

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

February 19, 2021

Ron Hensley, P.E.
THE Group
300 Branding Iron Rd. SE
Rio Rancho, NM 87124

**RE: Palomas Peak Phase 2
Grading and Drainage Plan
Engineer's Stamp Date: 02/09/21
Hydrology File: D19D031**

Dear Mr. Hensley:

Based upon the information provided in your submittal received 02/10/2021, the Grading and Drainage Plan **is not** approved for action by the DRB for Site Plan for Building Permit. The following comments need to be addressed for approval of the above referenced project:

1. Sheet 1. Please label all the adjacent lots and the project lot. The lot to the east is missed labeled.
2. Sheet 1. I am not following what the two inlets with the 36-in storm pipe is doing. It is not connected to the detention pond. Please elaborate what this is doing and how it is connecting to the detention pond.
3. Sheet 1. Again, I am not following what the 42-in storm pipe is doing. Please elaborate the function of this pipe since it appears that there is nothing connected to it.
4. Sheet 1. Please take off the word "Temporary" for the detention pond. This can be reshaped during the Phase 2 design, but a detention pond will still be needed after the Phase 2 design.
5. Sheet 1. The label for the pond view on Sheet 2 is not the correct drafting standard. What you have shown is a section label. Please correct. Typically, this is just done by a note.
6. Sheet 1. Please label the existing retaining wall built in Phase 1 with the existing top of wall. Then ass the top of the new wall course that you are extending upward. Also I need you to label where the new retaining wall is starting with the top of the wall elevations all around the wall.

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7. Sheet 2. Section 1. This section seems to be incomplete. It really seems irrelevant as shown. Please fix or delete.
8. Sheet 2. Pond Detail 4. Please flip the section arrow for Section 6, since it should be facing the retaining wall.
9. Sheet 2. Section 5. This section is incorrect. The section needs to not only show the existing retaining wall built in Phase 1, but the extension of that wall here in Phase 2, the bottom of the detention pond, the proposed retaining wall (Section 7), and the 100 year – 24 hr water surface elevation. Along with some horizontal dimensions.
10. Sheet 2. Section 6. Please show the existing section of retaining wall that was built with Phase 1 and a new built portion since you are extending the wall up.
11. Sheet 2. Section 7. Please correct the section label. Also, please show the 36-in storm sewer in the sections since it appears to be installed right up against the retaining wall.
12. Sheet 2. Section 7. Please correct the section label.
13. Sheet 2. Please add a detail showing how the two inlets with the 36-in storm pipe system is connecting to the detention pond.
14. As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.
15. Standard review fee of \$300 (for DRB Site) will be required at the time of resubmittal.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

Project Title: PALOMAS PEAK PHASE 2 **Building Permit #:** _____ **Hydrology File #:** D19D031
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: Lots 13 and 14 Block 22, Tract A – Unit A, North Albuquerque Acres
City Address: 8301 Palomas Avenue NE

Applicant: THE Group **Contact:** Ron Hensley
Address: 300 Branding Iron Rd. SE, Rio Rancho, NM 87124
Phone#: 505-410-1622 **Fax#:** _____ **E-mail:** ron@thegroup.cc
Owner: Hagen Properties LLC **Contact:** Eric Tidmore
Address: PO Box 10837
Phone#: 505-459-1969 **Fax#:** _____ **E-mail:** ericwtidmore@gmail.com

TYPE OF SUBMITTAL: _____ PLAT (____# OF LOTS) _____ RESIDENCE _____ DRB SITE ☒ ADMIN SITE

IS THIS A RESUBMITTAL?: _____ Yes ☒ No

DEPARTMENT: _____ TRAFFIC/ TRANSPORTATION ☒ HYDROLOGY/ DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

_____ ENGINEER/ARCHITECT CERTIFICATION
_____ PAD CERTIFICATION
_____ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
_____ DRAINAGE MASTER PLAN
_____ DRAINAGE REPORT
_____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
_____ ELEVATION CERTIFICATE
_____ CLOMR/LOMR
_____ TRAFFIC CIRCULATION LAYOUT (TCL)
_____ TRAFFIC IMPACT STUDY (TIS)
_____ OTHER (SPECIFY) _____
_____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

