE	INSTALLED SIZE MATURE SIZE
TREES				
7		CELTIS OCCIDENTALIS COMMON HACKBERRY	2" B&B	16' HT. X 6" SPR. 40' HT. X 40' SPR.
6		CHILOPSIS LINEARIS 'BUBBA' DESERT WILLOW	24" BOX	8' HT. X 6" SPR. 20' HT. X 25' SPR.
7		FORESTIERA NEOMEXICANA NEW MEXICO OLIVE	15 GAL.	8' HT. X 5" SPR. 15' HT. X 15' SPR.
11		FRAXINUS VELUTINA 'MODESTO' MODESTO ASH	2.5" B&B	14' HT. X 6" SPR. 40' HT. X 35' SPR.
2		PINUS ELДАРICA AFGHAN PINE	B&B	8' MIN HT. 30' HT. X 20' SPR.
13		PYRUS CALLERYANA 'CLEVELAND' FLOWERING PEAR	2" B&B	14' HT. X 5" SPR. 25' HT. X 20' SPR.
3		ROBINIA AMBIGUA 'PURPLE ROBE' PURPLE ROBE LOCUST	2" B&B	16' HT. X 6" SPR. 30' HT. X 30' SPR.

SYMBOL	SCIENTIFIC NAME COMMON NAME	SIZE	INSTALLED SIZE MATURE SIZE	WATER USE
SHRUBS/GROUNDCOVERS				
	CAESALPINIA GILLIESII DESERT BIRD OF PARADISE	5-GAL.	3' O.C. 5' HT. X 5' SPR.	LOW
	CHRYSOTHAMNUS NAUSEOSUS CHAMISA	1-GAL.	5' O.C. 4' HT. X 4' SPR.	LOW
	CYTISUS SCOP. 'LENA'S BROOM' LENA'S BROOM	1-GAL.	4' O.C. 4' HT. X 4' SPR.	LOW
	ERICAMERIA LARICIFOLIA 'AGUIRRE' TURPENTINE BUSH	1-GAL.	2' O.C. 2' HT. X 2' SPR.	LOW
	ERYTHRONIUM BOYLES MAUVE BOYLES MAUVE WALLFLOWER	1-GAL.	2' O.C. 1' HT. X 2' SPR.	LOW
	FALLUGIA PARADOXA APACHE PLUME	1-GAL.	5' O.C. 4' HT. X 4' SPR.	LOW
	LAVENDULA ANGUSTIFOLIA ENGLISH LAVENDER	1-GAL.	4' O.C. 3' HT. X 3' SPR.	MEDIUM
	PENSTEMON AMBIGUUS BUSH PENSTEMON	5-GAL.	2' O.C. 2' HT. X 2' SPR.	MEDIUM
	PEROVSKIA A. 'LITTLE SPIRE' DWARF RUSSIAN SAGE	5-GAL.	5' O.C. 3' HT. X 4' SPR.	MEDIUM
	RAPHIOLEPIS INDICA INDIA HAWTHORN	5-GAL.	5' O.C. 3' HT. X 4' SPR.	MEDIUM

SYMBOL	SCIENTIFIC NAME COMMON NAME	SIZE	INSTALLED SIZE MATURE SIZE	WATER USE
SHRUBS/GROUNDCOVERS				
	RHUS TRILOBATA THREE-LEAF SUMAC	5-GAL.	4' O.C. 4' HT. X 4' SPR.	LOW
	ROSMARINUS OFFICINALIS 'PROSTRATA' CREEPING ROSEMARY	5-GAL.	5' O.C. 3' HT. X 5' SPR.	LOW
	CALAMAGROSTIS 'KARL FOERSTER' FEATHER REED GRASS	5-GAL.	3' O.C. 3' HT. X 3' SPR.	LOW
	MISCANTHUS SIN. 'GRACILLIMUS' MAIDEN HAIR GRASS	5-GAL.	4' O.C. 8' HT. X 4' SPR.	LOW
	AGAVE PARRYI PARRY'S AGAVE	5-GAL.	2' O.C. 2' HT. X 2' SPR.	LOW
	NOLINA MICROCARPA BEARGRASS	5-GAL.	5' O.C. 4' HT. X 5' SPR.	LOW
BOULDERS AND GRAVEL MULCH				
	MOSS ROCK BOULDERS (3'X3' MINIMUM)			
	2"-4" BUILDOLGY BROWN COBBLE MULCH (6" DEPTH OVER DENITT PRO-5 WEED CONTROL FABRIC)			
	3" SANTA FE BROWN GRAVEL MULCH (3" DEPTH OVER DENITT PRO-5 WEED CONTROL FABRIC)			

