# CITY OF ALBUQUERQUE

*Planning Department* Brennon Williams, Director



Mayor Timothy M. Keller

October 21, 2019

Ron Hensley, P.E. THE Group 300 Branding Iron Rd. SE Rio Rancho, NM 87124

RE: Palomas Peak Grading and Drainage Plan Engineer's Stamp Date: 10/07/19 Hydrology File: D19D031

Dear Mr. Hensley:

PO Box1293 Based upon the information provided in your submittal received 10/09/2019, the Grading and Drainage Plan **is not** approved for action by the DRB for Site Plan for Building Permit. The following comments need to be addressed for approval of the above referenced project:

Albuquerque

- 1. Sheet 1. Please provide a description of the property to the South.
- <sup>NM 87103</sup> 2. Sheet 1. Please provide the weir calculations, per DPM Chapter 22.3.A.1, for the 3 feet weir for the detention pond outfall. A coefficient of 2.7 is typically used for the weir equation  $Q = CLH^{2/3}$ . Please note that this should be at least the 3.49 cfs rate as described in the Developed Conditions.
  - 3. Sheet 1. Please either a routing program or use the Hydrograph for Small Watershed found in the DPM to size the detention pond.
  - 4. Sheet 1. Please take off the word "Temporary" for the detention pond. This can be reshaped during the Phase 2 design, but a detention pond will still be needed after the Phase 2 design.
  - 5. Sheet 2. All sections shown need to be flipped and follow the section arrow that shows the view.
  - 6. Sheet 2. Section 1. Please extend the property line further up and then add arrows on either side of the property line. Then add labels for Lot 14 and Villa Palmar Subdivision.



## City of Albuquerque

Planning Department Development & Building Services Division DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

Project Title: PALOMAS PEAK	Building P	Permit #: Hydrology File #: D19
DRB#:	EPC#:	Work Order#:
Legal Description: Lots 13 and 14 Bloc		
City Address: 8301 Palomas Avenue NE		
-		
Applicant: THE Group		Contact: Ron Hensley
Address: 300 Branding Iron Rd. SE, Rio Ra		
Phone#: <u>505-410-1622</u>	Fax#:	E-mail: ron@thegroup.cc
Owner: Hagen Properties LLC		Contact: Eric Tidmore
Address: PO Box 10837		
Phone#: <u>505-459-1969</u>	Fax#:	E-mail: ericwtidmore@gmail.com
TYPE OF SUBMITTAL:       PLAT (         IS THIS A RESUBMITTAL?:	Yes	
Check all that Apply: <b>TYPE OF SUBMITTAL:</b> ENGINEER/ARCHITECT CERTIFI PAD CERTIFICATION CONCEPTUAL G & D PLAN GRADING PLAN DRAINAGE MASTER PLAN DRAINAGE REPORT FLOODPLAIN DEVELOPMENT PE ELEVATION CERTIFICATE CLOMR/LOMR TRAFFIC CIRCULATION LAYOU' TRAFFIC IMPACT STUDY (TIS) OTHER (SPECIFY) PRE-DESIGN MEETING?	RMIT APPLIC Г (TCL)	TYPE OF APPROVAL/ACCEPTANCE SOUGHT: BUILDING PERMIT APPROVAL CERTIFICATE OF OCCUPANCY PRELIMINARY PLAT APPROVAL SITE PLAN FOR SUB'D APPROVAL SITE PLAN FOR BLDG. PERMIT APPROVAL FINAL PLAT APPROVAL SIA/ RELEASE OF FINANCIAL GUARANTEE FOUNDATION PERMIT APPROVAL GRADING PERMIT APPROVAL SO-19 APPROVAL PAVING PERMIT APPROVAL GRADING/ PAD CERTIFICATION WORK ORDER APPROVAL CLOMR/LOMR FLOODPLAIN DEVELOPMENT PERMIT OTHER (SPECIFY)

DATE SUBMITTED: 10/7/19

By: THE Group / Ron Hensley

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED:

FEE PAID:



October 7, 2019

Hydrology Development City of Albuquerque PO Box 1293 Albuquerque, NM 87103

Re: Palomas Peak – Grading and Drainage Plan

We are requesting a review of the attached documents in support of the Building Permit of the Palomas Peak Office Offices. The site is "Lots 13 and 14 Block 22, Tract A – Unit A" and is located at 8301 Palomas Avenue NE. The plan covers the impact of the development. We are requesting a review for compliance with City requirements.