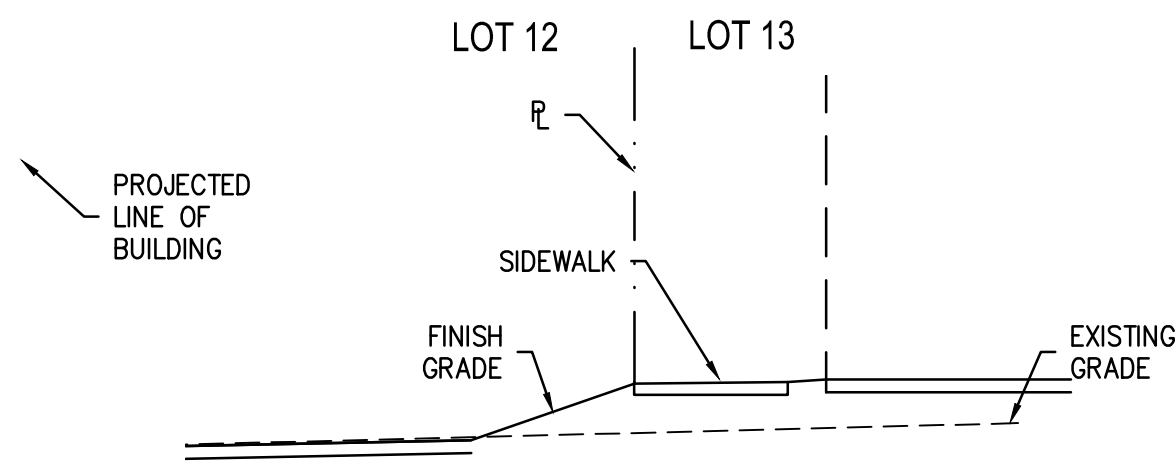
_____ BUILDING PERMIT APPROVAL
_____ CERTIFICATE OF OCCUPANCY
_____ PRELIMINARY PLAT APPROVAL
☒ SITE PLAN FOR SUB'D APPROVAL
☒ SITE PLAN FOR BLDG. PERMIT APPROVAL
_____ FINAL PLAT APPROVAL
_____ SIA/ RELEASE OF FINANCIAL GUARANTEE
_____ FOUNDATION PERMIT APPROVAL
_____ GRADING PERMIT APPROVAL
_____ SO-19 APPROVAL
_____ PAVING PERMIT APPROVAL
_____ GRADING/ PAD CERTIFICATION
_____ WORK ORDER APPROVAL
_____ CLOMR/LOMR
_____ FLOODPLAIN DEVELOPMENT PERMIT
_____ OTHER (SPECIFY) _____

DATE SUBMITTED: 2/09/21 **By:** THE Group / Ron Hensley

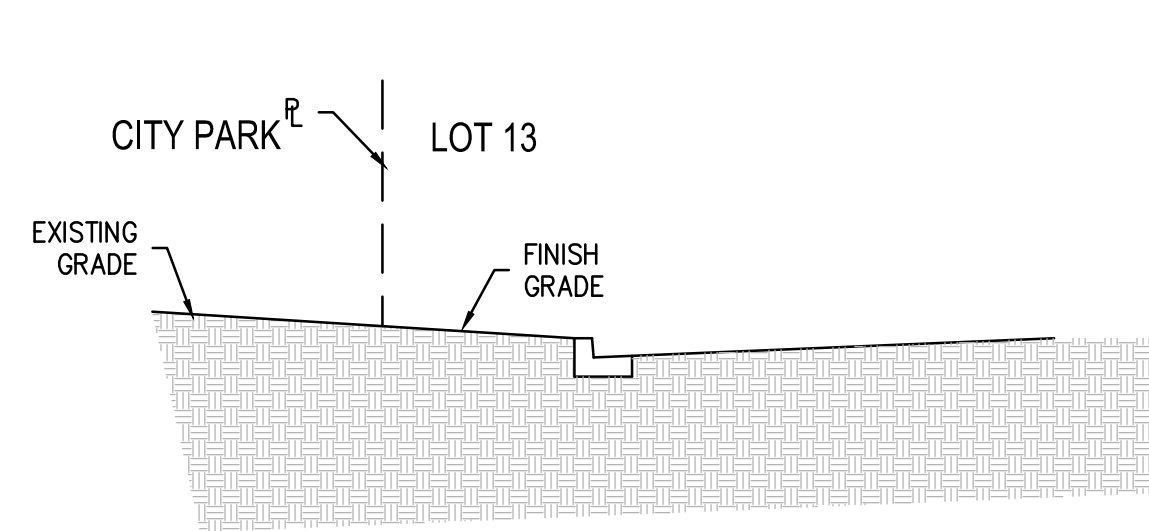
COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

