

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

April 6, 2022

R. Jarrod Cline
arcLINE
PO Box 91462
Albuquerque, NM 87199

Re: Palomas Peak Ph. 2 Office Development
8300 Palomas Ave. NE
30-Day Temporary Certificate of Occupancy
Transportation Development Final Inspection
Engineer's Stamp dated 2-12-21 (D19-D031)
Certification dated 3-30-22

Dear Mr. Cline,

Based upon the information provided in your submittal received 03-30-22, Transportation Development has no objection to a 30-day Temporary Certificate of Occupancy based. This letter serves as a "green tag" from Transportation Development for a 30-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

- There is a new ramp on the northside of the building, please red mark the approved TCL (add a key note for this ramp).
- Paint the curb that located at the northeast side of the driveway entrance with yellow. Just the segment that parallel with the ADA ramp, for tripping hazard issue.

Once these corrections are complete, email pictures to malnajira@cabq.gov for release of Final CO.

If you have any questions, please contact me at (505) 924-3675.

Sincerely,

Marwa Al-najjar
Associate Engineer, Planning Dept.
Development Review Services
ma via: email
C: CO Clerk, File

March 30, 2022

Project: Palomas Peak, 8300 Palomas Ave NE

Subject: TCL Certification for D19D031



TRAFFIC CERTIFICATION

I, R. Jarrod Cline, RA, LIC No. 4427, of the firm arcLINE Architectural Design LLC, hereby certify that this project is in substantial compliance with and in accordance with the design intent of the TCL plan approved on February 19, 2021 and dated 02-12-2021. The record information edited onto the original design document has been obtained by R. Jarrod Cline of the firm arcLINE Architectural Design LLC. I further certify that I have personally visited the project on March 30, 2022, and have determined by visual inspection that the actual site conditions are representative of the approved plans and are true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for a Permanent Certificate of Occupancy.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

If you have any questions or comments regarding anything contained herein, please do not hesitate to contact me at 505-681-7274 or via email at jarrod@arcline-arch.com.

Sincerely,

A handwritten signature in blue ink, appearing to read 'R. Jarrod Cline'.

R. Jarrod Cline
Owner / Architect



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

Project Title: Palomas Peak Building Permit #: _____ Hydrology File #: _____

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: LOT 012, BLOCK 022, TRACT A, UNIT A, NORTH ALBUQUERQUE ACRES

City Address: 8300 Palomas Ave NE, 87109

Applicant: arcLINE Architectural Design LLC Contact: Jarrod Cline

Address: PO Box 91462

Phone#: 505-681-7274 Fax#: None E-mail: jarrod@arcline-arch.com

Owner: Palomas Peak LLC Contact: Eric Tidmore

Address: PO Box 10837

Phone#: 505-459-1696 Fax#: 505-299-6732 E-mail: eric@trinityconstructionnm.com

TYPE OF SUBMITTAL: _____ PLAT (____# OF LOTS) _____ RESIDENCE _____ DRB SITE ☒ ADMIN SITE

IS THIS A RESUBMITTAL?: _____ Yes ☒ No

DEPARTMENT: ☒ TRAFFIC/ TRANSPORTATION _____ HYDROLOGY/ DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ DRAINAGE MASTER PLAN
- ☐ DRAINAGE REPORT
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ OTHER (SPECIFY) _____
- ☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 03/30/2022 By: Jarrod Cline

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

February 19, 2021

Jarrold Cline
arcLINE Architectural Design LLC
PO Box 91462
Albuquerque, NM
Via email jarrod@arcline-arch.com

Re: **Palomas Peak**
8300 Palomas Ave. NE
Traffic Circulation Layout
Architect's Stamp date 01/15/2021 and 2/12/2021 (D19D031)

Dear Mr. Cline,

The TCL resubmittal received February 18, 2021 is approved for a Building Permit application. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

If you have any questions, please contact me at (505) 924-3362.

Sincerely,

Matt Grush, P.E., PTOE
Senior Engineer, Planning Dept.
Development Review Services

C: CO Clerk, File

CITY OF ALBUQUERQUE

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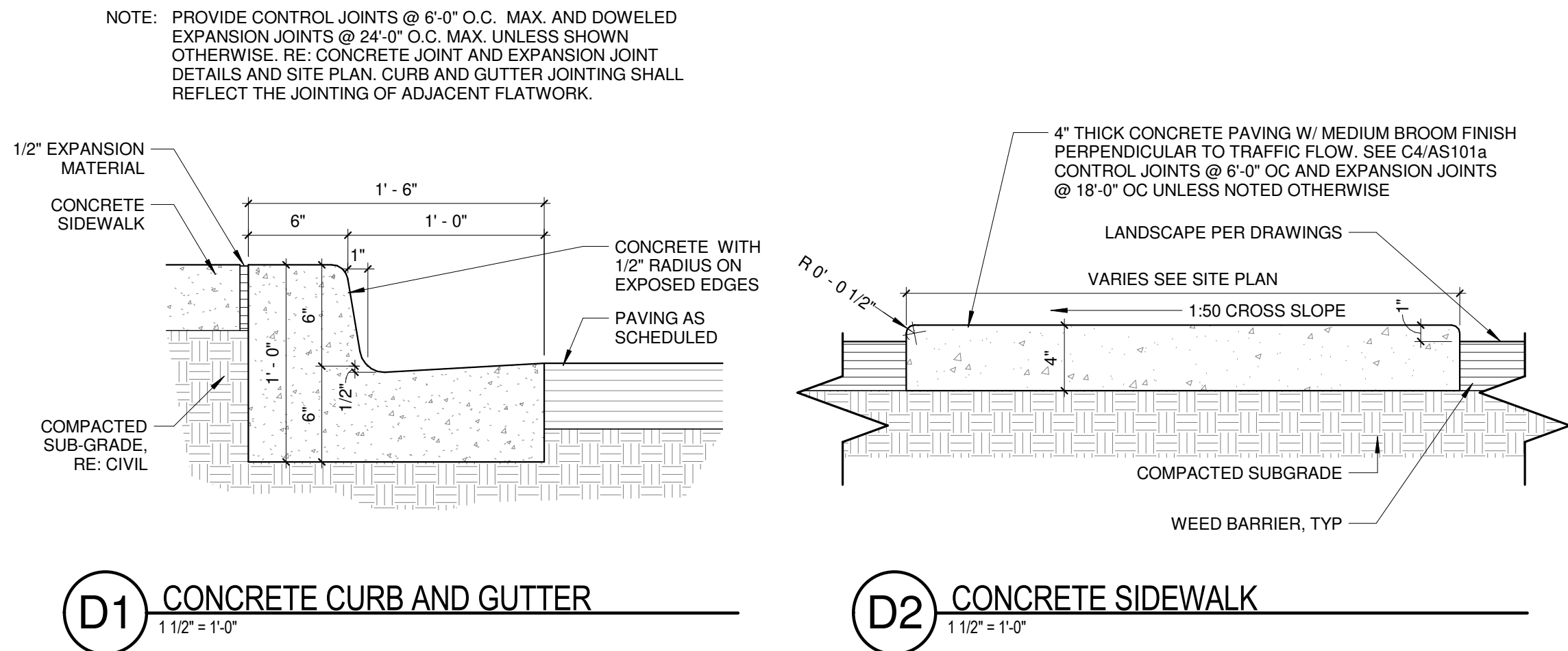
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Matt Grush, P.E., PTOE
Senior Engineer, Planning Dept.
Development Review Services

C: CO Clerk, File



SITE DATA

| | |
|----------------------------------------------|---------------------------------------------------------------|
| LOCATION: | 8300 PALOMAS AVE NE ALBUQUERQUE, NM 87109 |
| LEGAL DESCRIPTION: | LOT 012, BLOCK 022 TRACT, A UNIT A NORTH ALBUQUERQUE ACRES |
| UPC #: | 101906345446610321 |
| OWNER: | PALOMAS PEAK LLC PO BOX 10837 ALBUQUERQUE NM 87184 |
| CURRENT ZONING: | MX-T |
| ZONE ATLAS PAGE: | D-19 |
| BUILDING CONSTRUCTION: | 5B (NON-SPRINKLED) |
| APPLICABLE CODE: | 2015 IBC |
| TOTAL LOT AREA: | (0.8818 AC) 38,412 S.F. |
| MAX. BUILDING HEIGHT ALLOWED: | 30 FEET |
| MAX. BUILDING HEIGHT: | 18 FEET |
| MAX. BUILDING FOOTPRINT AREA: | 8,793 S.F. |
| NET LOT AREA (LOT AREA-BLD. FOOTPRINT): | 29,619 S.F. |
| FLOOR AREA RATIO (GROSS BLD. AREA/LOT AREA): | 22.8 % |

| | |
|--------------------------------|----------------------------------------------------------------------------------------------------------------------|
| PAVED AREA: | 22,878 S.F. |
| LANDSCAPE AREA: | 6,741 S.F. |
| LANDSCAPE % NET LOT AREA: | 17.5 % |
| LANDSCAPE TO PAVED AREA RATIO: | 1 : 3.395 |
| REQUIRED PARKING: | 44 SPACES MEDICAL AND DENTAL OFFICE: 5 SPACES / 1,000 SF GFA 8,789 S.F. / 1,000 SF GFA = 8.789 x 5 = 44 SPACES |
| PARKING PROVIDED: | 54 SPACES 48 ON-SITE SPACES 6 ON-STREET SPACES |
| REQUIRED H.C. PARKING: | 2 SPACES (1 VAN) |
| H.C. PARKING PROVIDED: | 4 SPACES (2 VAN) |
| REQUIRED MOTORCYCLE PARKING: | 2 SPACES |
| MOTORCYCLE PARKING PROVIDED: | 2 SPACES |
| REQUIRED BICYCLE PARKING: | 5 SPACES |
| BICYCLE PARKING PROVIDED: | 8 SPACES |

