

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

October 21, 2019

Ron Hensley, P.E.
THE Group
300 Branding Iron Rd. SE
Rio Rancho, NM 87124

**RE: Palomas Peak
Grading and Drainage Plan
Engineer's Stamp Date: 10/07/19
Hydrology File: D19D031**

Dear Mr. Hensley:

Based upon the information provided in your submittal received 10/09/2019, the Grading and Drainage Plan **is not** approved for action by the DRB for Site Plan for Building Permit. The following comments need to be addressed for approval of the above referenced project:

1. Sheet 1. Please provide a description of the property to the South.
2. Sheet 1. Please provide the weir calculations, per DPM Chapter 22.3.A.1, for the 3 feet weir for the detention pond outfall. A coefficient of 2.7 is typically used for the weir equation $Q = CLH^{2/3}$. Please note that this should be at least the 3.49 cfs rate as described in the Developed Conditions.
3. Sheet 1. Please either a routing program or use the Hydrograph for Small Watershed found in the DPM to size the detention pond.
4. Sheet 1. Please take off the word "Temporary" for the detention pond. This can be reshaped during the Phase 2 design, but a detention pond will still be needed after the Phase 2 design.
5. Sheet 2. All sections shown need to be flipped and follow the section arrow that shows the view.
6. Sheet 2. Section 1. Please extend the property line further up and then add arrows on either side of the property line. Then add labels for Lot 14 and Villa Palmar Subdivision.



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

Project Title: PALOMAS PEAK **Building Permit #:** _____ **Hydrology File #:** D19
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: Lots 13 and 14 Block 22, Tract A – Unit A, North Albuquerque Acres
City Address: 8301 Palomas Avenue NE

Applicant: THE Group **Contact:** Ron Hensley
Address: 300 Branding Iron Rd. SE, Rio Rancho, NM 87124
Phone#: 505-410-1622 **Fax#:** _____ **E-mail:** ron@thegroup.cc
Owner: Hagen Properties LLC **Contact:** Eric Tidmore
Address: PO Box 10837
Phone#: 505-459-1969 **Fax#:** _____ **E-mail:** ericwtidmore@gmail.com

TYPE OF SUBMITTAL: _____ PLAT (30 # OF LOTS) _____ RESIDENCE _____ DRB SITE ☒ ADMIN SITE

IS THIS A RESUBMITTAL?: _____ Yes ☒ No

DEPARTMENT: _____ TRAFFIC/ TRANSPORTATION ☒ HYDROLOGY/ DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

_____ ENGINEER/ARCHITECT CERTIFICATION
_____ PAD CERTIFICATION
_____ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
_____ DRAINAGE MASTER PLAN
_____ DRAINAGE REPORT
_____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
_____ ELEVATION CERTIFICATE
_____ CLOMR/LOMR
_____ TRAFFIC CIRCULATION LAYOUT (TCL)
_____ TRAFFIC IMPACT STUDY (TIS)
_____ OTHER (SPECIFY) _____
_____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

_____ BUILDING PERMIT APPROVAL
_____ CERTIFICATE OF OCCUPANCY
_____ PRELIMINARY PLAT APPROVAL
☒ SITE PLAN FOR SUB'D APPROVAL
☒ SITE PLAN FOR BLDG. PERMIT APPROVAL
_____ FINAL PLAT APPROVAL
_____ SIA/ RELEASE OF FINANCIAL GUARANTEE
_____ FOUNDATION PERMIT APPROVAL
_____ GRADING PERMIT APPROVAL
_____ SO-19 APPROVAL
_____ PAVING PERMIT APPROVAL
_____ GRADING/ PAD CERTIFICATION
_____ WORK ORDER APPROVAL
_____ CLOMR/LOMR
_____ FLOODPLAIN DEVELOPMENT PERMIT
_____ OTHER (SPECIFY) _____

DATE SUBMITTED: 10/7/19 **By:** THE Group / Ron Hensley

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____



The **H**ENSLEY **E**NGINEERING **G**ROUP

October 7, 2019

Hydrology Development
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

Re: Palomas Peak – Grading and Drainage Plan

We are requesting a review of the attached documents in support of the Building Permit of the Palomas Peak Office Offices. The site is “Lots 13 and 14 Block 22, Tract A – Unit A” and is located at 8301 Palomas Avenue NE. The plan covers the impact of the development. We are requesting a review for compliance with City requirements.