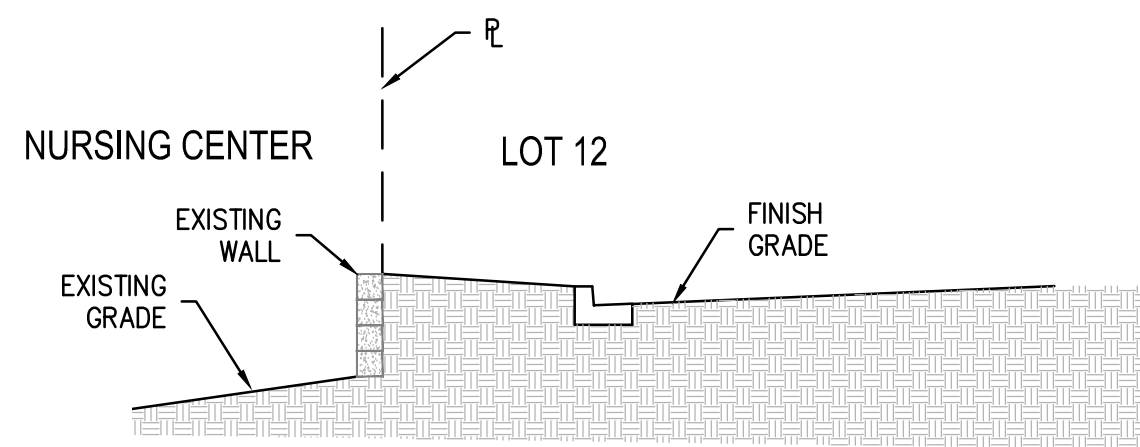
FEE PAID: _____



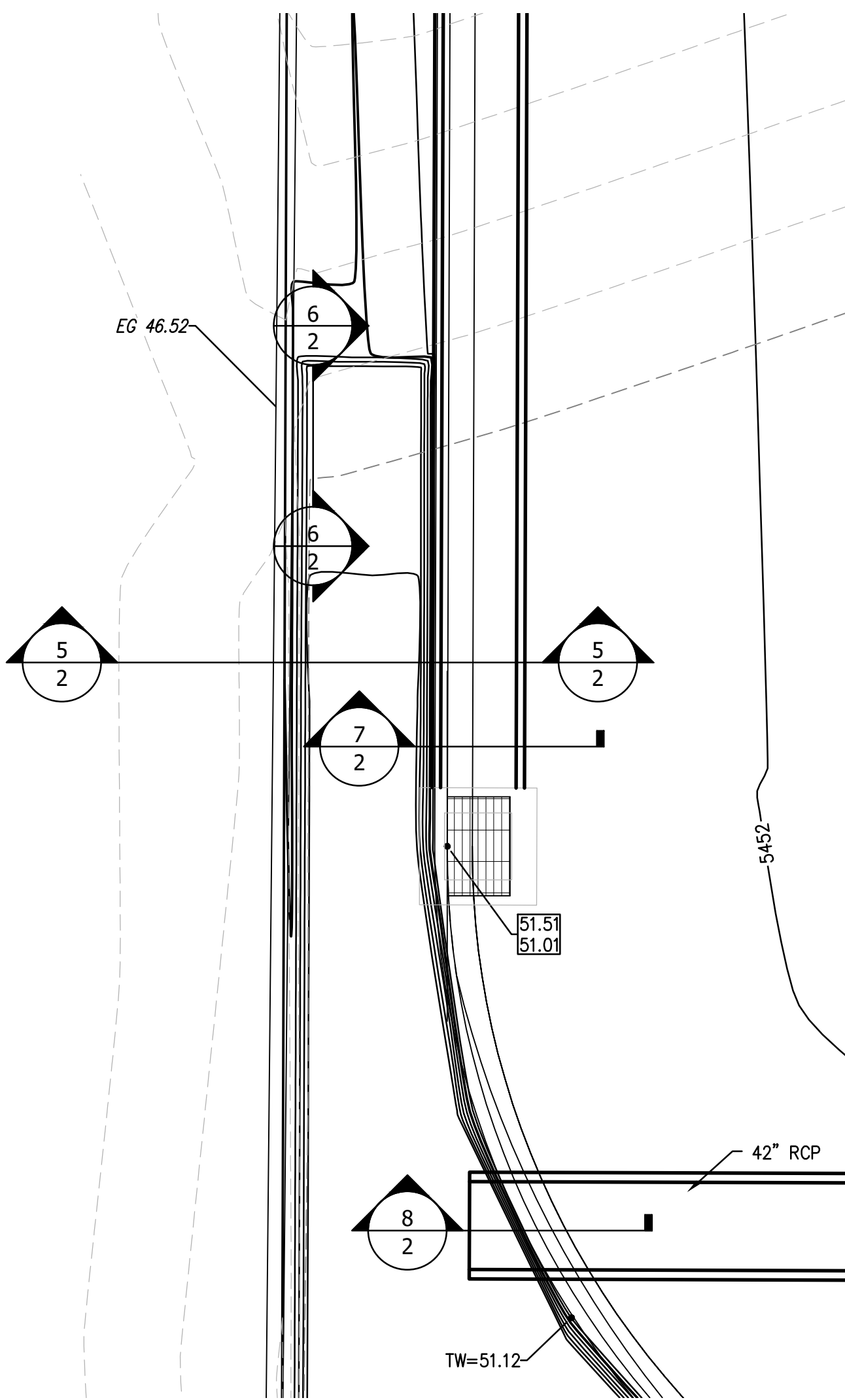
1 SECTION AT PROPERTY LINE
Scale: 1"=5'