GENERAL NOTES

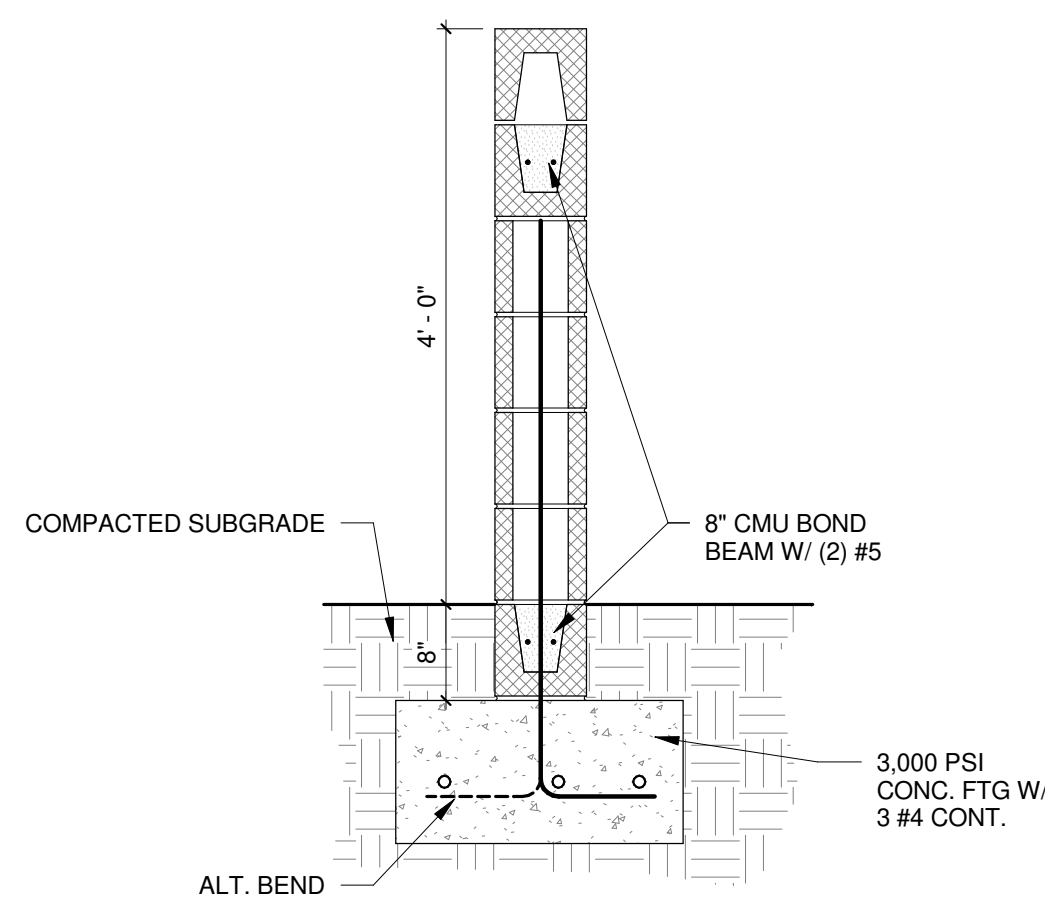
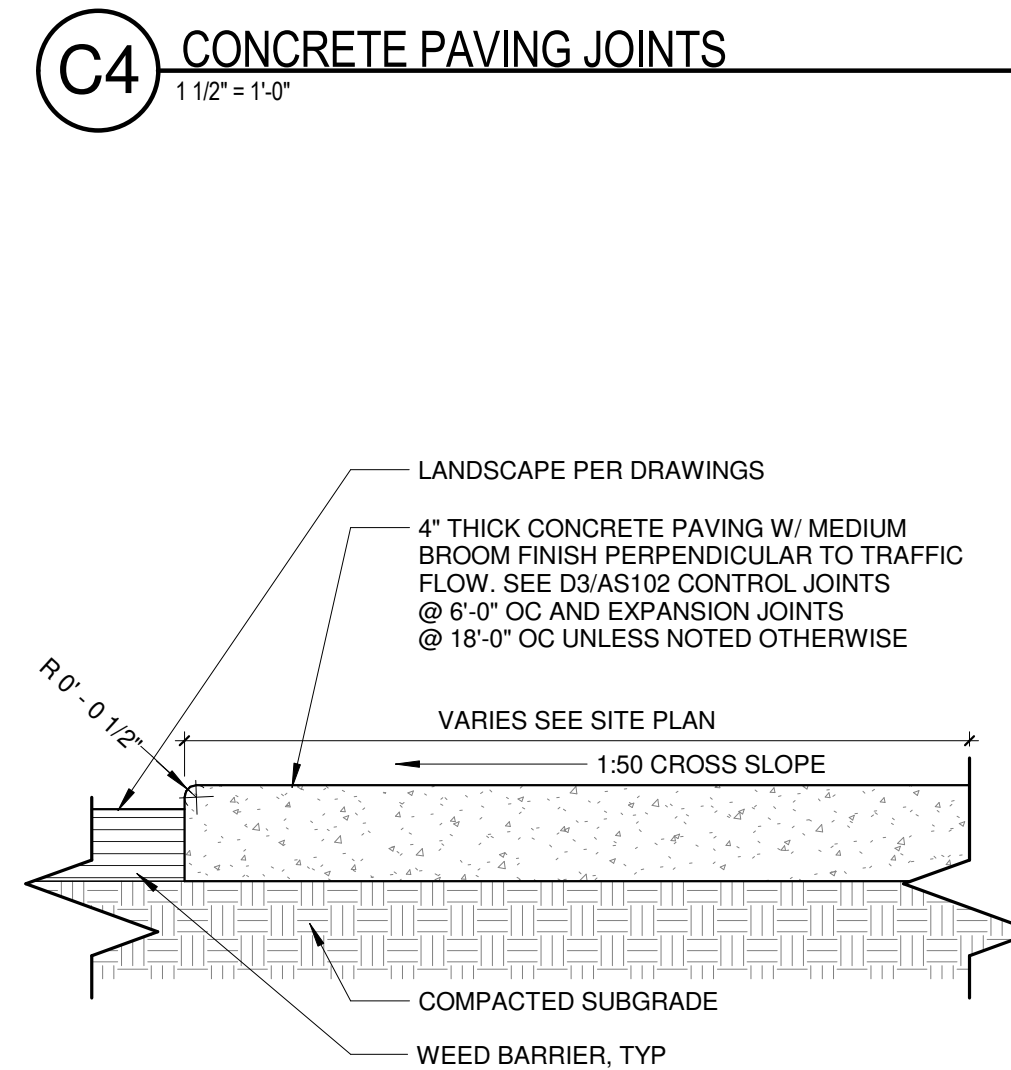
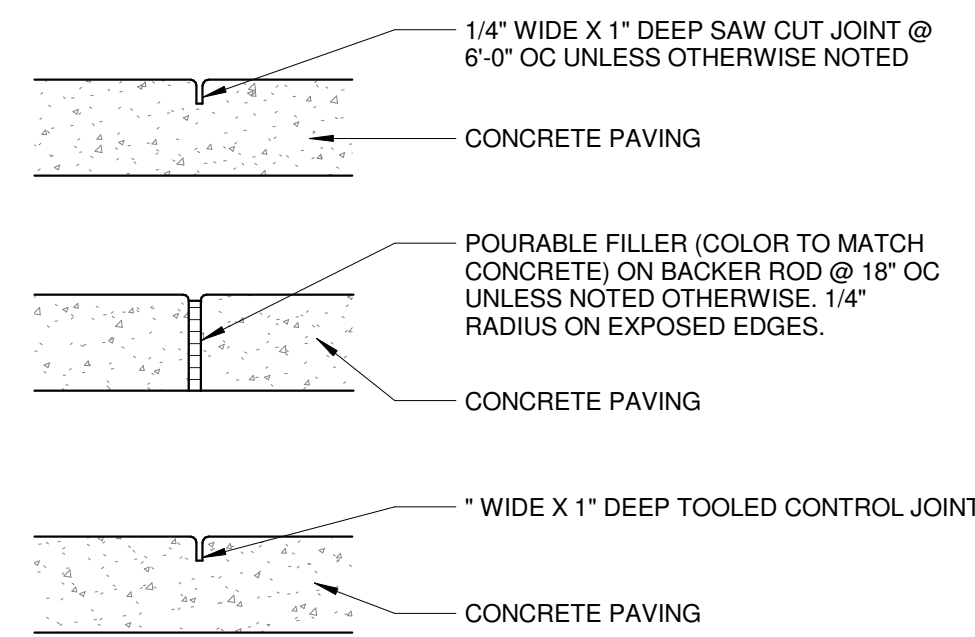
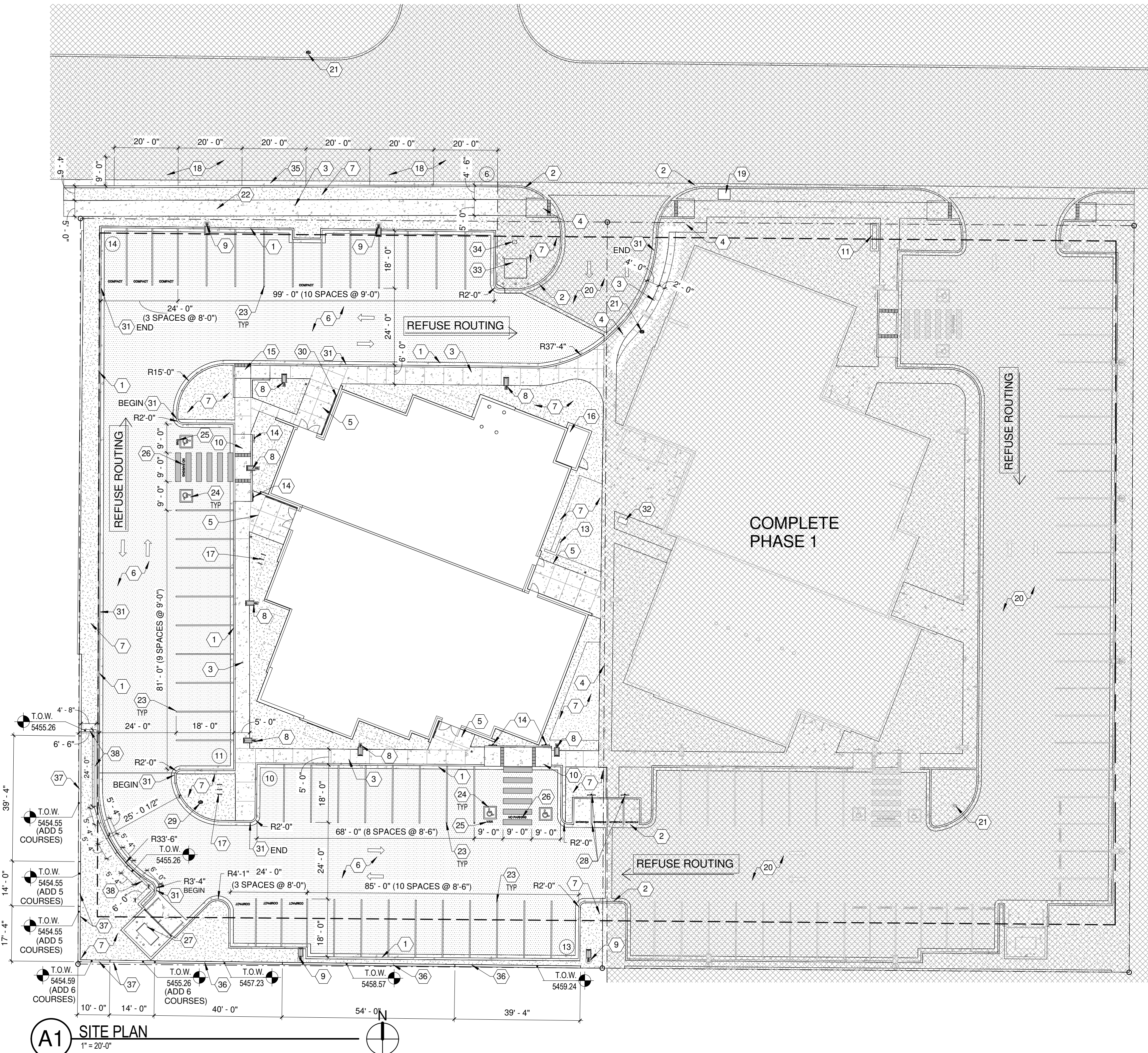
- VERIFY SITE UTILITY ROUTING AND NEW UTILITY CONNECTIONS WITH UTILITY PROVIDERS.
- CURBS DIMENSIONED TO FACE OF CURB U.N.O.
- PATCH AND REPAIR OR REPLACE EXISTING CURB & GUTTER ALONG STREET FRONTAGES AS NECESSARY.
- SITE LIGHTING
- LIGHTING PROVIDED ON BUILDING FACADES AND IN THE PARKING LOT TO BE CUT-OFF TYPE ANGLED TO BE NON-INTRUSIVE TO ADJACENT PROPERTIES AND RIGHT-OF-WAYS.
- SEE GEO-TECHNICAL REPORT FOR SUB-GRADE PREP REQUIREMENTS OF THE BUILDING AND PARKING LOT.
- ALL IMPROVEMENTS IN THE RIGHT OF WAY REQUIRE A WORK ORDER WITH APPROVED CITY OF ALBUQUERQUE DRC APPROVED PLANS. THIS IS TO INCLUDE REMOVAL AND/OR RESTRIPIING OF THE STREET.