BACKFLOW PREVENTER

Not to Scale

MORNINGSTAR of ALBUQUERQUE

LANDSCAPE PLAN

Prepared For:
MVG | Development
1509 York Street, 3rd Floor
Denver, CO 80206

Prepared By:
Consensus Planning, Inc.
302 Eighth St. NW
Albuquerque, NM 87102

Scale: 1" = 20'

MAY 16, 2014

Consensus Planning

CALCULATIONS: 2033 - Palomas Assisted Living Facility : 1/15/2014
Based on Drainage Design Criteria for City of Albuquerque Section 22.2, DPM, Vol 2, dated Jan., 1993

ON-SITE									
AREA OF SITE:		101312		SF		=		2.3	
100-year, 6-hour									
HISTORIC FLOWS:				DEVELOPED FLOWS:				EXCESS PRECIP:	
		Treatment SF		%				Precip. Zone	
Area A		=	50656	50%		Area A		=	0
Area B		=	50656	50%		Area B		=	0
Area C		=	0	0%		Area C		=	20262
Area D		=	0	0%		Area D		=	81050
Total Area		=	101312	100%		Total Area		=	101312
								100%	
								3	
								EA = 0.66	
								EB = 0.92	
								EC = 1.29	
								ED = 2.36	

On-Site Weighted Excess Precipitation (100-Year, 6-Hour Storm)

$$\text{Weighted E} = \frac{E_A A_A + E_B A_B + E_C A_C + E_D A_D}{A_A + A_B + A_C + A_D}$$

Historic E	=	0.79 in.	Developed E	=	2.15 in.
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$$\text{On-Site Volume of Runoff: } V_{360} = \frac{E \cdot A}{12}$$

Historic V ₃₆₀	=	6670 CF	Developed V ₃₆₀	=	18118 CF
---------------------------	---	---------	----------------------------	---	----------

On-Site Peak Discharge Rate: $Q_p = Q_{pA}A_A + Q_{pB}A_B + Q_{pC}A_C + Q_{pD}A_D / 43,560$

For Precipitation Zone 3

Q_{pA}	=	1.87	Q_{pC}	=	3.45
Q_{pB}	=	2.60	Q_{pD}	=	5.02

Historic Q_p	=	5.2 CFS	Developed Q_p	=	10.9 CFS
----------------	---	---------	-----------------	---	----------

BASIN NO.	DESCRIPTION	To NW Pond
1	Area of basin flows = 38274 SF The following calculations are based on Treatment areas as shown in table to the right Sub-basin Weighted Excess Precipitation (see formula above) Weighted E = 2.15 in Sub-basin Volume of Runoff (see formula above) V ₃₆₀ = 6845 CF Sub-basin Peak Discharge Rate (see formula above) Q _p = 4.1 cfs	0.9 Ac. LAND TREATMENT A = 0% B = 0% C = 20% D = 80%
BASIN NO.	DESCRIPTION	To Derickson Ave.
2	Area of basin flows = 30068 SF The following calculations are based on Treatment areas as shown in table to the right Sub-basin Weighted Excess Precipitation (see formula above) Weighted E = 2.15 in Sub-basin Volume of Runoff (see formula above) V ₃₆₀ = 5377 CF Sub-basin Peak Discharge Rate (see formula above) Q _p = 3.2 cfs	0.7 Ac. LAND TREATMENT A = 0% B = 0% C = 20% D = 80% Detain to limit Release to 1.6 cfs
BASIN NO.	DESCRIPTION	Free discharge at NW corner
3	Area of basin flows = 32970 SF The following calculations are based on Treatment areas as shown in table to the right Sub-basin Weighted Excess Precipitation (see formula above) Weighted E = 2.15 in Sub-basin Volume of Runoff (see formula above) V ₃₆₀ = 5896 CF Sub-basin Peak Discharge Rate (see formula above) Q _p = 3.6 cfs	0.8 Ac. LAND TREATMENT A = 0% B = 0% C = 20% D = 80%

SITE DRAINAGE.

THE SITE WILL BE DIVIDED INTO THREE DRAINAGE BASINS.

BASIN 1 WILL FREE DISCHARGE APPROXIMATELY 4.1 CFS TO PALOMAS AVE. TO CONTINUE WEST TO THE EXISTING PUBLIC STORM DRAIN SYSTEM.

BASINS 2 AND 3 WILL BE DIRECTED TO RETENTION / WATER HARVESTING PONDS LOCATED AT THE NE AND SE CORNERS OF THE PROPERTY. FLOW IN EXCESS OF CAPACITY WILL BE DIRECTED TO THE PASEO DEL NORTE R.O.W.

