

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

April 13, 2022

R. Jarrod Cline
arcLINE
PO Box 91462
Albuquerque, NM 87199

Re: Palomas Peak Ph. 2 Office Development/ 8300 Palomas Ave. NE
Request for Certificate of Occupancy
Transportation Development Final Inspection
Engineer's Stamp dated 2-12-21(D19-D031)
Certification dated 3-30-22

Dear Mr. Jarrod,

Based upon the information provided in your submittal received 03-30-22, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact Jeanne Wolfenbarger at (505) 924-3991.

Sincerely,

Jeanne Wolfenbarger, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

\xxx via: email
C: CO Clerk, File

April 7, 2022
Project: Palomas Peak, 8300 Palomas Ave NE
Subject: TCL Certification for D19D031
30-Day Temporary Certificate of Occupancy



Ms. Al-najjar,

Thank you for the review and letter on April 6, 2022. , R. Jarrod Cline, RA, LIC No. 4427, of the

Comment:

- There is a new ramp on the north side of the building, please red mark the approved TCL (add a key note for this ramp).

Response:

- Please see attached revised site plan with ramp indicated and clouded on the north side of the building.

Comment:

- Paint the curb that located at the northeast side of the driveway entrance with yellow. Just the segment that parallel with the ADA ramp, for tripping hazard issue.

Response:

- Please see images below of curb segment painted bright yellow.



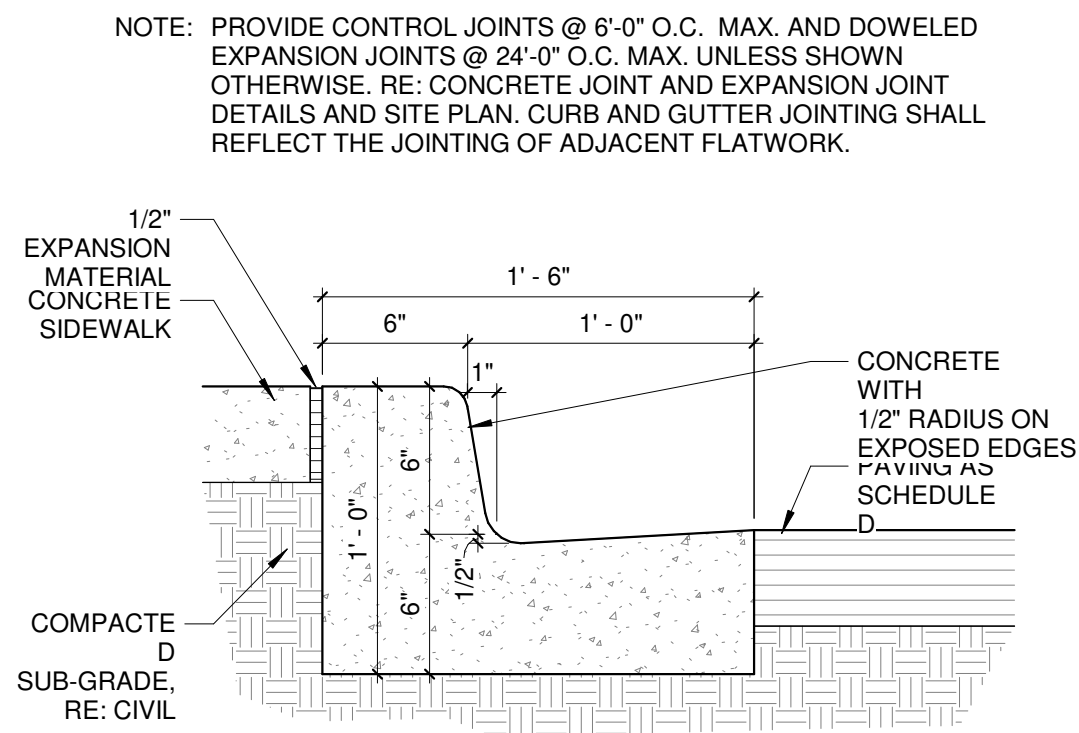
If you have any questions or comments regarding anything contained herein, please do not hesitate to contact me at 505-681-7274 or via email at jarrod@arcline-arch.com.