KEYED NOTES

- CONCRETE CURB AND GUTTER, RE: D1/AS101a.
- EXISTING CURB AND GUTTER (WHERE OCCURS) TO REMAIN.
- CONCRETE SIDEWALK PER DETAIL D2/AS101a.
- EXISTING CONCRETE SIDEWALK TO REMAIN.
- 4" THICK CONCRETE FLAT WORK, JOINTED AS SHOWN, WITH TURN DOWN EDGE. RE: B4/AS101a.
- ASPHALT PAVING, RE: SOILS REPORT.
- LANDSCAPE AREA, RE: LANDSCAPE DRAWINGS.
- POLE MOUNTED LIGHT ON CONCRETE BASE, RE: B2/AS102a.
- POLE MOUNTED LIGHT ON CONCRETE BASE, RE: B3/AS102a.
- ACCESSIBLE SIDEWALK RAMP, RE: A1/AS102a.
- EXISTING MONUMENT SIGN.
- 12" WIDE 6" HIGH OPEN SPACE CONCRETE CULVERT, PROVIDED 1/2" STEEL CHECKER PLATE COVER ATTACHED TO CONCRETE EMBEDDED 1-1/2"x1-1/2"x1/4" STEEL ANGLE, PAINT, TYPICAL.
- GAS METER ENCLOSURE.
- ACCESSIBLE PARKING SIGN, ADD TEXT "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING". RE: A5/AS102a.
- ACCESSIBLE SIDEWALK RAMP, RE: D2/AS102a.
- ELECTRICAL GEAR ENCLOSURE.
- BICYCLE RACK, RE: D1/AS102a.
- ON-STREET PARKING SPACE.
- EXISTING WATER UTILITY REDUCED PRESSURE BACKFLOW PREVENTER IN HEATED ENCLOSURE.
- EXISTING ASPHALT PAVEMENT.
- EXISTING FIRE HYDRANT.
- CONCRETE SIDEWALK PER C.O.A.B.Q. STANDARDS (TYP.) - DRWG. #2430.
- PARKING STRIPING PER C.O.A.B.Q. STANDARDS - 4" WIDE - SAFETY WHITE.
- HANDICAP PARKING SPACE PER C.O.A.B.Q. STANDARDS WITH ACCESSIBLE PARKING SPACE PAVEMENT SIGNAGE, RE: A3/AS102a.
- HANDICAP VAN PARKING SPACE PER C.O.A.B.Q. STANDARDS WITH ACCESSIBLE PARKING SPACE PAVEMENT SIGNAGE.
- HANDICAP ACCESSIBLE AISLE PER C.O.A.B.Q. STANDARDS WITH PAINTED "NO PARKING" - EACH LETTER TO BE MIN. 12" HIGH AND 2" WIDE AND PLACED AT THE REAR OF THE PARKING SPACE.
- TRASH ENCLOSURE PER C.O.A.B.Q. REQUIREMENTS, RE: C5/AS102a.
- MOTORCYCLE PARKING SPACES 5'x8' WITH PAVEMENT SIGNAGE - 4" WIDE SAFETY WHITE. INSTALL SIGN, RE: B5/AS102a.
- NEW FIRE HYDRANT PER C.O.A.B.Q. AND FIRE DEPT. STANDARDS.
- "KNOX BOX" INSTALLED PER C.O.A.B.Q. FIRE DEPT.
- CURB PAINTED RED WITH "NO PARKING FIRE LANE" PER IFC SECTION 505.3 "MARKINGS".
- EXISTING LANDSCAPE IRRIGATION REDUCED PRESSURE BACKFLOW PREVENTER IN HEATED ENCLOSURE.
- EXISTING ELECTRICAL TRANSFORMER WITH SURROUNDING 6" PIPE BOLLARDS, RE: ELEC.
- EXISTING COMMUNICATIONS PEDESTAL, RE: ELEC.
- STANDARD CONCRETE CURB AND GUTTER, PER C.O.A.B.Q. STANDARDS (TYP.) - DRWG. #2415A.
- BURNISHED CMU RETAINING/SITE WALL, RE: D4/AS102a.
- RAISED EXISTING BURNISHED CMU SITE WALL PER COURSES INDICATED ON SITE PLAN.
- NEW CMU RETAINING AND YARD WALL, RE: STRUCTURAL AND CIVIL.

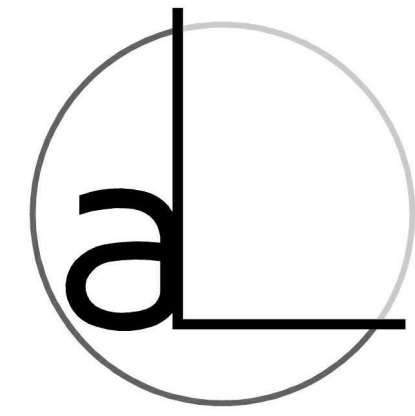
LEGEND

| | |
|--|---------------------|
| | NEW ASPHALT PAVING |
| | NEW CONCRETE PAVING |
| | NEW LANDSCAPING |
| | NO WORK THIS AREA |



TRAFFIC CIRCULATION LAYOUT
APPROVED

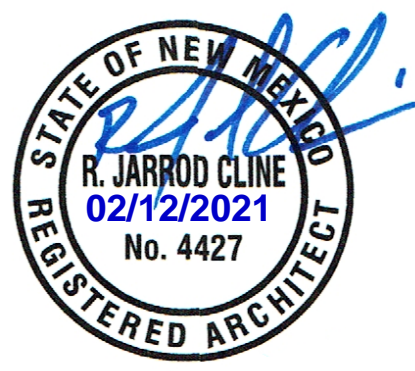
M. J. R. P.E. 2/19/2021



arcLINE

Architectural Design LLC
PO Box 91462
Albuquerque
New Mexico 87199
P 505.681.7274
www.arcLINE-arch.com

ARCHITECT/ENGINEER



Palomas Peak Ph. 2 Office Development
8300 Palomas Ave. NE
Albuquerque, NM 87109

PERMIT / BID SET

REVISIONS

REV DATE DESCRIPTION

DATE 02-12-2021

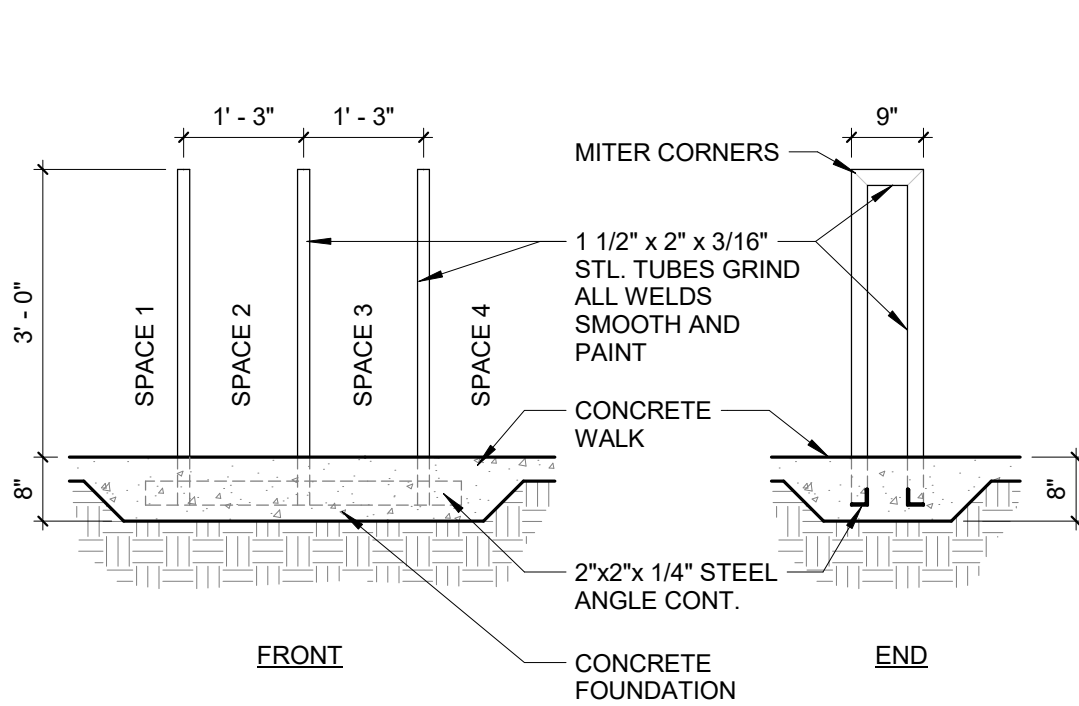
PROJECT NO. 20-025

DRAWING NAME

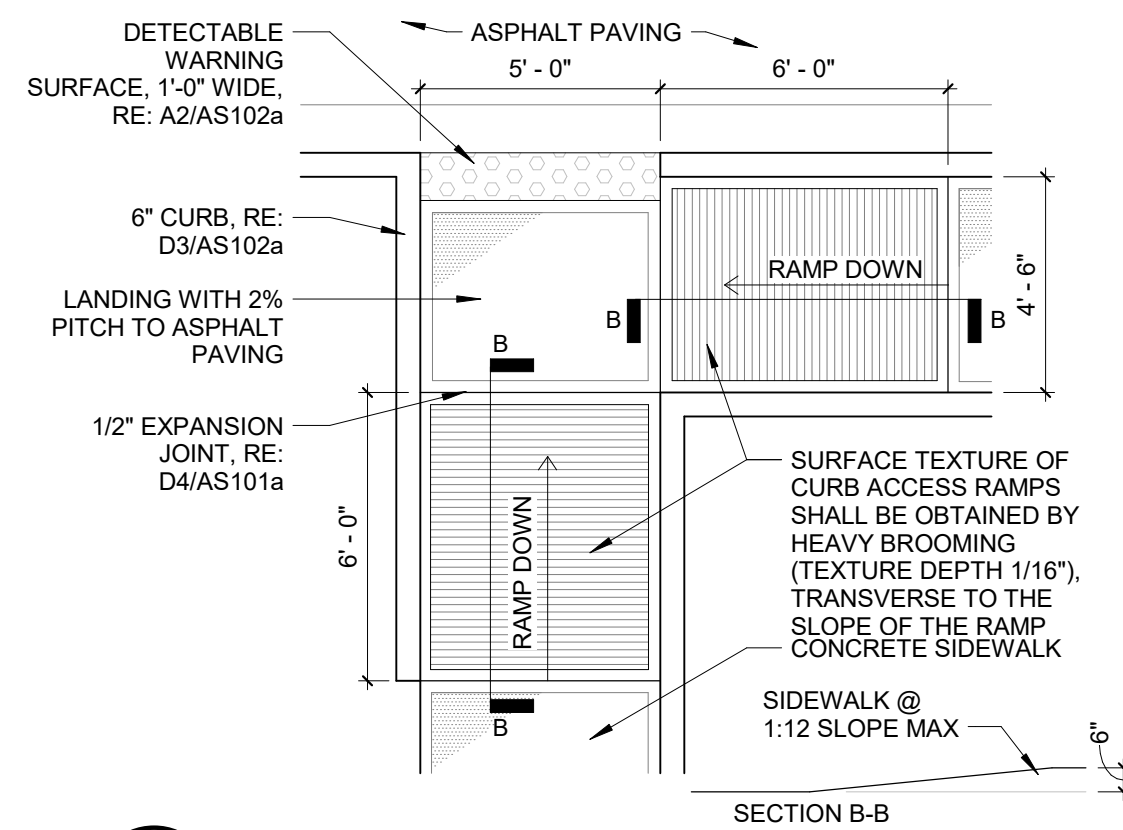
SITE PLAN

SHEET NO.