BASIN 2 + BASIN 3 WILL GENERATE APPROXIMATELY 6.8 CFS. DISCHARGE TO PASEO DEL NORTE IS LIMITED TO THE HISTORIC DISCHARGE RATE OF 5.2 CFS. POND(S) WILL BE CONSTRUCTED WITHIN THE PROPERTY TO CONTROL THE RELEASE TO ALLOWABLE RATES.

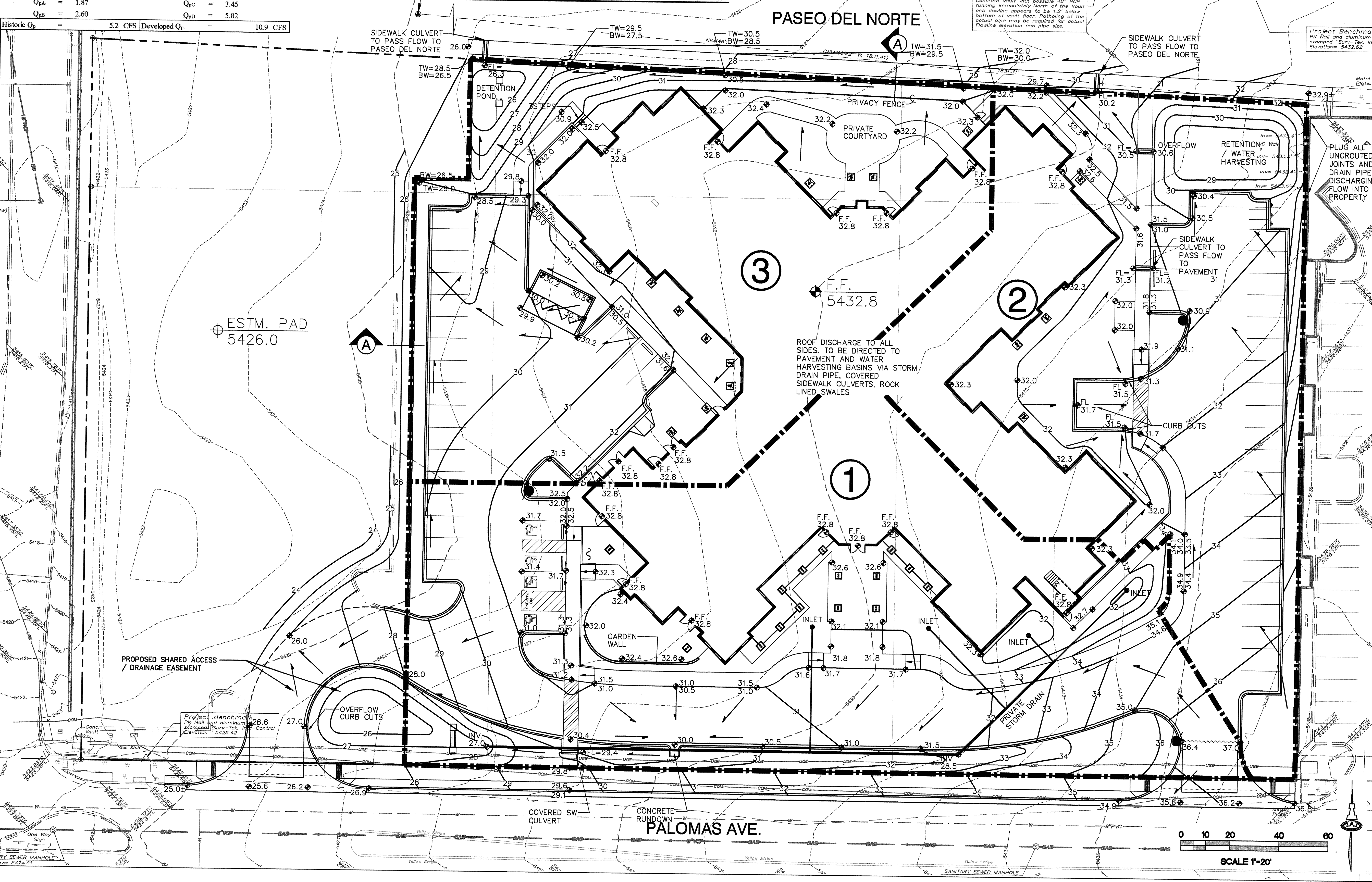
FLOW TO THE PASEO DEL NORTE R.O.W. WILL BE PASSED VIA COVERED SIDEWALK CULVERTS OR BY DIRECT CONNECTION TO THE EXISTING HIGHWAY DEPT. STORM DRAIN SYSTEM. DISCHARGE TO THE NMDOT R.O.W. WILL BE COORDINATED WITH NMDOT AS PART OF THE BUILDING PERMIT SET.