Please contact me at 410-1622 or via email if you have any questions or comments.

Sincerely,

mE formalay

Ron E. Hensley P.E. ron@thegroup.cc

#### **DRAINAGE INFORMATION** LOCATION & DESCRIPTION

THE PROPOSED SITE IS TWO NORTH ALBUQUERQUE ACRES LOTS ENCOMPASSING APPROXIMATELY 2 ACRES LOCATED ON THE SOUTH SIDE OF PALOMAS ROAD WEST OF WYOMING BLVD. AS SEEN ON THE VICINITY MAP. THE SITE IS UNDEVELOPED. THE ADJACENT PROPERTY TO THE WEST IS A RESIDENT NURSING FACILITY. TO THE EAST IS A SUBDIVISION OF EXISTING SINGLE FAMILY HOMES. THE PROPOSED DEVELOPMENT IS THE FIRST PHASE OF AN OFFICE COMPLEX DEVELOPMENT. FLOODPLAIN STATUS

# THIS PROJECT, AS SHOWN ON FEMA'S FLOOD INSURANCE RATE MAP 35001C0141 G, DATED 9/26/2008 IS NOT WITHIN A DESIGNATED 100-YEAR FLOODPLAIN. AN EXHIBIT WITH THE SITE SHOWN ON THE FIRM PANEL IS INCLUDED ON THIS SHEET.

#### METHODOLOGY

THE HYDROLOGY FOR THIS PROJECT WAS ANALYZED USING AHYMO SOFTWARE.