Please contact me at 410-1622 or via email if you have any questions or comments.

Sincerely,

Ron E. Hensley P.E.
ron@thegroup.cc

LOCATION & DESCRIPTION

FLOODPLAIN STATUS

METHODOLOGY

PRECIPITATION

EXISTING DRAINAGE

DEVELOPED CONDITION

HYDROLOGIC DATA – EXISTING

HYDROLOGIC DATA – DEVELOPED

FIRM MAP NO. 35001C0141G

VICINITY MAP D-19-Z



LEGAL DESCRIPTION

LEGEND

- ## NOTES

GENERAL NOTES:

- ### EROSION CONTROL NOTES

- ENGINEER'S SEAL
-
- RON E. HENSLEY
NEW MEXICO
21850
Professional Engineer
OCT. 7, 2019

THE Group

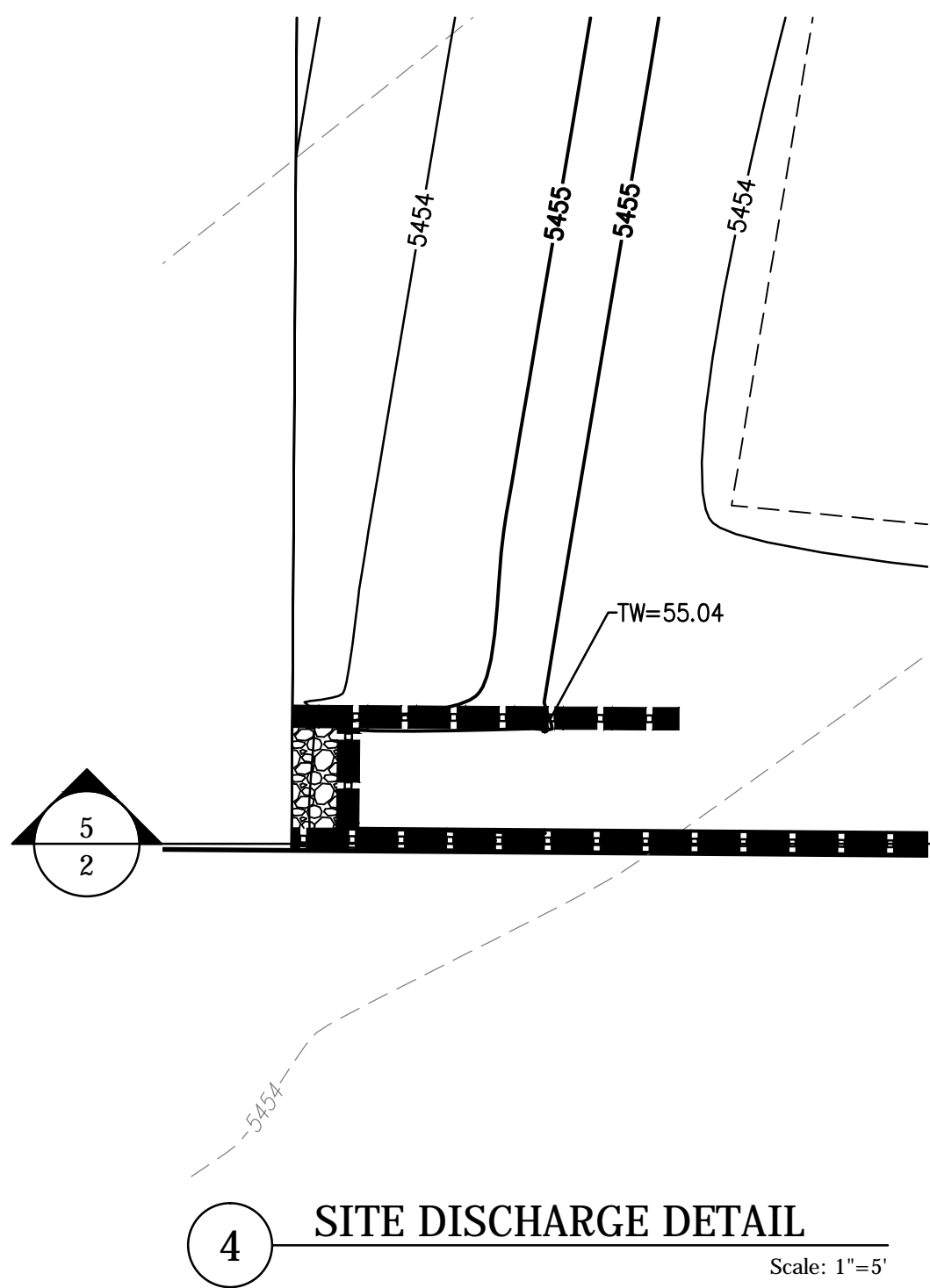
Phone:(505)514-0995

PALOMAS PEAK
LOTS 13 AND 14, 8301 PALOMAS AVENUE
GRADING & DRAINAGE PLAN

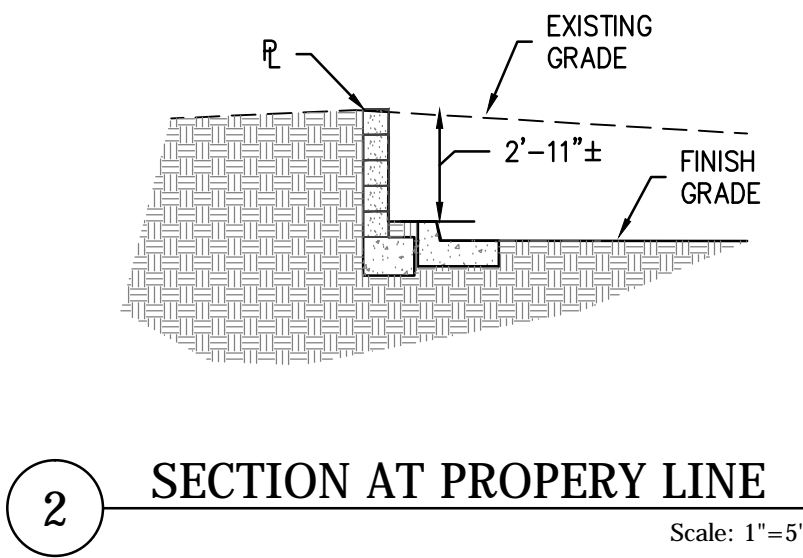
CITY PROJECT No.