Sincerely,

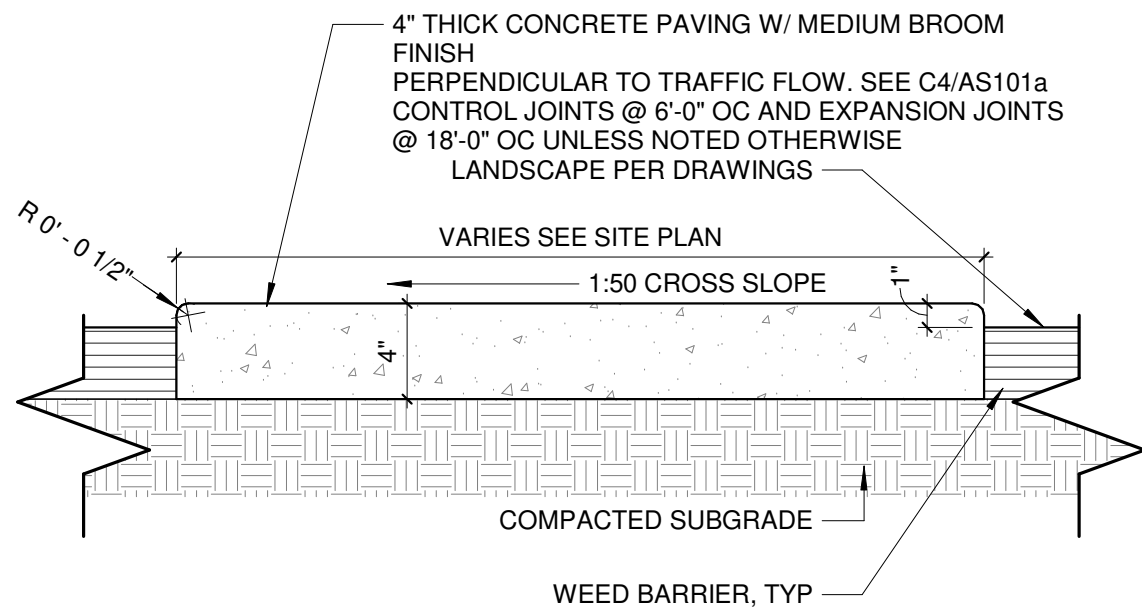
A handwritten signature in blue ink that reads "R. Jarrod Cline".

R. Jarrod Cline
Owner / Architect

PO Box 91462
Albuquerque NM 87199
505_681_7274
www.arcline-arch.com



D1 CONCRETE CURB AND GUTTER
1 1/2" = 1'-0"



D2 CONCRETE SIDEWALK
1 1/2" = 1'-0"

SITE DATA

LOCATION:	8300 PALOMAS AVE NE ALBUQUERQUE, NM 87109
LEGAL DESCRIPTION:	LOT 012, BLOCK 022, TRACT, A UNIT A NORTH ALBUQUERQUE ACRES
UPC #:	101906345446610321
OWNER:	PALOMAS PEAK LLC PO BOX 10837 ALBUQUERQUE NM 87184
CURRENT ZONING:	MX-T
ZONE ATLAS PAGE:	D-19
BUILDING CONSTRUCTION:	5B (NON-SPRINKLED)
APPLICABLE CODE:	2015 IBC
TOTAL LOT AREA:	(0.8818 AC) 38,412 S.F.
MAX. BUILDING HEIGHT ALLOWED:	30 FEET
MAX. BUILDING HEIGHT:	18 FEET
MAX. BUILDING FOOTPRINT AREA:	8,793 S.F.
NET LOT AREA (LOT AREA-BLD. FOOTPRINT):	29,619 S.F.
FLOOR AREA RATIO (GROSS BLD. AREA/LOT AREA):	22.8 %