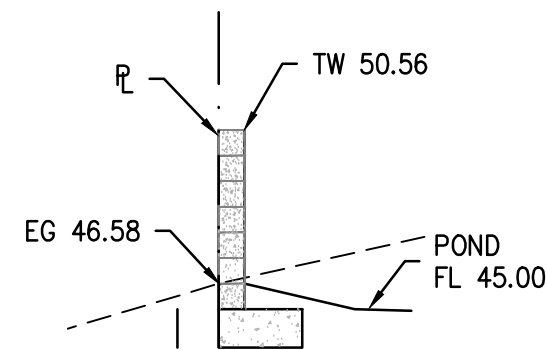
2 SECTION AT PROPERTY LINE
Scale: 1"=5'



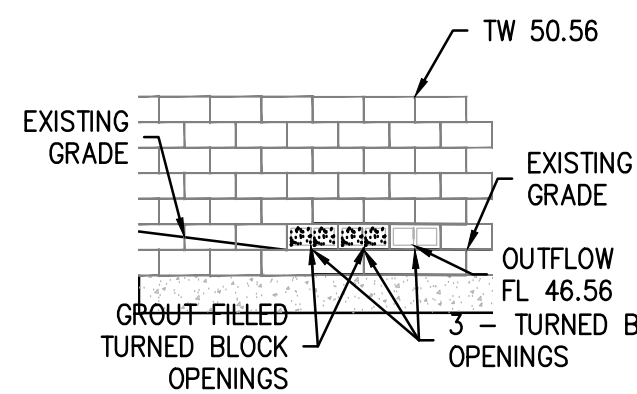
3 SECTION AT PROPERTY LINE
Scale: 1"=5'