LANDSCAPE AREAS WILL BE DEPRESSED FOR WATER HARVESTING EXCEPT IN AREAS WITHIN 10' OF A STRUCTURE.

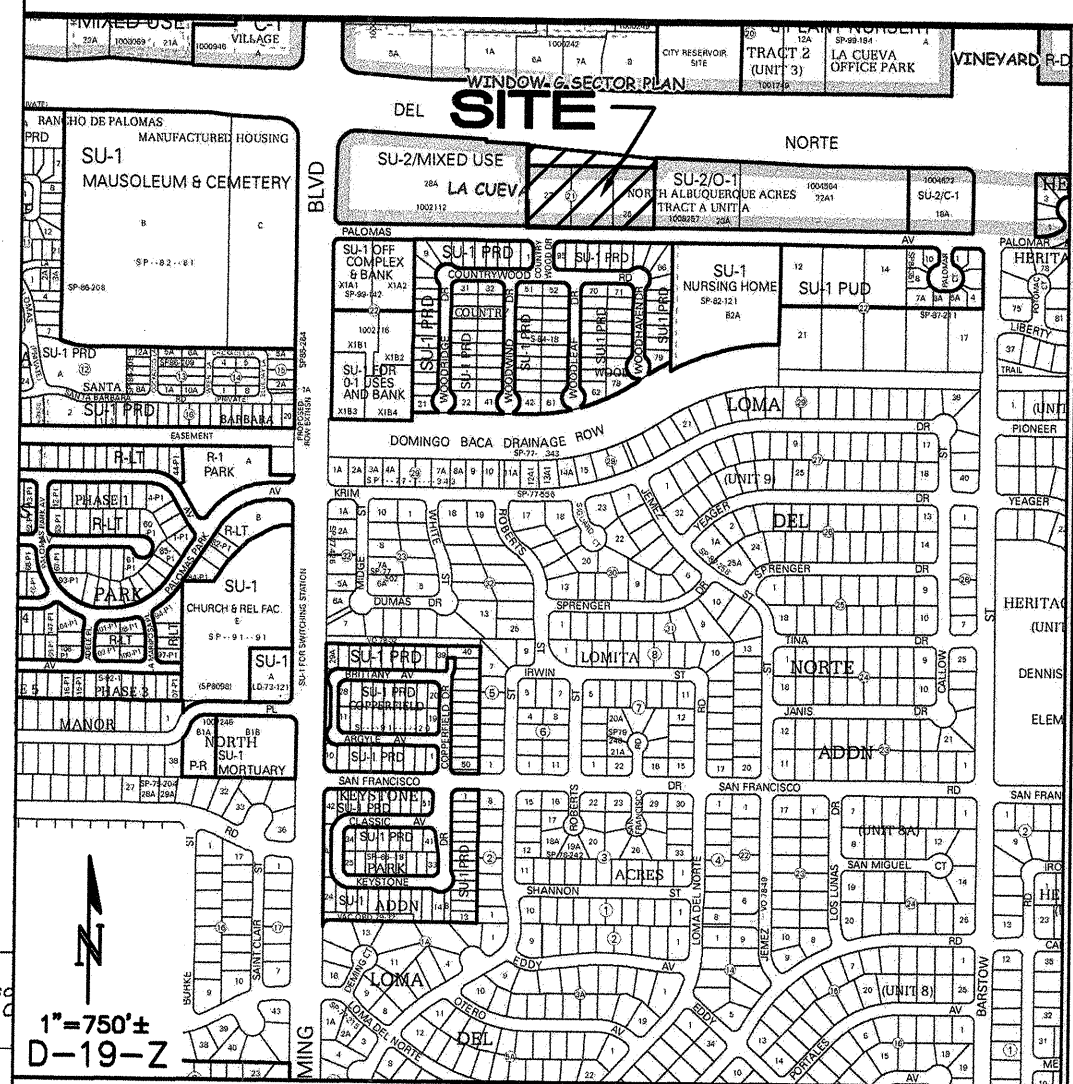
WALL MATERIALS AND COLORS TO COMPLEMENT PROPOSED BUILDING FINISH

RETAINING VARIES 0' TO 2.5'

SECTION A PERIMETER GRADE TRANSITION WALL



VICINITY MAP



PROJECT DATA

PROPERTY: THE SITE IS AN UNDEVELOPED 2.3 ACRE PROPERTY (TO BE REPLATTED INTO A SINGLE LOT) LOCATED WITHIN C.O.A. VICINITY MAP D-19. THE SITE IS BOUND TO THE EAST BY DEVELOPED COMMERCIAL, TO THE WEST BY A 0.9± ACRE UNDEVELOPED PROPERTY (TO BE CREATED AS PART OF REPLAT), TO THE NORTH BY PASEO DEL NORTE BLVD. R.O.W. AND TO THE SOUTH BY PALOMAS BLVD.