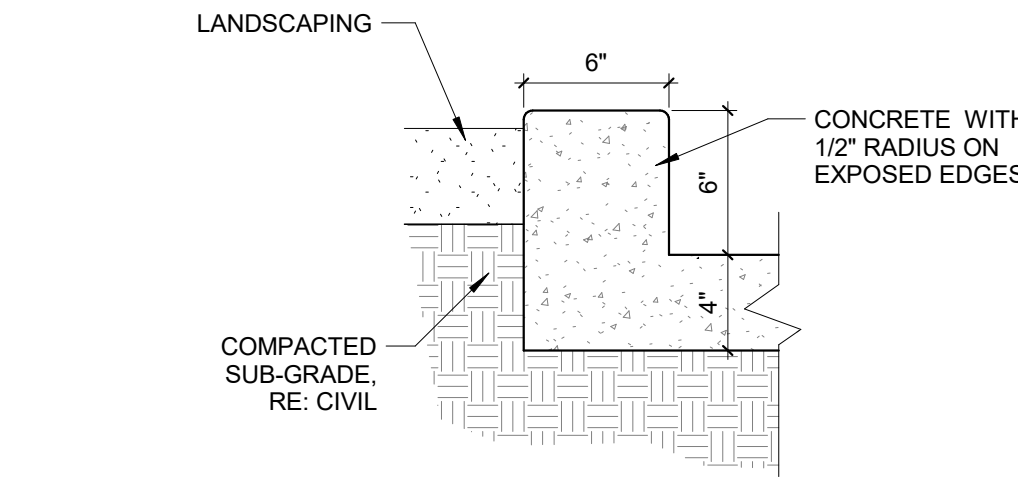
AS101a



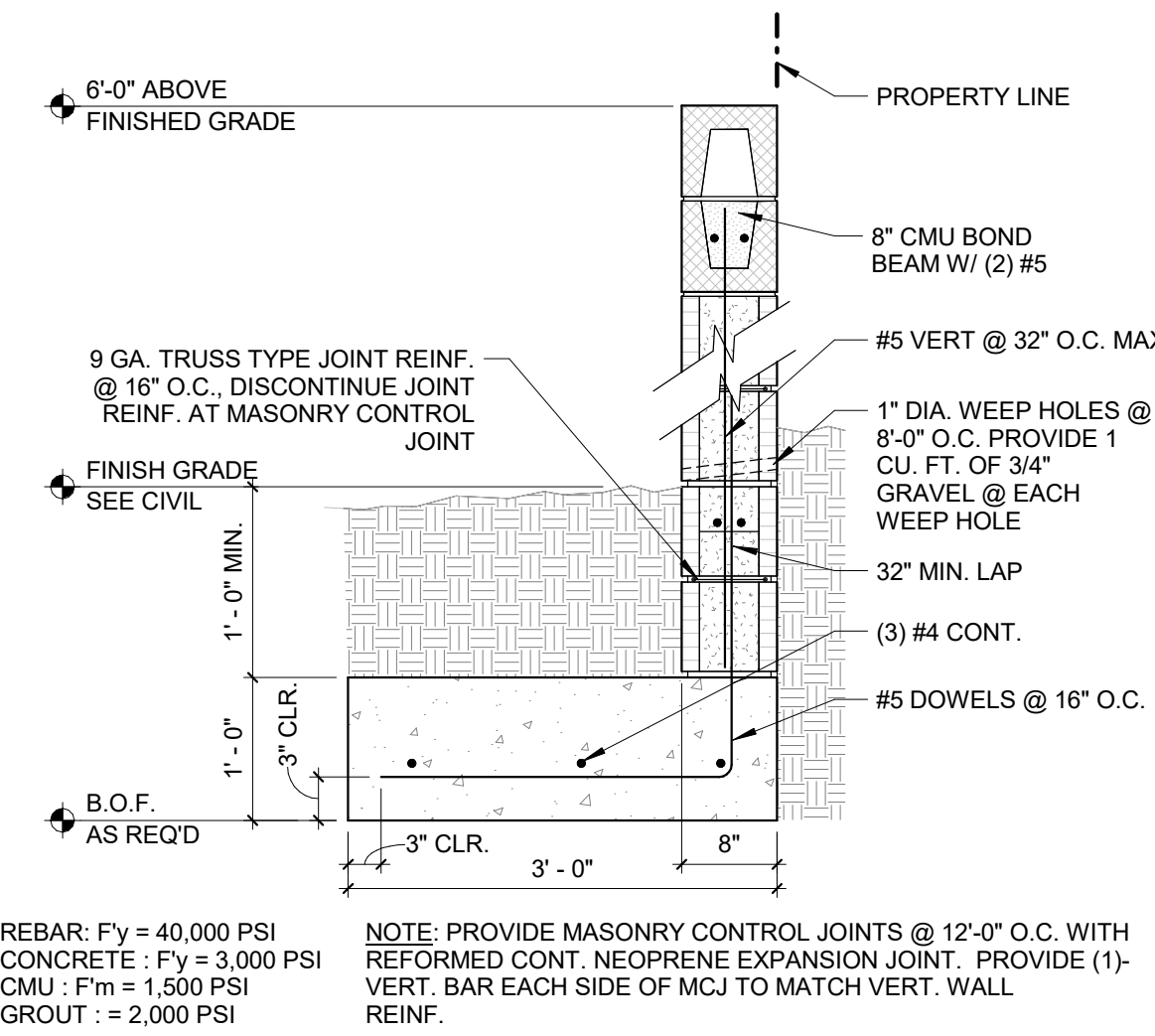
D1 BICYCLE RACK
1/2" = 1'-0"



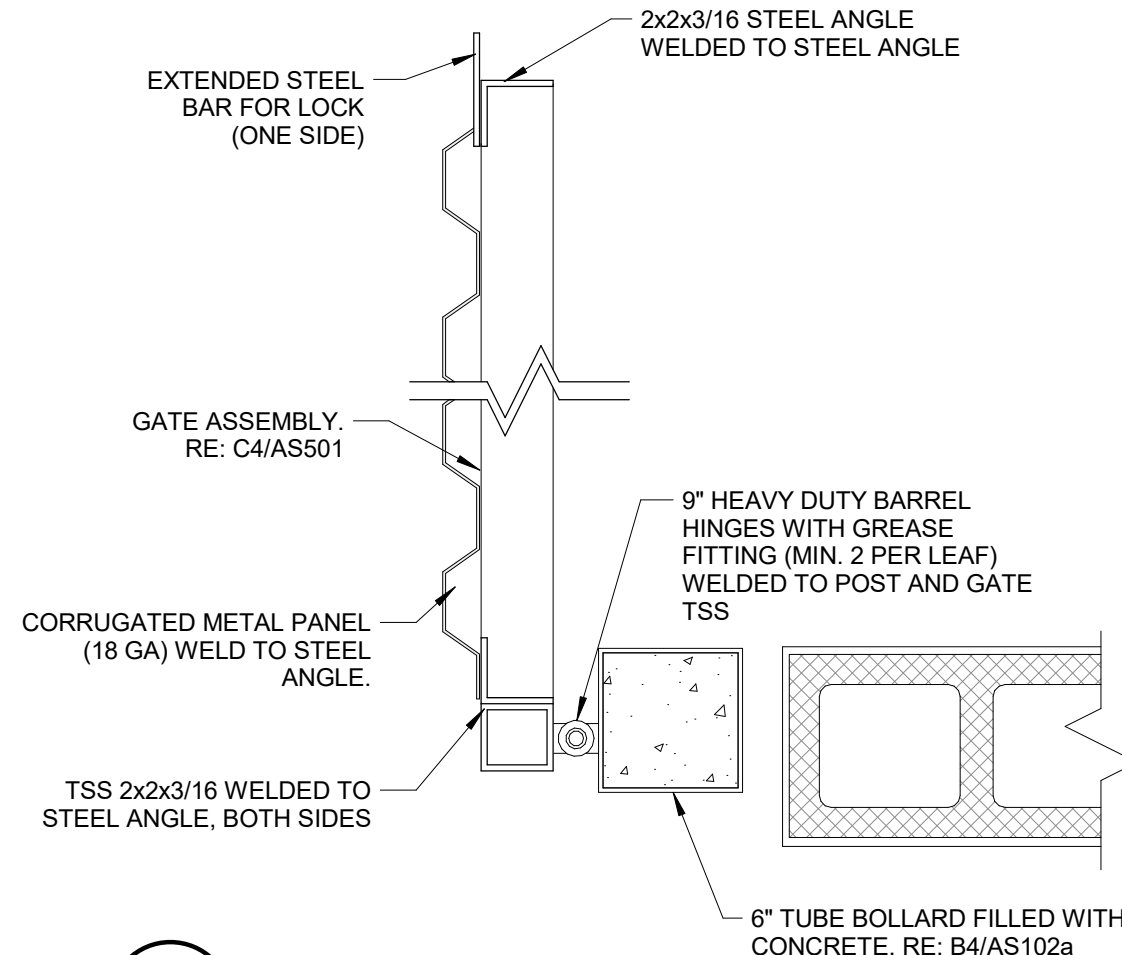
D2 ACCESSIBLE RAMP
1/4" = 1'-0"



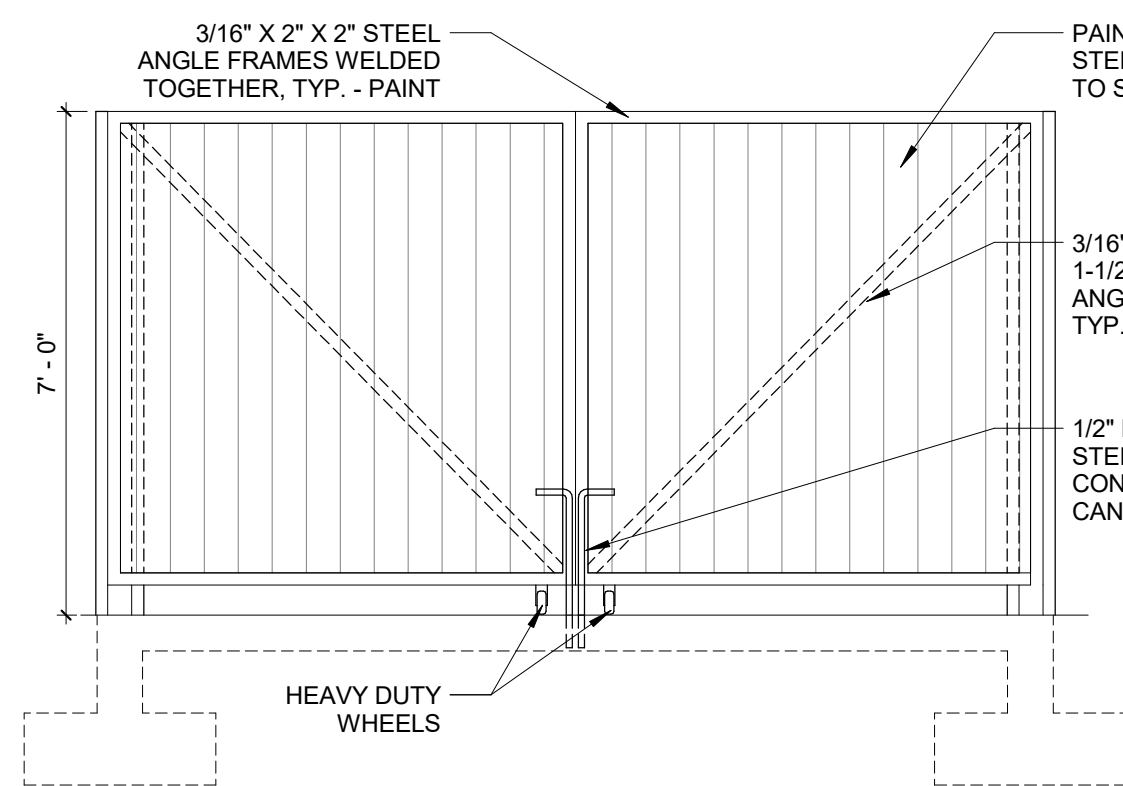
D3 CONCRETE CURB
1 1/2" = 1'-0"



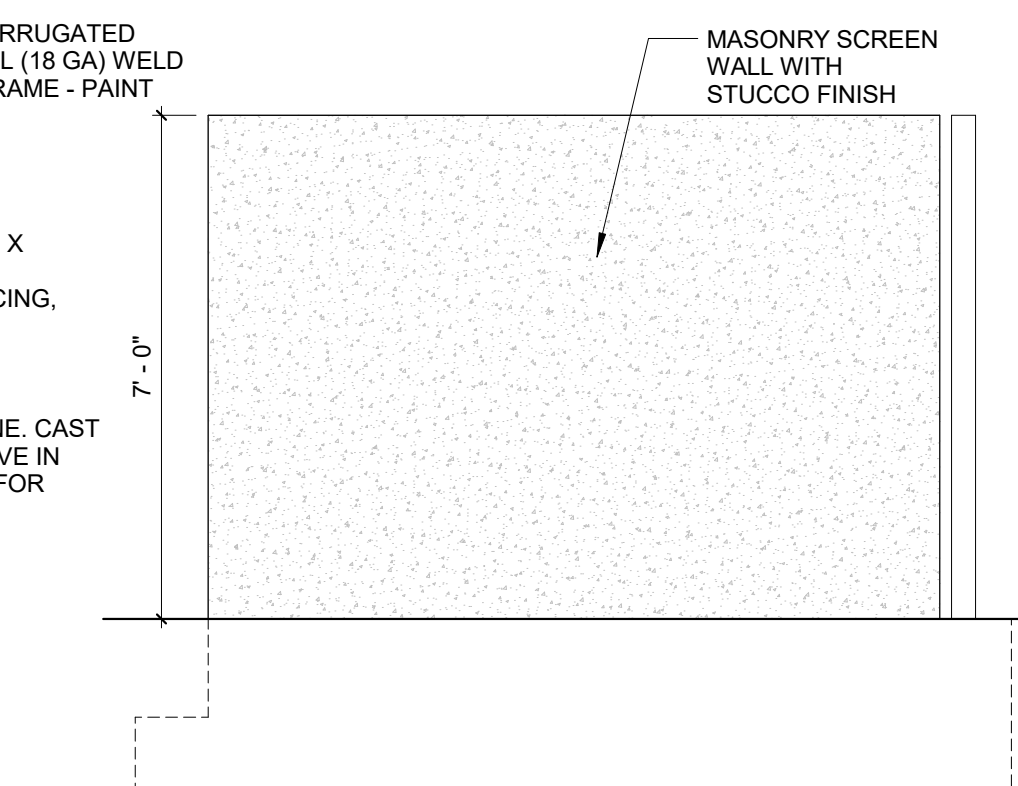
D4 SITE WALL SECTION
3/4" = 1'-0"