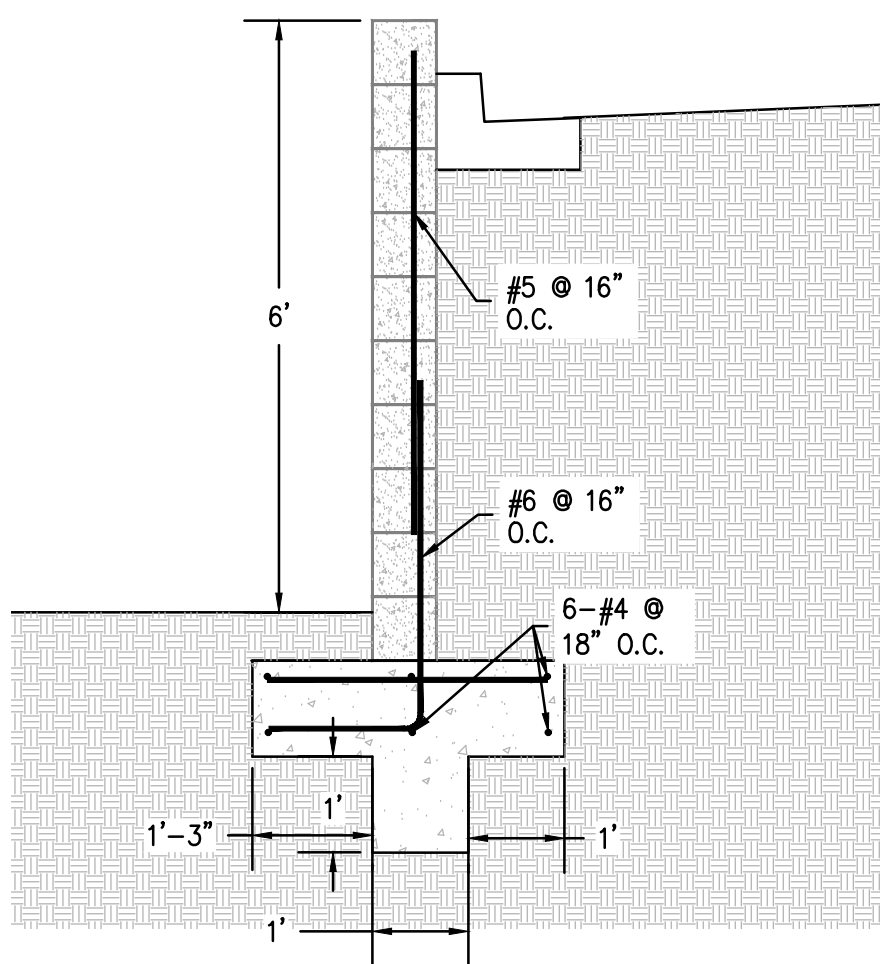
4 SITE DISCHARGE DETAIL
Scale: 1"=5'



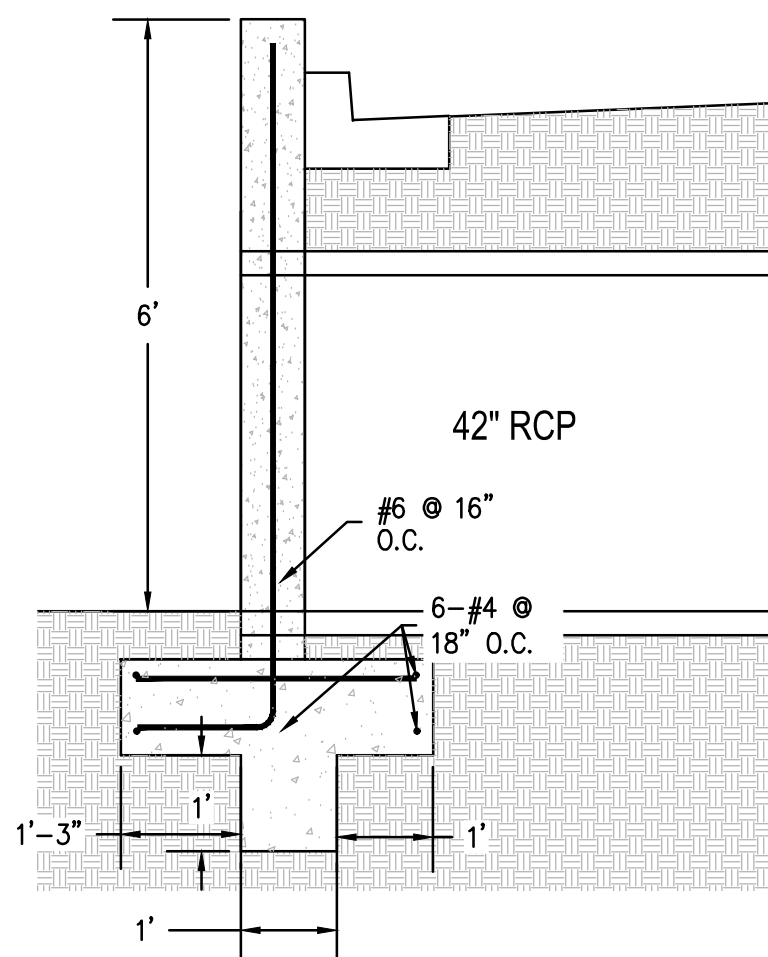
5 CMU WALL SECTION
Scale: 1"=5'