### PRECIPITATION

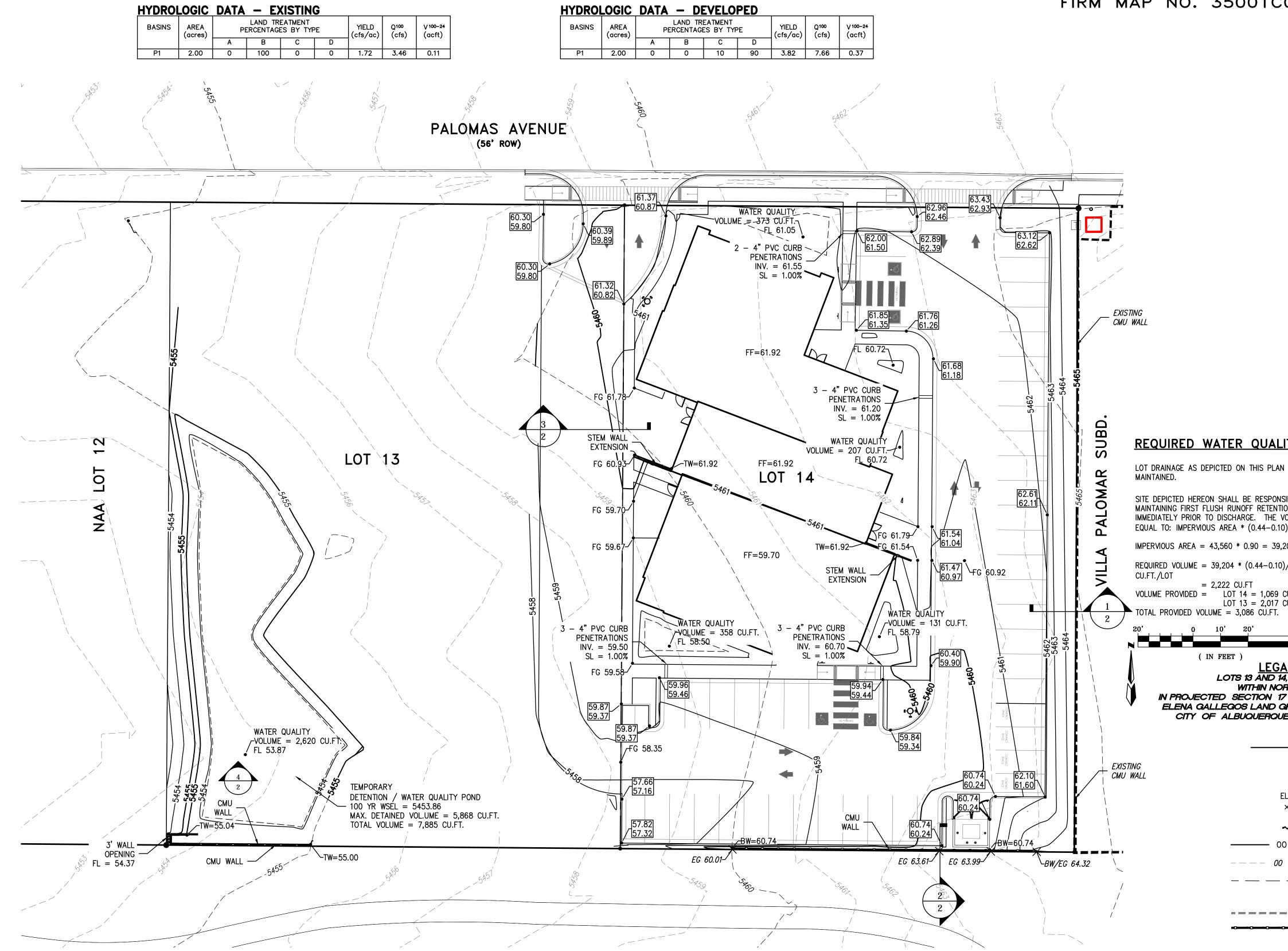
THE 100-YR 6-HR DURATION STORM WAS USED AS THE DESIGN STORM FOR THIS ANALYSIS. THIS SITE IS WITHIN ZONE 3 AS IDENTIFIED IN THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL, SECTION 22.2.

### EXISTING DRAINAGE

THE SITE CURRENTLY DISCHARGES RUNOFF TO LOT 12 AND THE SITE ADJACENT TO THE WEST. THE DRAINAGE PLAN FOR THE LAS PALOMAS NURSING CENTER (D19-D0122) PRESCRIBES A DISCHARGE HISTORIC FLOW OF 5.17 CFS (100YR-24HR) (1.72 CFS/AC.) ALLOWED TO FLOW THROUGH TO THE ARROYO WHICH LIES TO THE SOUTHWEST.