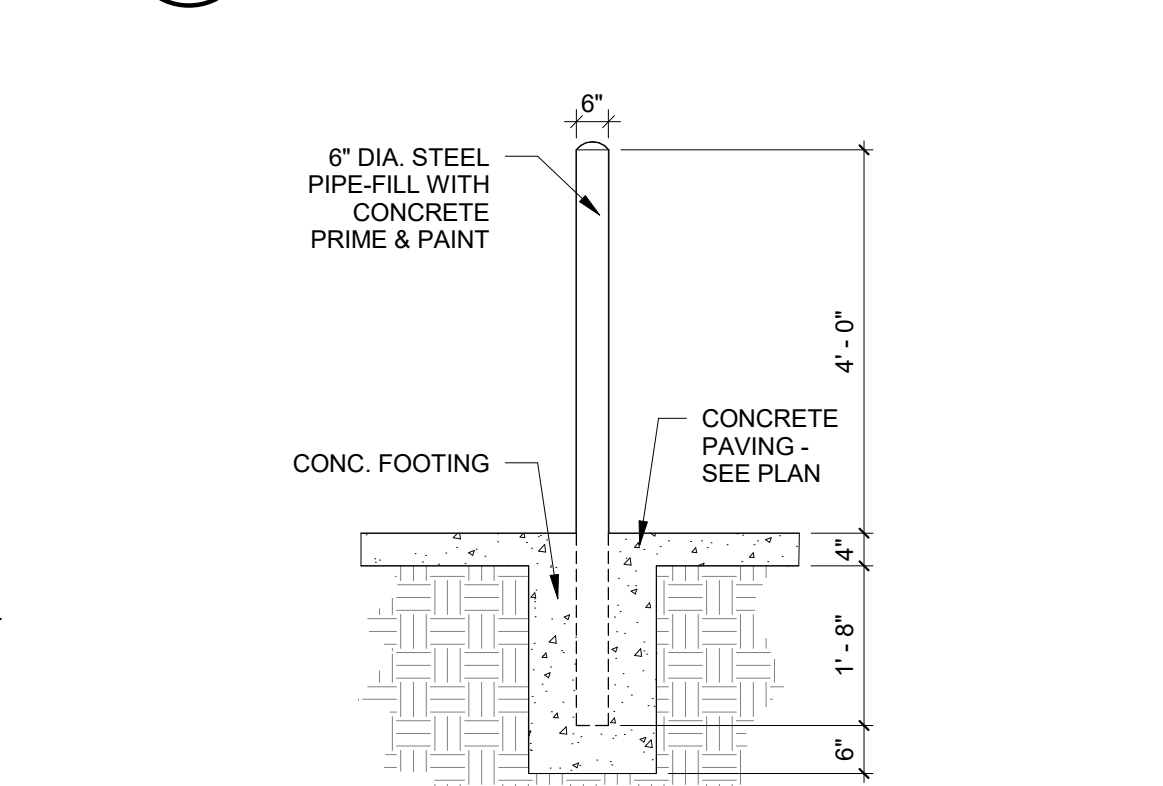
C1 GATE HINGE DETAIL
1 1/2" = 1'-0"



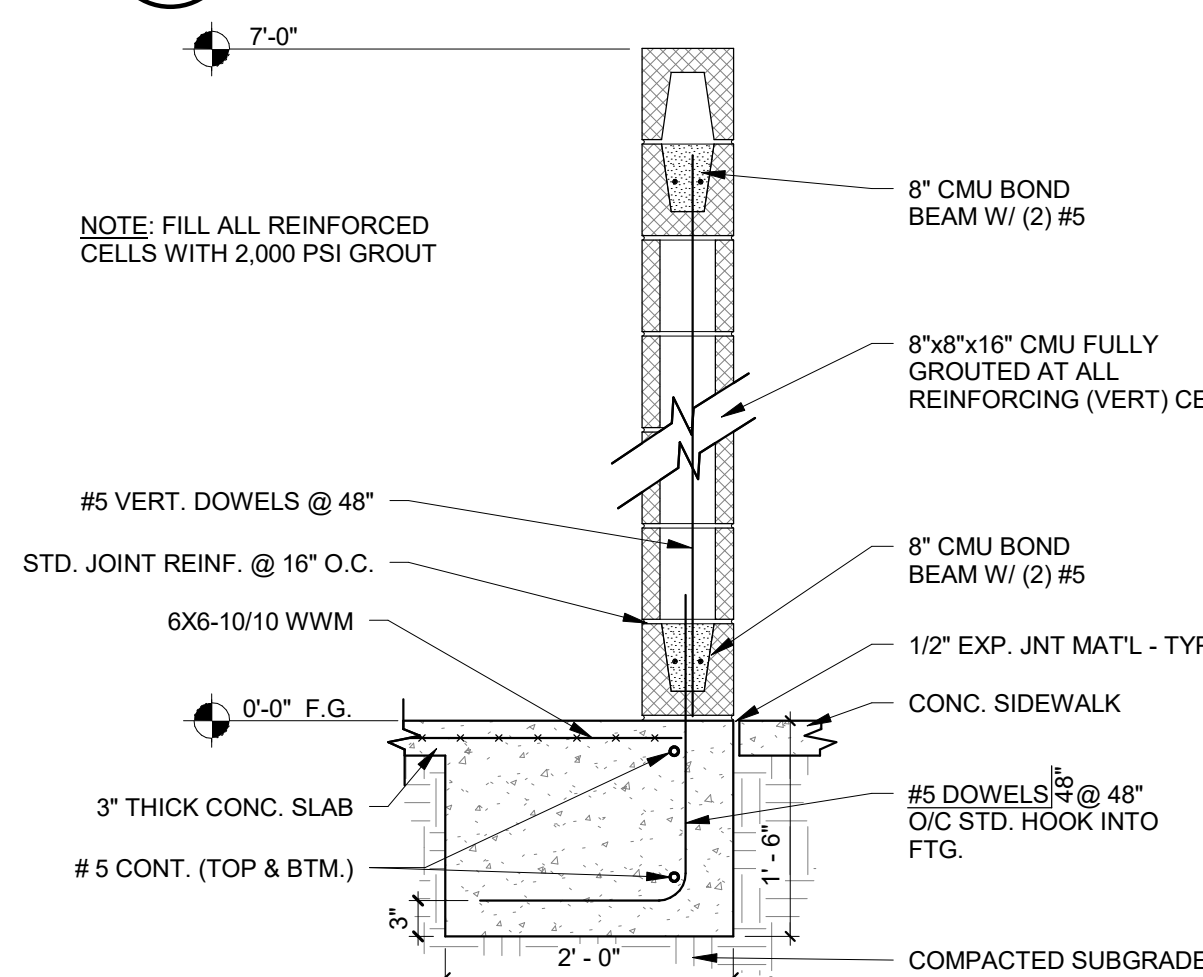
C2 TRASH ENCLOSURE FRONT ELEVATION
3/8" = 1'-0"



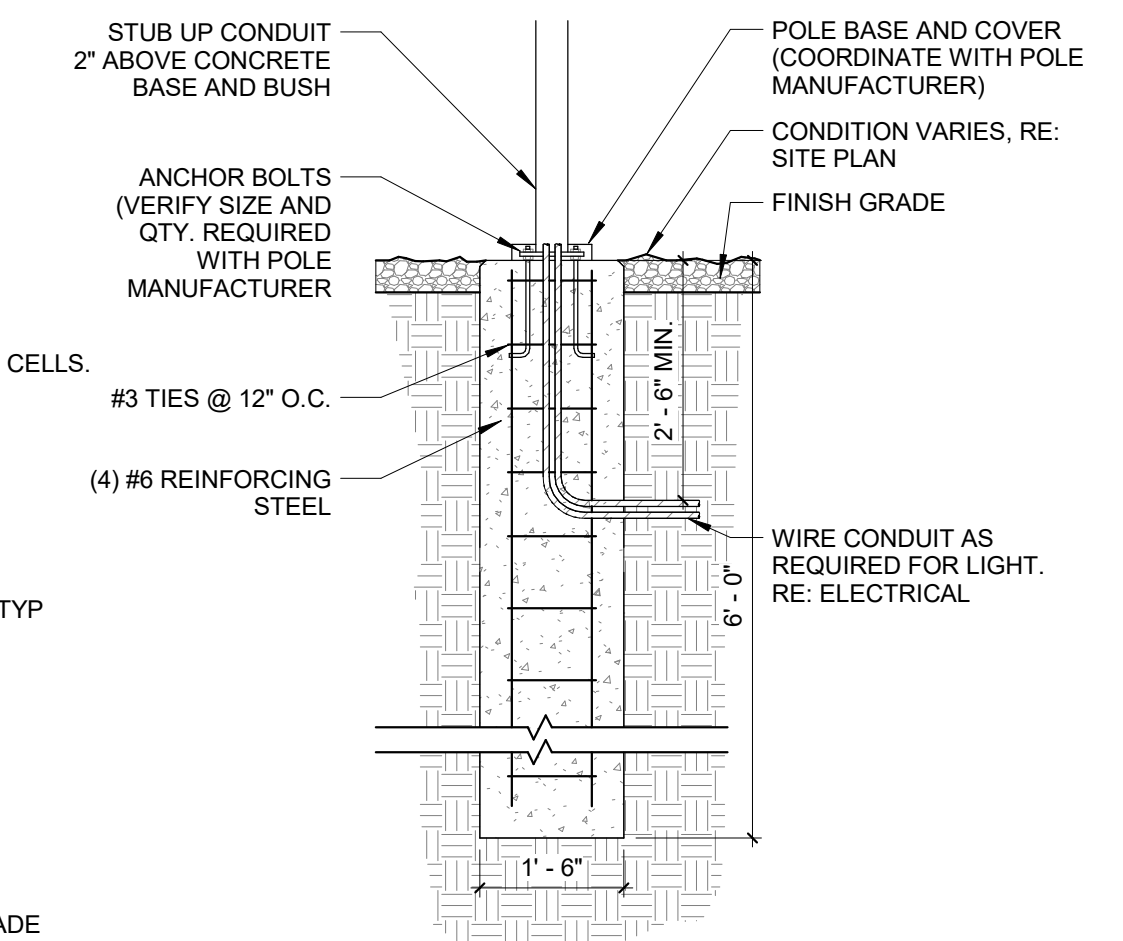
C3 TRASH ENCLOSURE SIDE ELEVATION
3/8" = 1'-0"