PAVED AREA:	22,878 S.F.
LANDSCAPE AREA:	6,741 S.F.
LANDSCAPE % NET LOT AREA:	17.5 %
LANDSCAPE TO PAVED AREA RATIO:	1 : 3.395
REQUIRED PARKING:	44 SPACES MEDICAL AND DENTAL OFFICE: 5 SPACES / 1,000 SF GFA 8,789 S.F. / 1,000 SF GFA = 8.789 x 5 = 44 SPACES
PARKING PROVIDED:	47 ON-SITE SPACES 6 ON-STREET SPACES 2 SPACES (1 VAN)
REQUIRED H.C. PARKING:	4 SPACES (2 VAN)
H.C. PARKING PROVIDED:	4 SPACES (2 VAN)
REQUIRED MOTORCYCLE PARKING:	2 SPACES
MOTORCYCLE PARKING PROVIDED:	2 SPACES
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BICYCLE PARKING PROVIDED:	8 SPACES

GENERAL NOTES

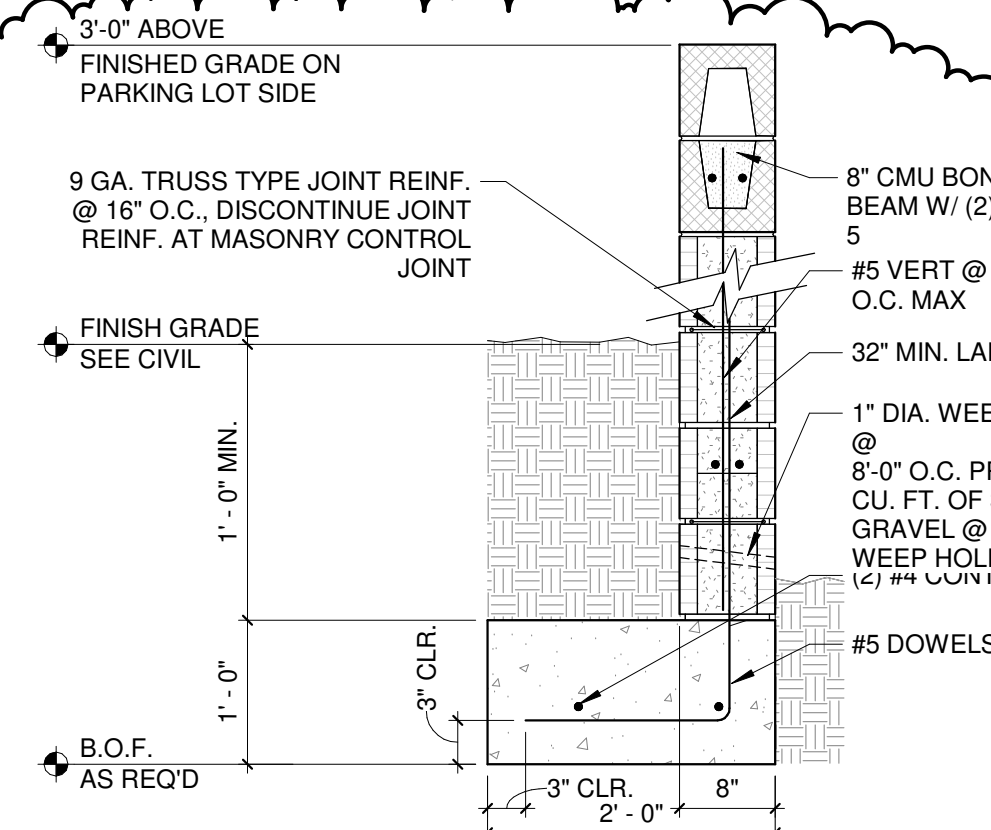
- VERIFY SITE UTILITY ROUTING AND NEW UTILITY CONNECTIONS WITH UTILITY PROVIDERS.
- CURBS DIMENSIONED TO FACE OF CURB U.N.O.
- PATCH AND REPAIR OR REPLACE EXISTING CURB & GUTTER ALONG STREET FRONTAGES AS NECESSARY.
- SITE LIGHTING**
- LIGHTING PROVIDED ON BUILDING FACADES AND IN THE PARKING LOT TO BE CUT-OFF TYPE ANGLED TO BE NON-INTRUSIVE TO ADJACENT PROPERTIES AND RIGHT-OF-WAYS.
- SEE GEO-TECHNICAL REPORT FOR SUB-GRADE PREP REQUIREMENTS OF THE BUILDING AND PARKING LOT.
- ALL IMPROVEMENTS IN THE RIGHT OF WAY REQUIRE A WORK ORDER WITH APPROVED CITY OF ALBUQUERQUE DPC APPROVED PLANS. THIS IS TO INCLUDE REMOVAL AND/OR RESTRICTION OF THE STREET.