#### DEVELOPED CONDITION

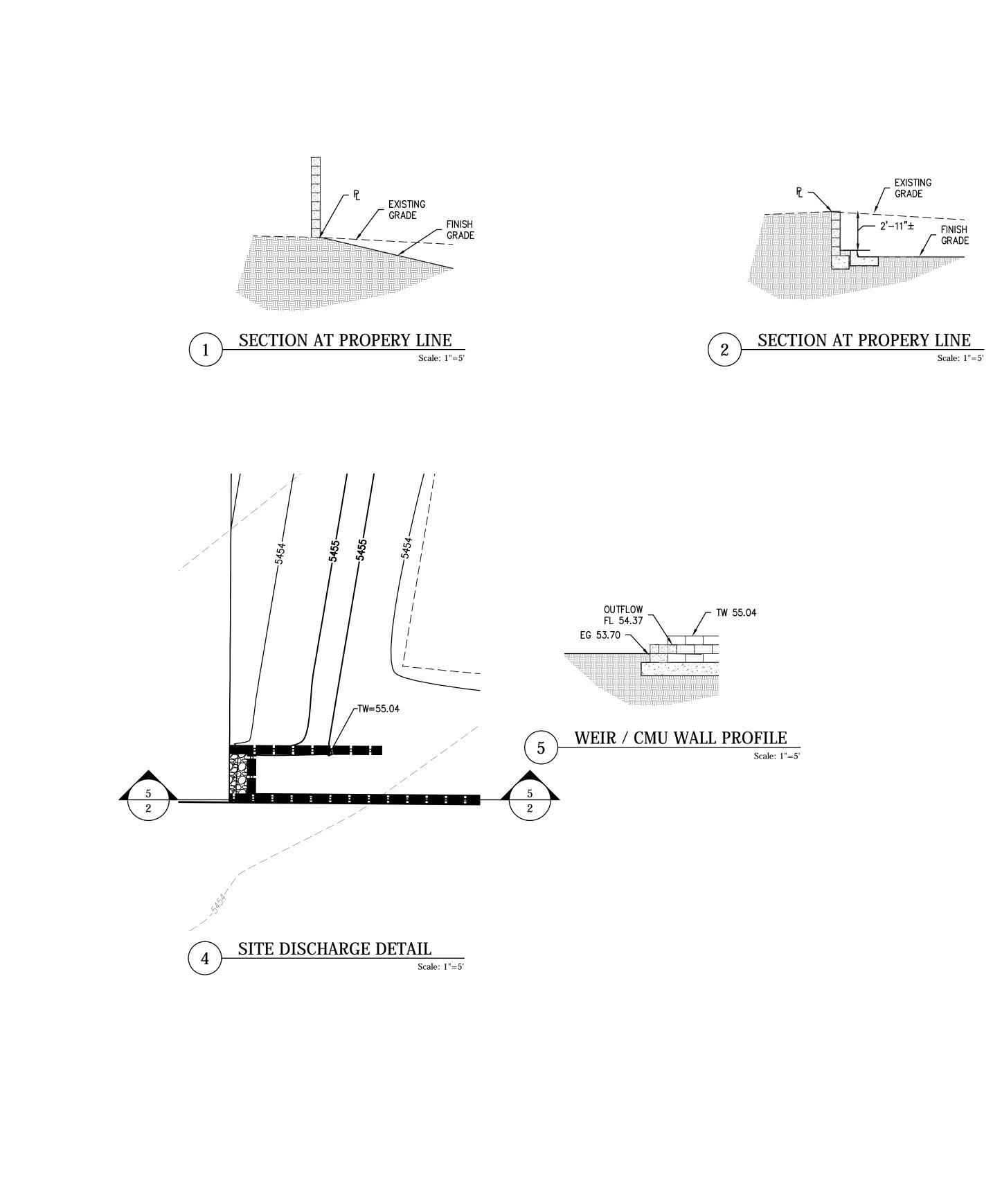
THE PROPOSED SITE IMPROVEMENTS WILL INCLUDE THE CONSTRUCTION OF AND PARKING FOR A MEDICAL OFFICE COMPLEX, AND IT WILL BE CONSTRUCTED IN TWO PHASES. LOT 13 WILL COMPRISE THE SECOND PHASE, AND IT WILL MAINTAIN THE RUNOFF CONDITIONS SHOWN HEREON. RUNOFF FROM THE PROPOSED DEVELOPMENT WILL BE CONVEYED VIA SURFACE FLOW TO THE PROPOSED DETENTION POND WHICH DISCHARGES VIA A WEIR OPENING TO THE HISTORIC OUTFALL LOCATION AT A PEAK RATE OF 3.49 CFS AFTER COMPLETION OF CONSTRUCTION ON LOT 13.

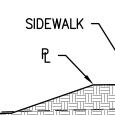


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