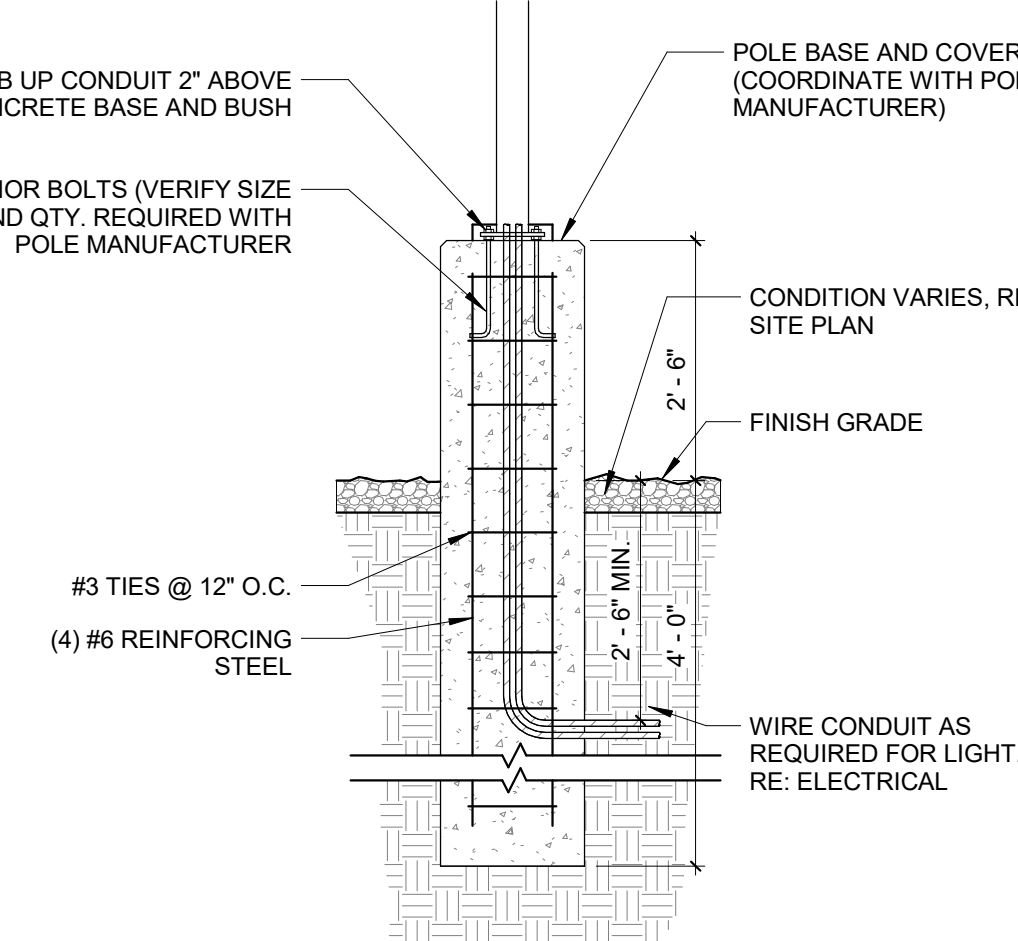
C4 BOLLARD DETAIL
1/2" = 1'-0"



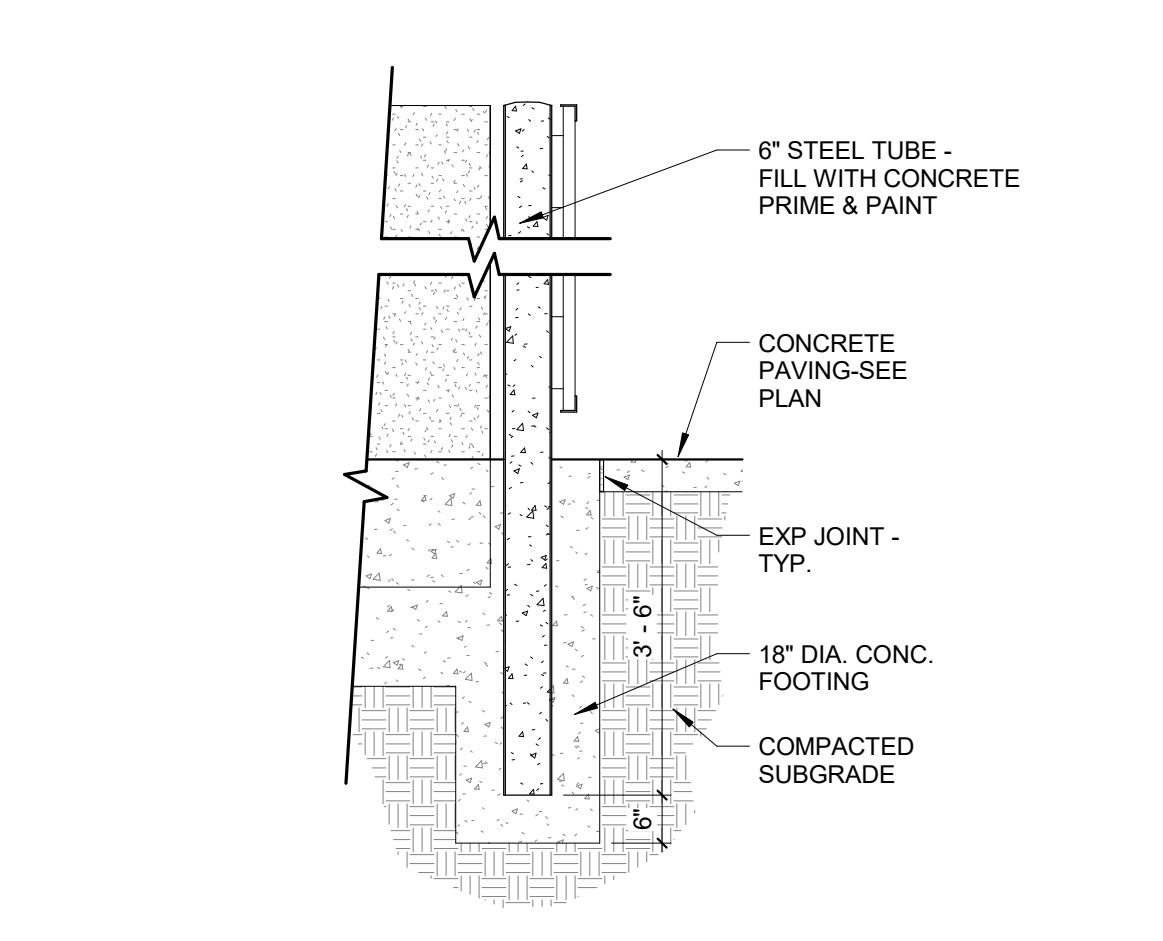
B1 SCREEN WALL
3/4" = 1'-0"



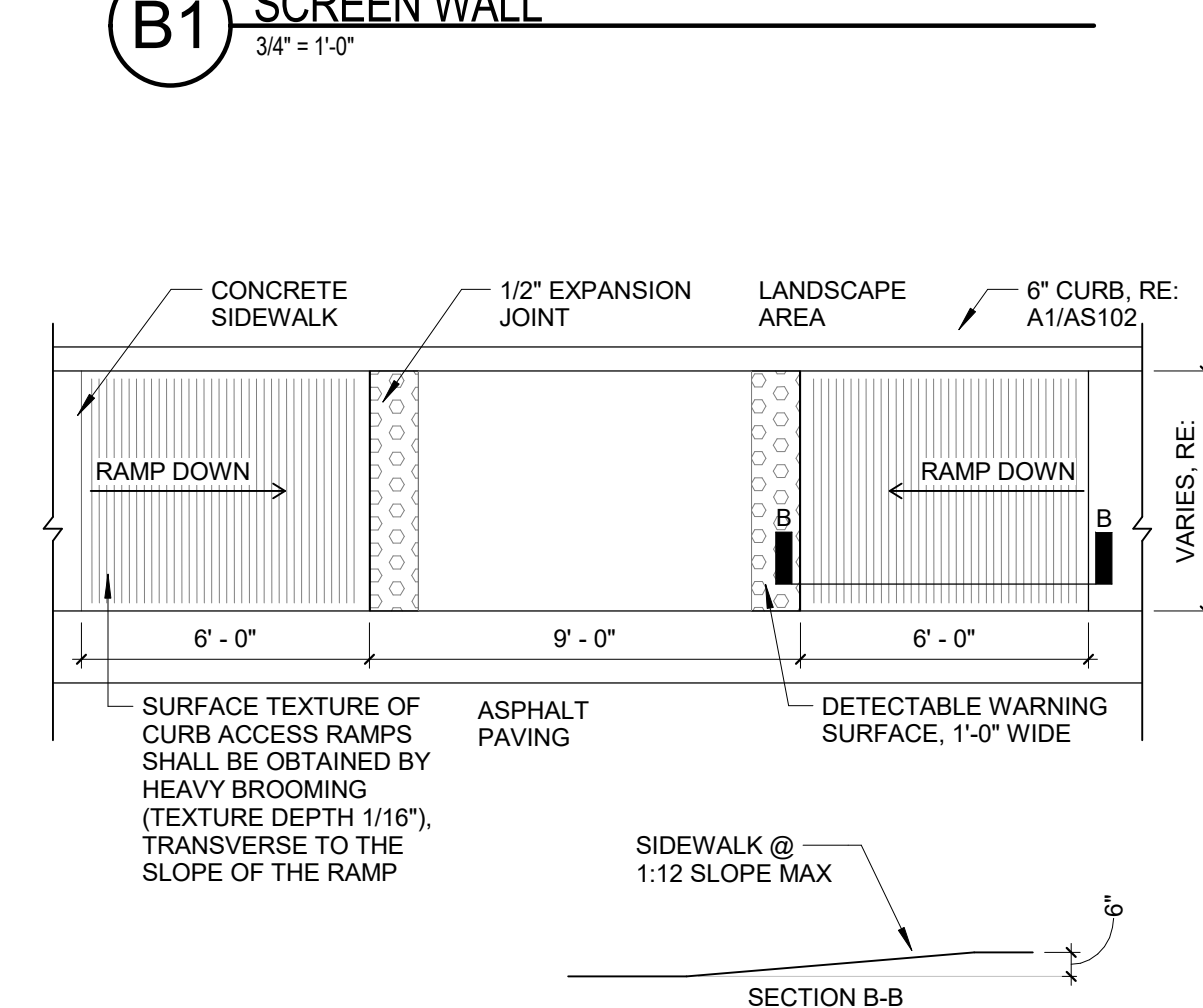
B2 LIGHT POLE BASE
1/2" = 1'-0"



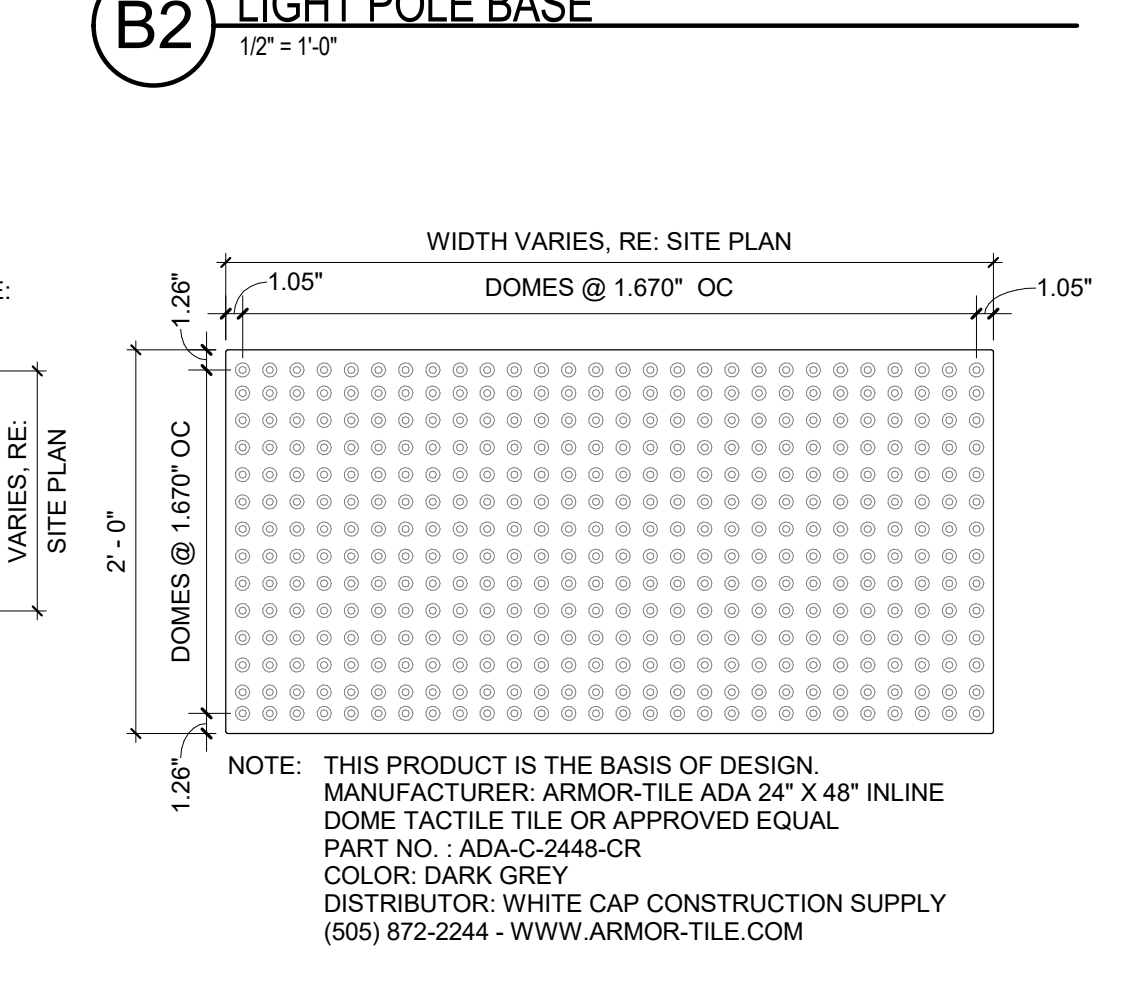
B3 LIGHT POLE BASE (02)
1/2" = 1'-0"