PROPOSED IMPROVEMENTS: THE PROPOSED IMPROVEMENTS INCLUDE AN ASSISTED LIVING FACILITY WITH ASSOCIATED ASPHALT PAVED ACCESS, PARKING AND LANDSCAPING.

LEGAL: PORTIONS OF LOTS 25, 26 AND 27, 6, 7 AND 8, BLOCK 21 TRACT A, UNIT A, NORTH ALBUQUERQUE ACRES, ALBUQUERQUE, NM

BENCHMARK: VERTICAL DATUM IS BASED UPON ALBUQUERQUE CONTROL SURVEY MONUMENT "HEAVEN", ELEVATION = 5378.235 FEET (NAVD 88).

OFF-SITE: NO OFF-SITE DRAINAGE WILL IMPACT THIS PROPERTY. EXISTING UNROUTED BLOCK JOINTS AND SMALL DIAMETER PIPES IN EXISTING ADJACENT PROPERTY WALL AT NE END OF PROPERTY WILL BE PLUGGED TO PREVENT DISCHARGE INTO THIS PROPERTY.

FLOOD HAZARD: PER BERNALILLO COUNTY FIRM MAP #35001C0141G, THE SITE IS LOCATED WITHIN FLOODZONE "X" DESIGNATED AS AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN.

DRAINAGE PLAN CONCEPT: BASED ON THE NORTH AND SOUTH DOMINGO BACA ARROYOS AND PASEO DEL NORTE (PDN) CORRIDOR DRAINAGE MANAGEMENT PLAN PREPARED BY RESOURCE TECHNOLOGY, INC. (1991) 100% OF THE SITE HISTORICALLY DRAINS TO PDN. IN THE DEVELOPED CONDITION, THE SITE IS PERMITTED TO CONTINUE TO RELEASE HISTORIC RATES TO PDN EITHER AS SURFACE FLOW OR WITH A NEW STORM DRAIN CONNECTION TO THE EXISTING PUBLIC STORM DRAIN INLET WITHIN THE PDN R.O.W. ANY DISCHARGE TO PALOMAS AVE. IS UNRESTRICTED. DETENTION POND(S) WILL BE CONSTRUCTED ALONG THE NORTH END OF THE PROPERTY TO CONTROL DISCHARGE TO ALLOWABLE RATES.

ENGINEER: FRED C. ARFMAN: NMPE NO. 7322
ISAACSON & ARFMAN, P.A.
128 MONROE N.E.
ALBUQUERQUE, NEW MEXICO 87108

SURVEYOR: RUSS P. HUGG: NMPS NO. 9750
SURV-TEC, INC.
9384 VALLEY VIEW DRIVE, N.W.
ALBUQUERQUE, NEW MEXICO 87114

LEGEND

- 1 PROPOSED DRAINAGE BASIN
- BASIN LIMITS
- PROPOSED FLOW DIRECTION
- F.F. = PROPOSED FINISH FLOOR ELEVATION
- PROPOSED CONTOUR
- ◆ 32.3 PROPOSED SPOT ELEVATION

ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph. 505-268-8828 www.isaif.com

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MorningStar
of Albuquerque
MVG DEVELOPMENT