KEYED NOTES

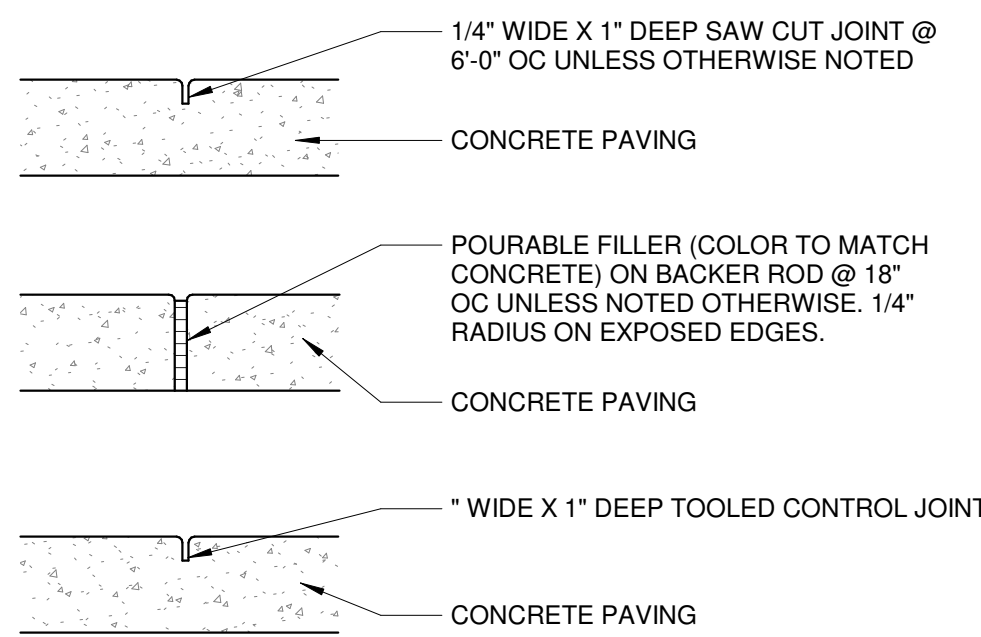
- CONCRETE CURB AND GUTTER, RE: D1/AS101a.
- EXISTING CURB AND GUTTER (WHERE OCCURS) TO REMAIN.
- CONCRETE SIDEWALK PER DETAIL D2/AS101a.
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- 4" THICK CONCRETE FLAT WORK, JOINTED AS SHOWN, WITH TURN DOWN EDGE, RE: B4/AS101a.
- ASPHALT PAVING, RE: SOILS REPORT.
- LANDSCAPE AREA, RE: LANDSCAPE DRAWINGS.
- POLE MOUNTED LIGHT ON CONCRETE BASE, RE: B2/AS102a.
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- ACCESSIBLE SIDEWALK RAMP, RE: A1/AS102a.
- EXISTING MONUMENT SIGN.
- 12" WIDE 6" HIGH OPEN SPACE CONCRETE CULVERT. PROVIDED 1/2" STEEL CHECKER PLATE COVER ATTACHED TO CONCRETE EMBEDDED 1/2" x 1/2" x 1/4" STEEL ANGLE, PAINT, TYPICAL.
- GAS METER (CATED).
- ACCESSIBLE PARKING SIGN, ADD TEXT "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING". RE: A5/AS102a.
- ACCESSIBLE SIDEWALK RAMP, RE: D2/AS102a.
- ELECTRICAL GEAR ENCLOSURE.
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- EXISTING FIRE HYDRANT.
- CONCRETE SIDEWALK PER C.O.A.BQ. STANDARDS (TYP.) - DRWG. # 2430.
- PARKING STRIPING PER C.O.A.BQ. STANDARDS - 4" WIDE - SAFETY WHITE.
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- BURNISHED CMU RETAINING SITE WALL, RE: D4/AS102a.
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LEGEND