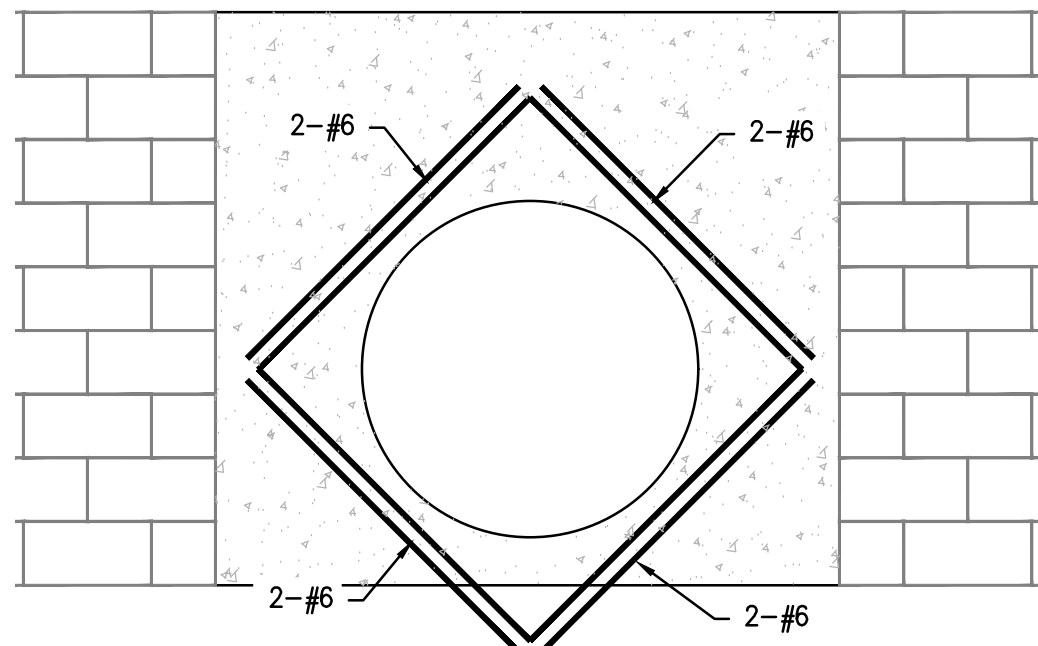
6 CMU WALL ELEVATION
Scale: 1"=5'



6 CMU POND WALL SECTION
Scale: 1"=5'



6 PCC POND WALL SECTION
Scale: 1"=5'



6 PCC POND WALL ELEVATION
Scale: 1"=5'

AHYMO DRAINAGE CALCUATIONS

* Project PALOMAS
* PROPOSED Conditions
* 100 YEAR 24 HOUR RAINFALL TABLE
RAINFALL TYPE=2 RAIN QUARTER=0
RAIN ONE=1.87 IN RAIN SIX=2.20 IN
RAIN DAY=2.66 IN DT=0.03333 HRS

*S COMPUTE HYD BASIN X1
COMPUTE NM HYD ID=1 HYDNO=101 AREA=0.00415 SQ MI
PER A=0 PER B=100 PER C=0 PER D=0
TP= 1667 HR MASS RAIN=-1
ID=1 CODE=5

PRINT HYD

*
*S COMPUTE HYD BASIN P1
COMPUTE NM HYD ID=1 HYDNO=101 AREA=0.00138 SQ MI
PER A=0 PER B=100 PER C=0 PER D=0
TP= 1667 HR MASS RAIN=-1
ID=1 CODE=5