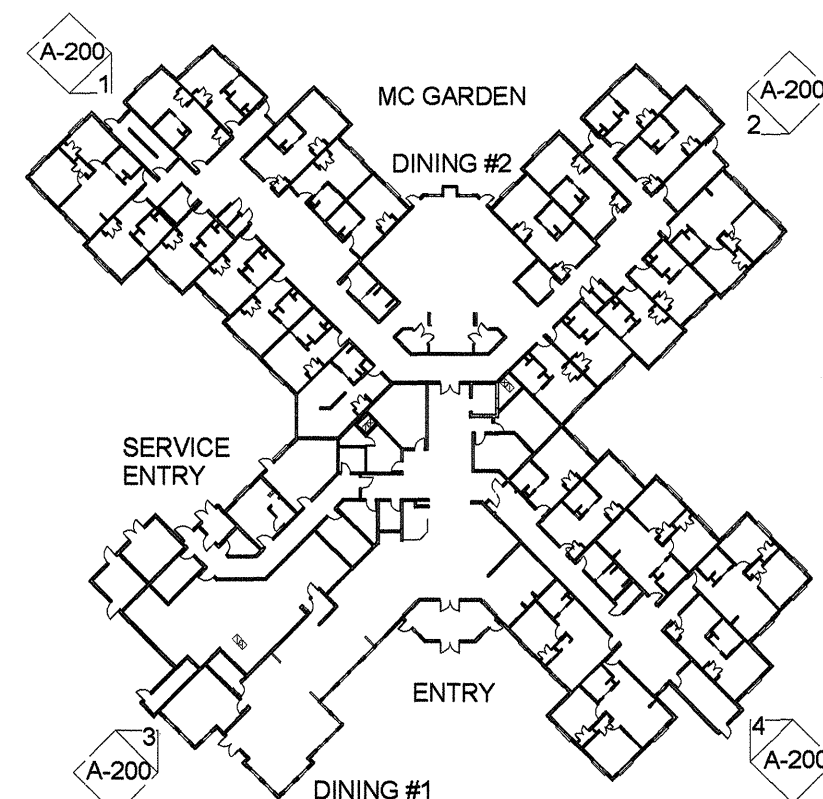
CONCEPTUAL GRADING & DRAINAGE PLAN

Date:	No. Revision:	Date:	Job No.
05/05/14			IA: 2033
Drawn By:			CG-101
BJB			
Old By:			SH OF
FCA			

Date:	No.	Revision:	Date:	Job No.
05/05/14				IA: 2033
Drawn By:				CU-101
Okd By:				SH. OF
5/5A				

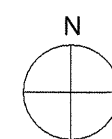


6 Entry Perspective



5 KEY PLAN - ELEVATIONS

1" = 60'-0"



SC1 = STUCCO, OFF-WHITE	WB = WOOD BEAM
SC2 = STUCCO 2, ACCENT	ST = STACKED STONE
SC3 = STUCCO 3, ACCENT	
TR = TILE ROOF, RUST RED COLOR	
WD = DARK STAINED WOOD	

NOTE: MAX HEIGHT TO BE 30'-0"

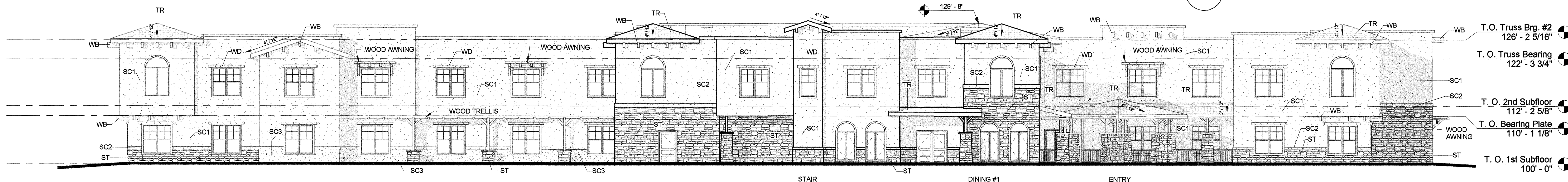
Elevation Material Legend

1/4" = 1'-0"



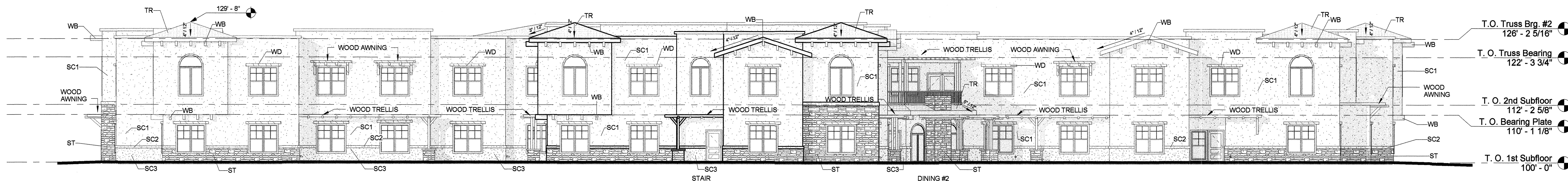
4 Southeast Elevation

3/32" = 1'-0"



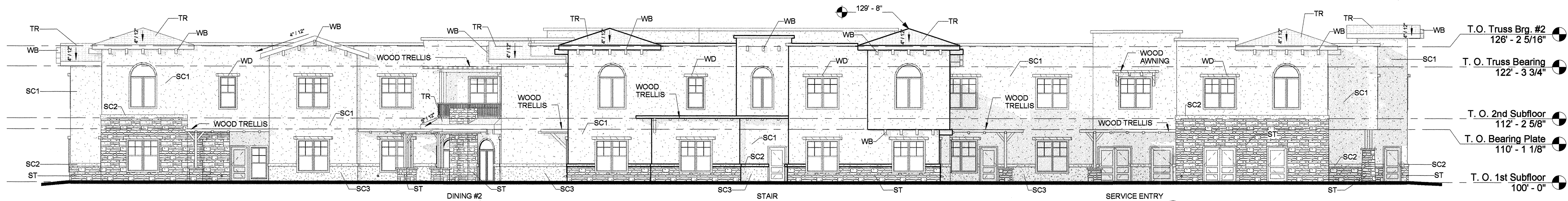
3 Southwest Elevation

3/32" = 1'-0"