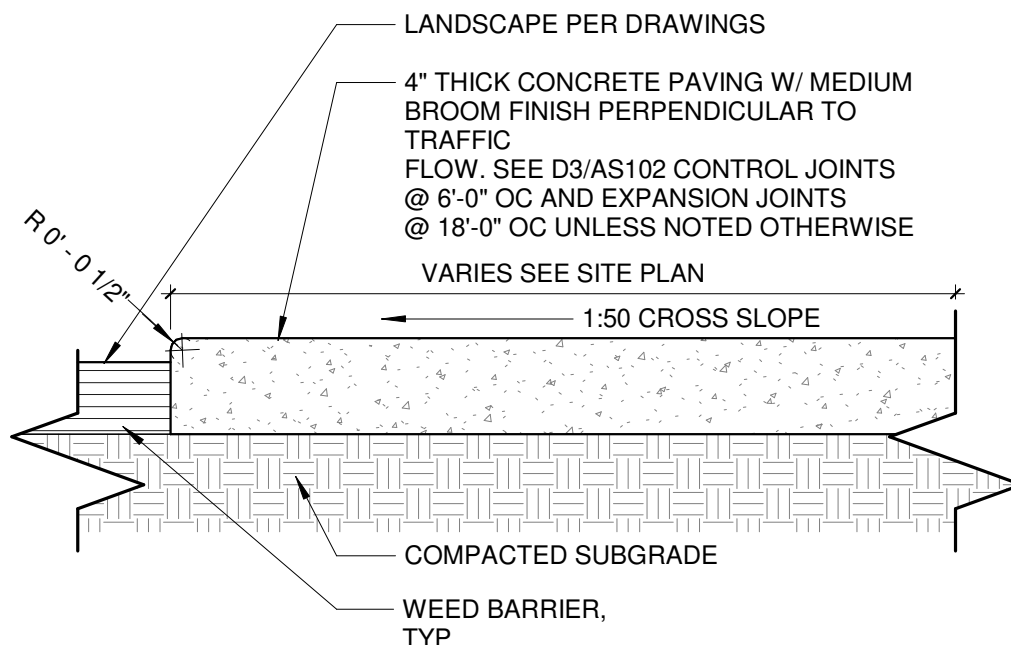
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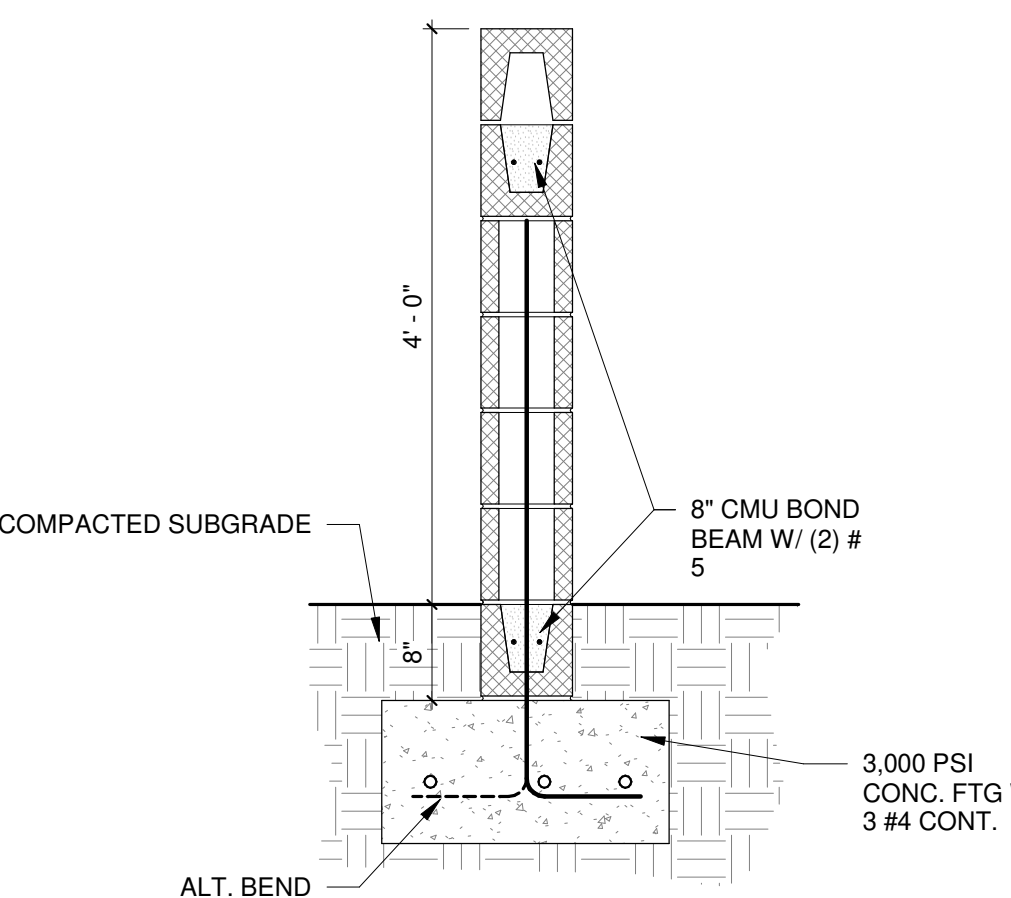
A5 SITE WALL SECTION
3/4" = 1'-0"