PRINT HYD

*
*S COMPUTE HYD BASIN P2
COMPUTE NM HYD ID=2 HYDNO=101 AREA=0.00277 SQ MI
PER A=0 PER B=0 PER C=15 PER D=85
TP= 1667 HR MASS RAIN=-1
ID=2 CODE=5

PRINT HYD

*
ADD HYD ID=1 ID=2
PRINT HYD ID=3 CODE=5

*CHURCH TEMP RETENTION POND

ROUTE RESERVOIR	ID=20 HYD=301	INFLOW	ID=3 CODE=5	
	OUTFLOW	STORAGE	ELEV	
	(CFS)	(AC-FT)	(FT)	
0.01	0.0200	5446.56		
0.12	0.0252	5446.7		
0.33	0.0290	5446.8		
0.57	0.0329	5446.9		
0.86	0.0372	5447		
2.38	0.0530	5447.5		
2.97	0.0734	5448		
	3.45	0.0927	5448.5	
3.89	0.1092	5449		
	4.28	0.1205	5449.5	
4.63	0.1287	5450		
	4.96	0.1386	5450.5	

PRINT HYD ID=20 CODE=5

FINISH

COMMAND	HYDROGRAPH IDENTIFICATION	FROM NO.	TO NO.	AREA (SQ MI)	PEAK DISCHARGE (CFS)	RUNOFF VOLUME (AC-FT)	RUNOFF (INCHES)	TIME TO PEAK (HOURS)	CFS PER ACRE	NOTATION
RAIN24= 2.660										
RAINFALL TYPE= 2 NDAA 14										
*S COMPUTE HYD BASIN X1										
COMPUTE NM HYD	101.00	-	1	0.00415	5.72	0.186	0.83871	1.567	2.152	PER IMP= 0.00
*S COMPUTE HYD BASIN P1										
COMPUTE NM HYD	101.00	-	1	0.00138	1.91	0.062	0.83871	1.567	2.160	PER IMP= 0.00
*S COMPUTE HYD BASIN P2										
COMPUTE NM HYD	101.00	-	2	0.00277	7.02	0.327	2.21416	1.567	3.963	PER IMP= 85.00
ADD HYD	501.00	1& 2	3	0.00415	8.93	0.389	1.75669	1.567	3.363	
ROUTE RESERVOIR	301.00	3	20	0.00415	4.77	0.389	1.75566	1.733	1.794	AC-FT= 0.133
FINISH										

AS BUILT INFORMATION			
CONTRACTOR	DATE	INSPECTOR'S	DATE
STAKED BY	DATE	FIELD CHANGE BY	DATE
VERIFICATION BY	DATE	CORRECTED BY	DATE
MICRO-FILM INFORMATION			
RECORDED BY	DATE	NO.	

BENCH MARKS			
ACS BM 20-C18 ON WYOMING BOULEVARD NE, TURN LEFT AND TRAVEL NORTH ON WYOMING BOULEVARD 1.0 MILES TO MODESTO AVENUE NE. THE BENCHMARK IS A 1.3/4" METALLIC DISK EXPOSED TO THE TOP OF THE WEST BACK OF CURB OF WYOMING BOULEVARD, NORTH OF THE APPROXIMATE CENTERLINE OF MODESTO AVENUE, 19.0 FEET NORTHWEST OF A STORM SEWER MANHOLE LID, STAMPED "ACS BM 20-C18" 1989" X=1547745.03 Y=1547745.68 (NAD 83)	DATE	BY	

SURVEY INFORMATION			
NO.	DATE	BY	

ENGINEER'S SEAL			
RON E. HENSLEY	NEW MEXICO	21850	FEB. 9, 2021

REVISIONS			
NO.	DATE	REMARKS	BY
DESIGNED BY	REH	DATE NOV. 2020	
DRAWN BY	REH	DATE DEC. 2020	
CHECKED BY	REH	DATE JAN. 2020	

THE Group
300 Branding Iron Rd. SE
Rio Rancho, New Mexico 87124
Phone:(505)514-0995

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

PALOMAS PEAK
LOTS 12 AND 13, 8301 PALOMAS AVENUE
GRADING & DRAINAGE PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	LAST DESIGN UPDATE	Mo./DAY/YR.	Mo./DAY/YR.