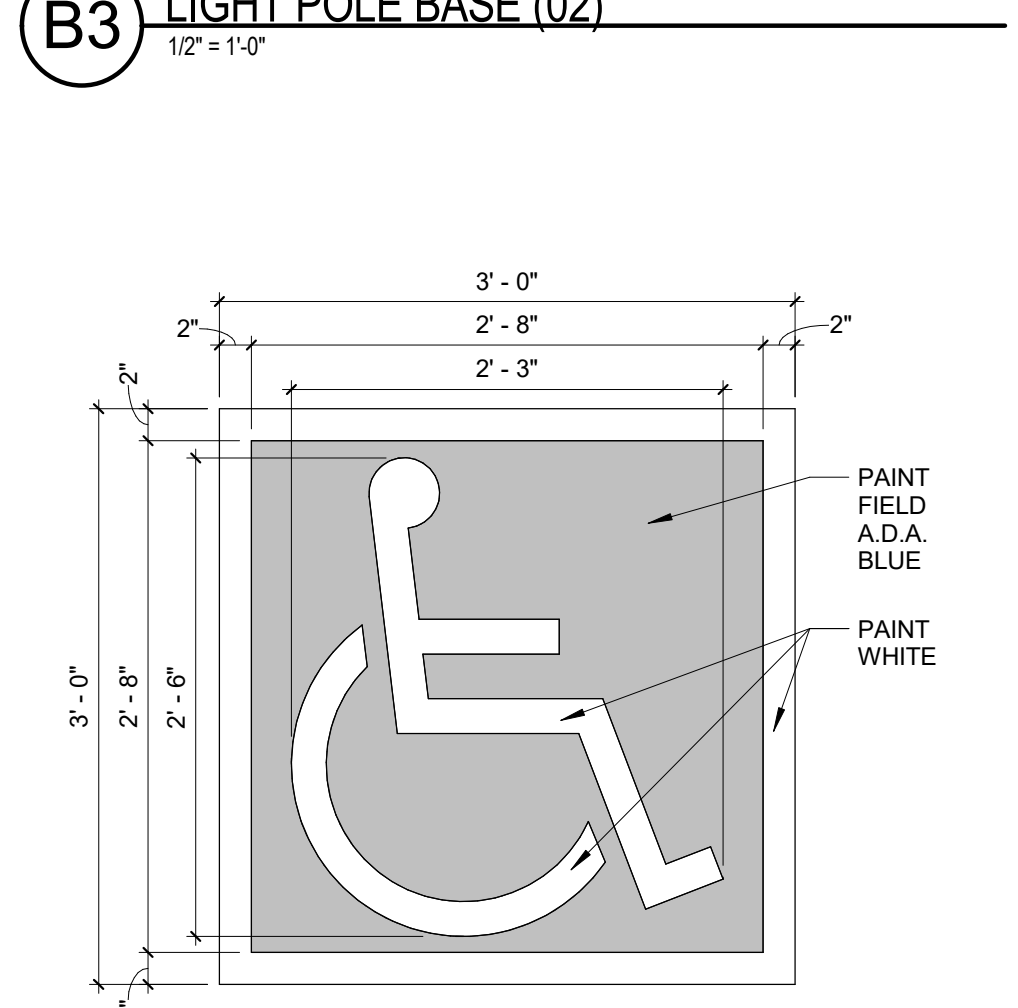
B4 GATE POST DETAIL
1/2" = 1'-0"



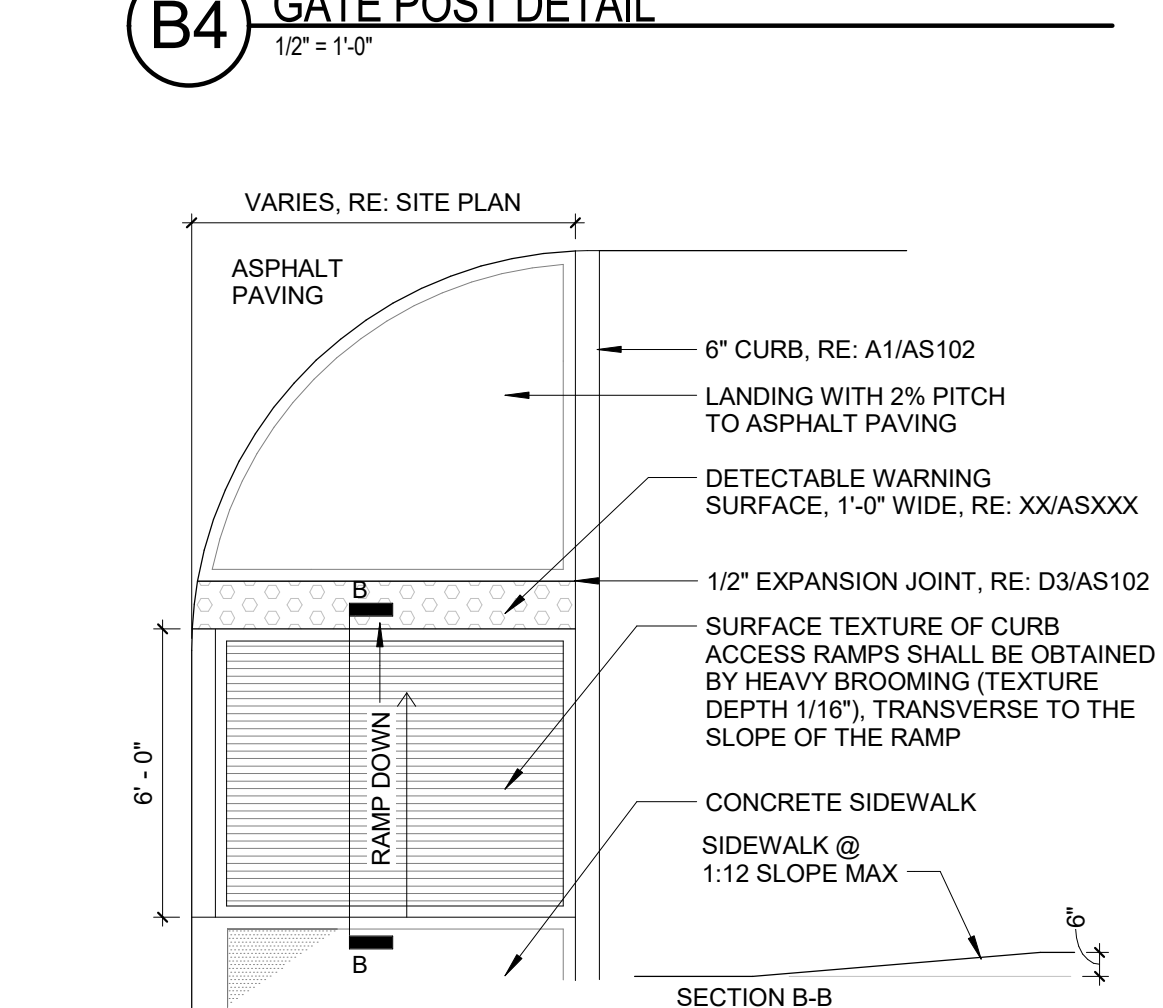
A1 ACCESSIBLE RAMP
1/4" = 1'-0"



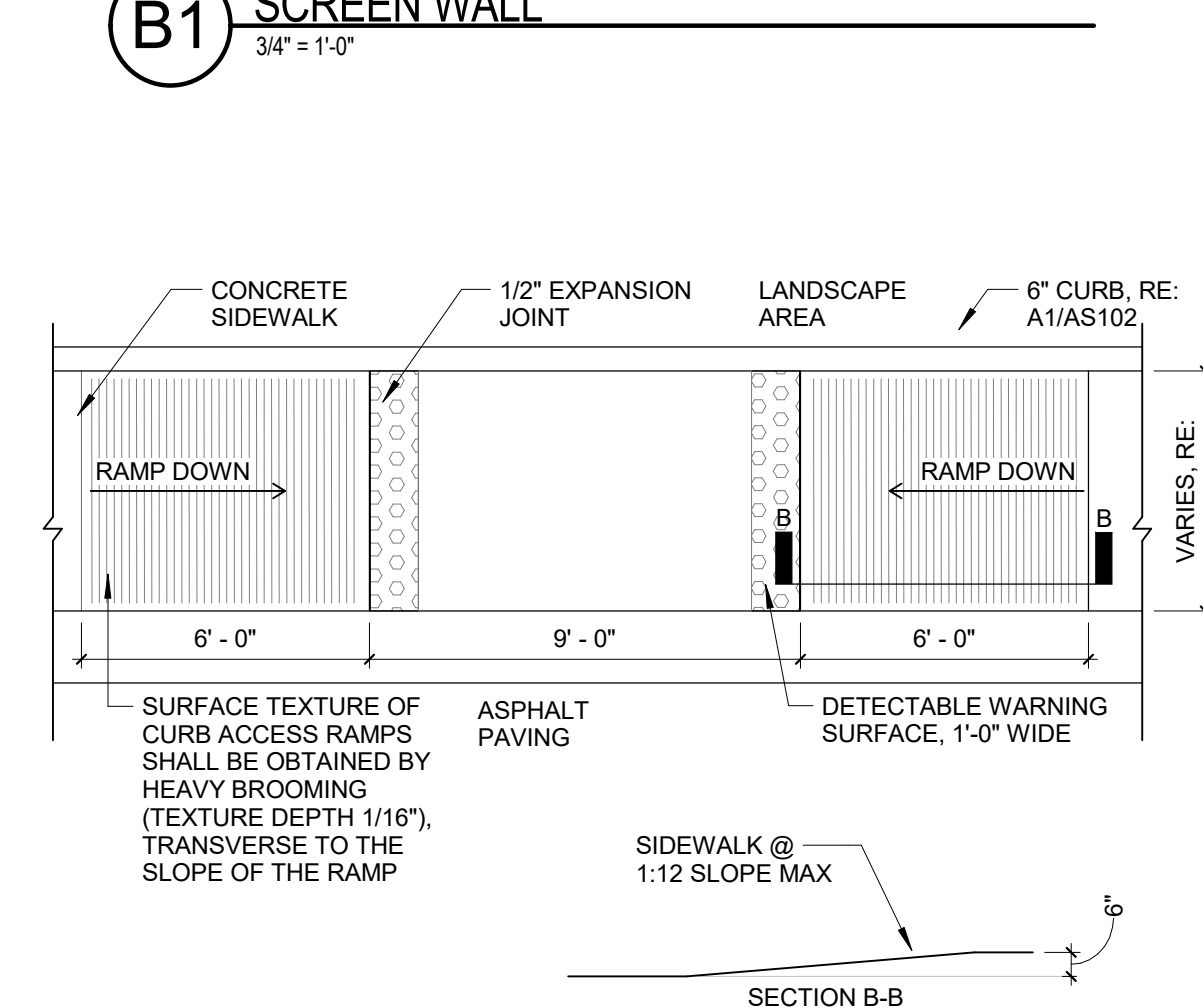
A2 DETECTABLE/TACTILE WARNING SURFACE TILE
1" = 1'-0"