ZONE MAP NO.
D-19-Z

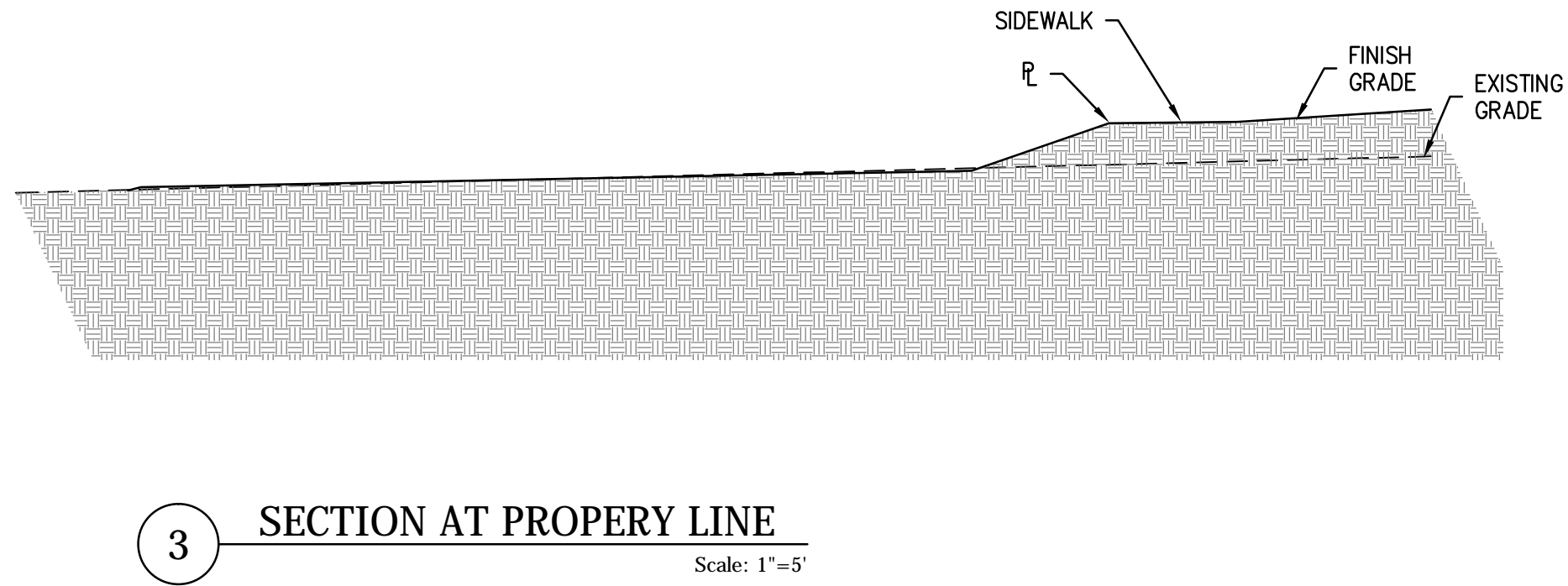
SHEET **1** OF **2**



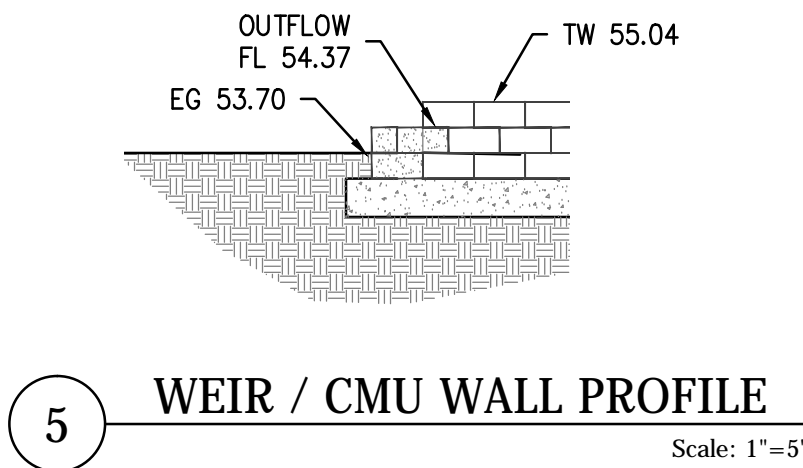
1 SECTION AT PROPERTY LINE
Scale: 1"=5'




2 SECTION AT PROPERTY LINE
Scale: 1"=5'



3 SECTION AT PROPERTY LINE
Scale: 1"=5'



5 WEIR / CMU WALL PROFILE
Scale: 1"=5'

ENGINEER'S SEAL		SURVEY INFORMATION		BENCH MARKS		AS BUILT INFORMATION					
	NO.	FIELD NOTES		DATE	BY	CONTRACTOR	DATE				
		NO.									
		REVISIONS									
		DESIGN									
		MICRO-FILM INFORMATION									
DESIGNED BY		REH		DATE NOV. 2015		RECORDED BY					
DRAWN BY		REH		DATE FEB. 2016		CHECKED BY					
CHECKED BY		REH		DATE FEB. 2016		NO.					
				"ACS BM 20-C18" ON WYOMING BOULEVARD NE, TURN LEFT AND TRAVEL NORTH ON WYOMING BOULEVARD 1.0 MILES TO MODESTO AVENUE NE. THE BENCHMARK IS A 1 3/4" METALLIC DISK EPOXIED TO THE TOP OF THE WEST BACK OF CURB OF WYOMING BOULEVARD, NORTH OF THE APPROXIMATE CENTERLINE OF MODESTO AVENUE, 19.0 FEET NORTHWEST OF A STORM SEWER MANHOLE LID, STAMPED "ACS BM 20-C18", 1989" X=1547745.03 Y=1547745.68 (NAD 83)		ELEV=5393.48 (NAD 1988)					

THE Group
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Rio Rancho, New Mexico 87124
Phone:(505)514-0995

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

PALOMAS PEAK
LOTS 13 AMD 14, 8301 PALOMAS AVENUE
GRADING & DRAINAGE PLAN

DESIGN REVIEW COMMITTEE

CITY ENGINEER APPROVAL

CITY PROJECT No.

ZONE MAP NO.
D-19-2

LAST DESIGN UPDATE

SHEET **2** OF **2**

Mo./DAY/YR.

Mo./DAY/YR.