2 Northeast Elevation

3/32" = 1'-0"

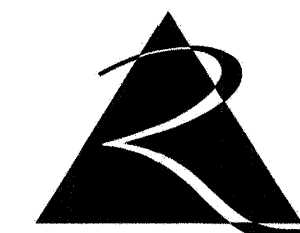


1 Northwest Elevation

3/32" = 1'-0"

PRINTS ISSUED
5.06.14

REVISIONS:



**ROSEMANN
& ASSOCIATES, P.C.**
architecture
interior design
engineering
planning

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Denver, CO 80205-2111
p: 303.261.8229

e: design@rosemann.com
w: www.rosemann.com
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Denver, CO ■ Kansas City, MO ■ St. Louis, MO

**MVG-MorningStar Assisted Living
& Memory Care Project**
Paseo del Norte and Private Drive
Albuquerque New Mexico

SHEET TITLE
EXTERIOR ELEVATIONS

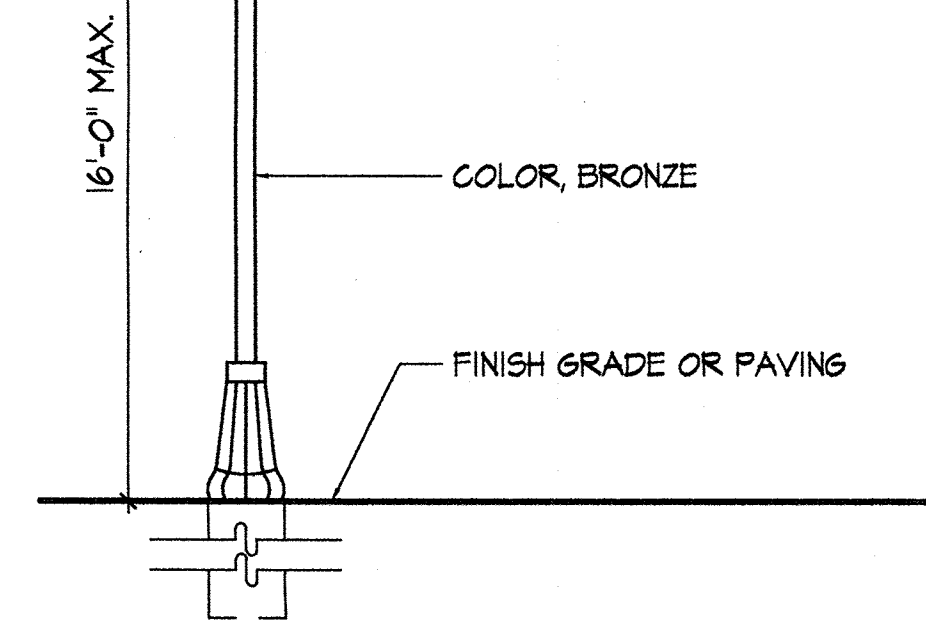
PROJECT NUMBER: 14013

SHEET NUMBER:

A.200

DRAWN BY: ZDC CHECKED BY: NPR

HOUSING PER MANUFACTURER. HORIZONTAL MOUNTED LIGHT LENS SHALL NOT PROJECT BELOW LIGHT SHIELD. OFF SITE LUMINANCE SHALL NOT BE GREATER THAN 1,000 FOOT LAMBERTS OR 200 FOOT LAMBERTS FROM ANY RESIDENTIAL PROPERTY LINE.



PARKING LOT LIGHT FIXTURE DETAIL Not to Scale

NOTE: LIGHTING FIXTURE LOCATIONS SHALL BE DETERMINED WITH THE PHOTOMETRIC PLAN PRIOR TO BUILDING PERMIT. LIGHTING DESIGN SHALL COMPLY WITH THE NORTH ALBUQUERQUE ACRES AND SANDIA HEIGHTS LIGHT POLLUTION ORDINANCE AND SITE AND BUILDING MOUNTED LIGHT FIXTURES SHALL NOT EXCEED 16 FEET IN HEIGHT.

39577.95 SF

LOT 1
(39,577.95 SF)
(±0.91 AC.)