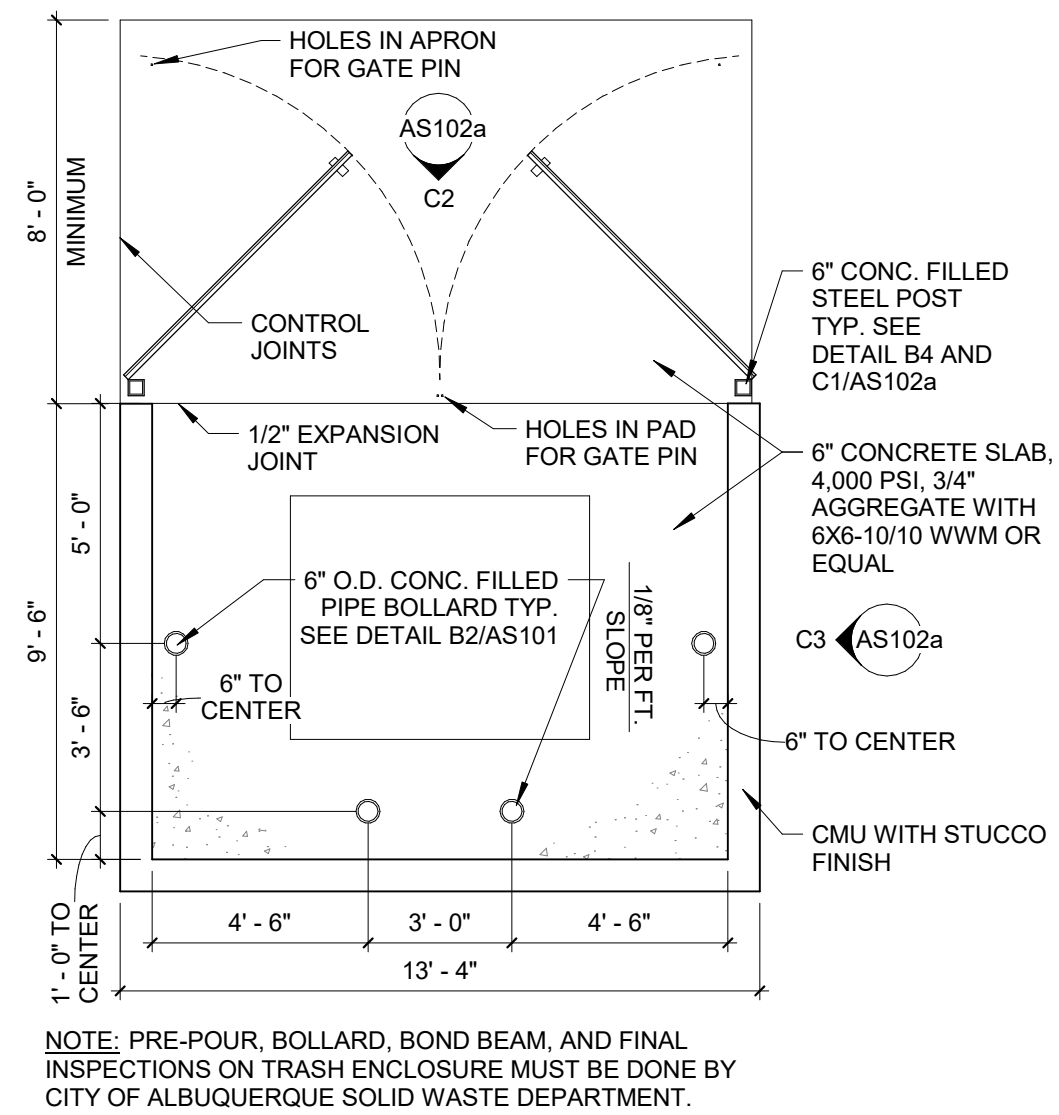
A3 A.D.A. PARKING SPACE PAVEMENT SIGNAGE
1" = 1'-0"



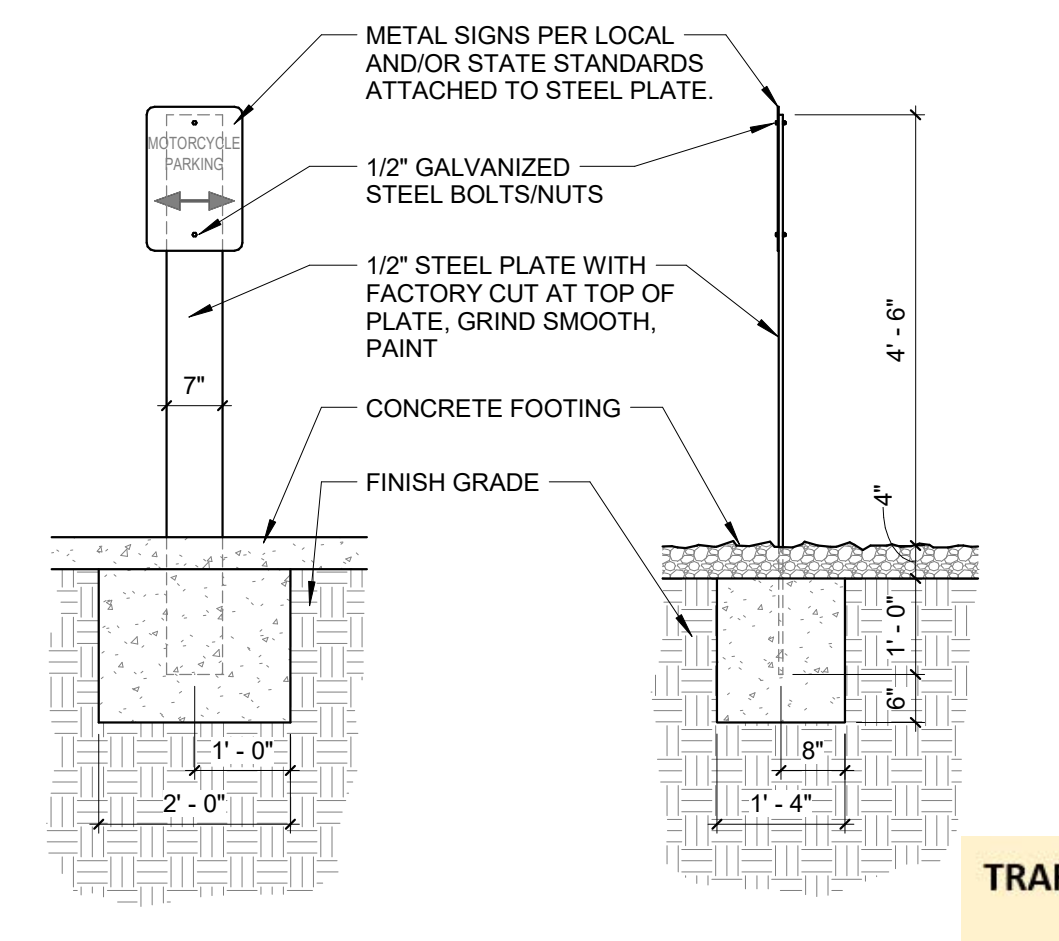
A4 ACCESSIBLE RAMP 02
1/4" = 1'-0"



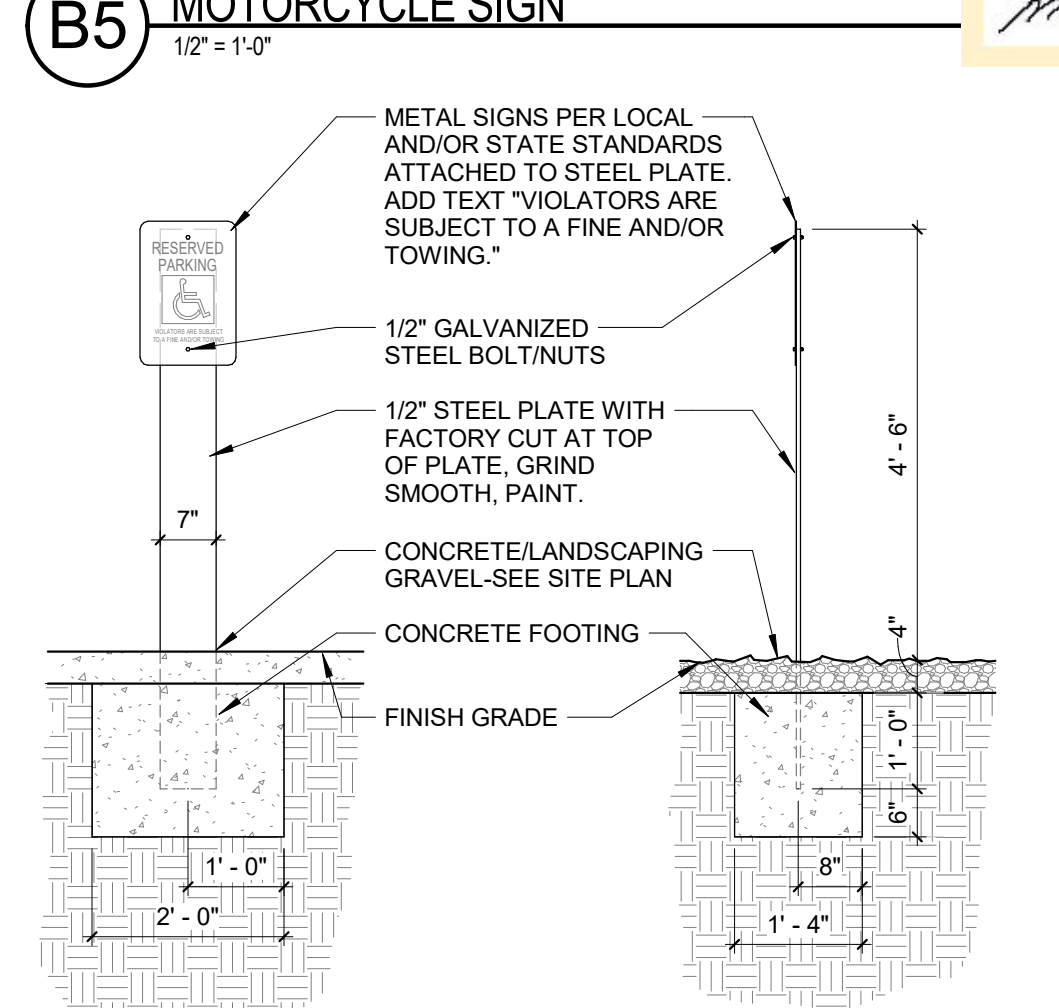
A5 ACCESSIBLE PARK SIGN
1/2" = 1'-0"



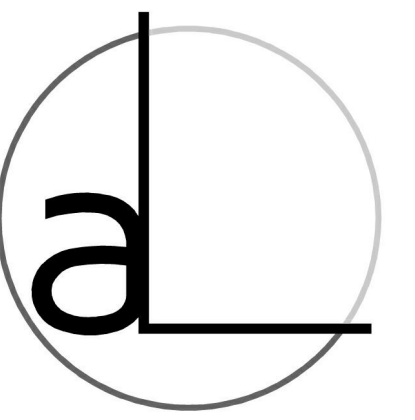
C5 TRASH ENCLOSURE
1/4" = 1'-0"



B5 MOTORCYCLE SIGN
1/2" = 1'-0"

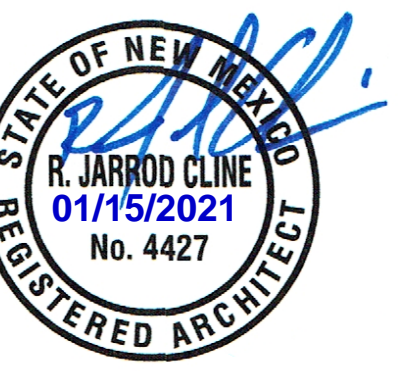


A5 ACCESSIBLE PARK SIGN
1/2" = 1'-0"



arcLINE
Architectural Design LLC
PO Box 91462
Albuquerque
New Mexico 87199
P 505.681.7274
www.arcLINE-arch.com

ARCHITECT/ENGINEER



Palomas Peak Ph. 2 Office Development
8300 Palomas Ave. NE
Albuquerque, NM 87109

TRAFFIC CIRCULATION LAYOUT APPROVED
M. P. R.E. 2/19/2021

| REV | DATE | DESCRIPTION |
|-----|------|-------------|
|-----|------|-------------|

DATE 01-15-2021

PROJECT NO. 20-025

DRAWING NAME

SITE DETAILS

SHEET NO.

AS102a