27' Private Access and Drainage Easement for the benefit of Tract B to be maintained equally by both owners of Tracts A and B.

Common Private Drainage Easement for the benefit of Tracts A and B to be maintained equally by both owners of Tracts A and B.

EXST. PUBLIC SIDEWALK. PUBLIC ACCESS EASEMENT TO BE GRANTED TO C.O.A. BY PLAT

KEY NOTES

1. PROPERTY LINE.
2. RETAINING WALL. SEE GRADING/DRAINAGE SHEET.
3. TRASH ENCLOSURE.
4. PROPOSED ADA ACCESSIBLE CONCRETE SIDEWALK, WIDTH VARIES.
5. PROPOSED CONCRETE SIDEWALK (NON-ADA), WIDTH VARIES.
6. 6' COLORED/TEXTURED ADA PEDESTRIAN CROSSING, TYP.
7. HANDICAP SIGN, TYP. (12"x18" MOUNTED ON POLE).
8. PRECAST CONCRETE WHEEL STOPS.
9. OUTDOOR PATIO.

10. MONUMENT SIGN.
11. BICYCLE RACK (3 SPACES).
12. MOTORCYCLE SIGN.
13. FIRE HYDRANT.
14. OUTDOOR DINNING SPACE.
15. SEATING SPACE.
16. 8' CEDAR FENCE.
17. CLEAR SIGHT TRIANGLE.
18. SIDEWALK CULVERT, TYP.

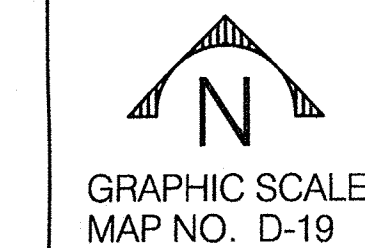
NOTES

ALL RAMPS LOCATED WITHIN THE CITY OF ALBUQUERQUE RIGHT OF WAY MUST HAVE TRUNCATED DOMES.

Final Plat Recording Information:

Plat of Tracts A and B, Morningstar at Palomas (Being a Replat of Lots 25, 26, and 27, Block 21 and Southern portions of Lots 6, 7, and 8, Block 21, Tract A, Unit A, North Albuquerque Acres)
Situate within the Elena Gallegos Grant in Projected Section 19 Township 11 North, Range 4 East
New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico
B: 2014C P. 0099 M

AFD PLANS CHECKING OFFICE
024-3611
APPROVED/NOT APPROVED
HYDRA-PLAN ONLY
Signature: [Signature]
Date: 5/14/14



SITE DATA:

LEGAL DESCRIPTION: A PORTION OF LOTS 6 THROUGH 8, LOTS 25, 26, AND 27, TRACT A, UNIT A BLOCK 21, NORTH ALBUQUERQUE ACRES

SITE AREA: 2.23 ACRES

EXISTING ZONING: SU-1 / O-2 USES

PROPOSED LAND USE: 2-STORY ASSISTED LIVING FACILITY AND MEMORY CARE.

BUILDING AREA: 33,267 S.F. (GROUND FLOOR)

65,465 S.F. (TOTAL BUILDING AREA)

MAXIMUM TOTAL BUILDING HEIGHT: 30 FEET.

PARKING: REQUIRED MINIMUM PARKING: 1 SPACE PER 2 BEDS

TOTAL PARKING REQUIRED: 44

TOTAL PROVIDED PARKING: 50

HANDICAPPED REQUIRED: 3

HANDICAPPED PROVIDED: 3

MOTORCYCLE REQUIRED: 2

MOTORCYCLE PROVIDED: 3

BICYCLE REQUIRED: 2

BICYCLE PROVIDED: 3

PROJECT NUMBER: 1008952

Application Number: 14013-70138

This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated November 4, 2013 and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No. If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

[Signature]	05-21-14	Date
Traffic Engineering, Transportation Division		
[Signature]	05/21/14	Date
ABCWUA		
[Signature]	5-21-14	Date
Parks and Recreation Department		
[Signature]	8-20-14	Date
City Engineer		
[Signature]	8-20-14	Date
Solid Waste Management		
[Signature]	10-21-14	Date
DRB Chairperson, Planning Department		

MORNINGSTAR of ALBUQUERQUE

SITE PLAN FOR BUILDING PERMIT

Prepared For:
MVG | Development
1509 York Street, 3rd Floor
Denver, CO 80206

Prepared By:
Consensus Planning, Inc.
302 Eighth St. NW
Albuquerque, NM 87102

Scale: 1" = 20'
NORTH
10 0 20 40
MAY 16, 2014



[Signature]
Muriel Chavez 11.19.15