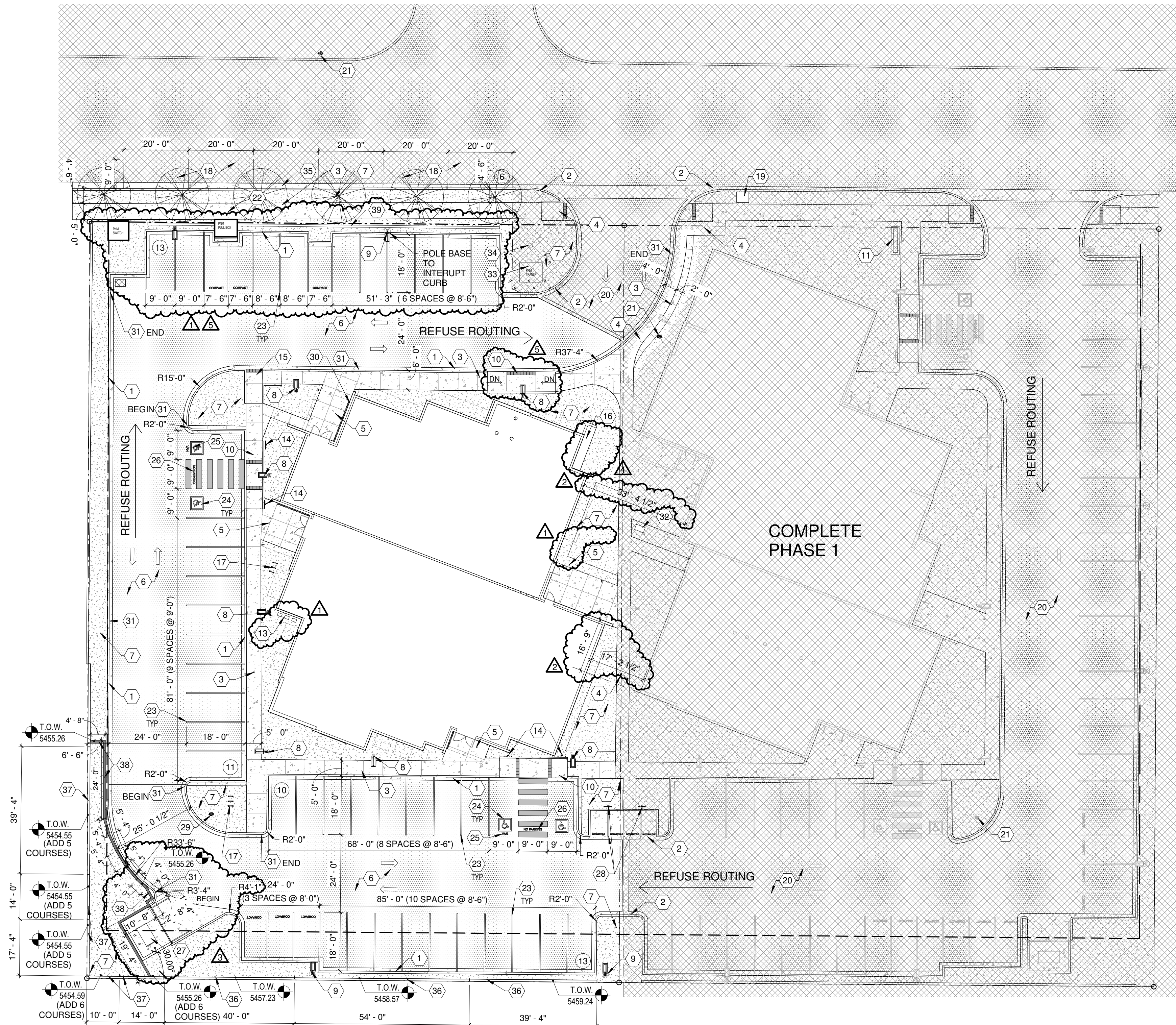
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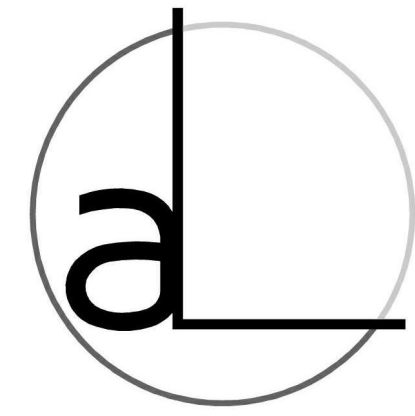
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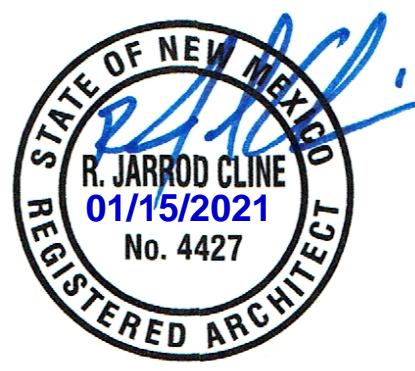
A1 SITE PLAN
1" = 20'-0"



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ARCHITECT/ENGINEER



Palomas Peak Ph. 2 Office Development
8300 Palomas Ave. NE
Albuquerque, NM 87109

PERMIT / BID SET

REV	DATE	DESCRIPTION
01	03-01-21	PERMIT COMMENTS / BID ADDENDUM 01
02	03-18-21	PERMIT COMMENTS
03	04-05-21	PERMIT COMMENTS
04	06-21-21	PLAN CHANGE
05	03-29-22	CONSTRUCTION CHANGE

DATE 02-12-2021

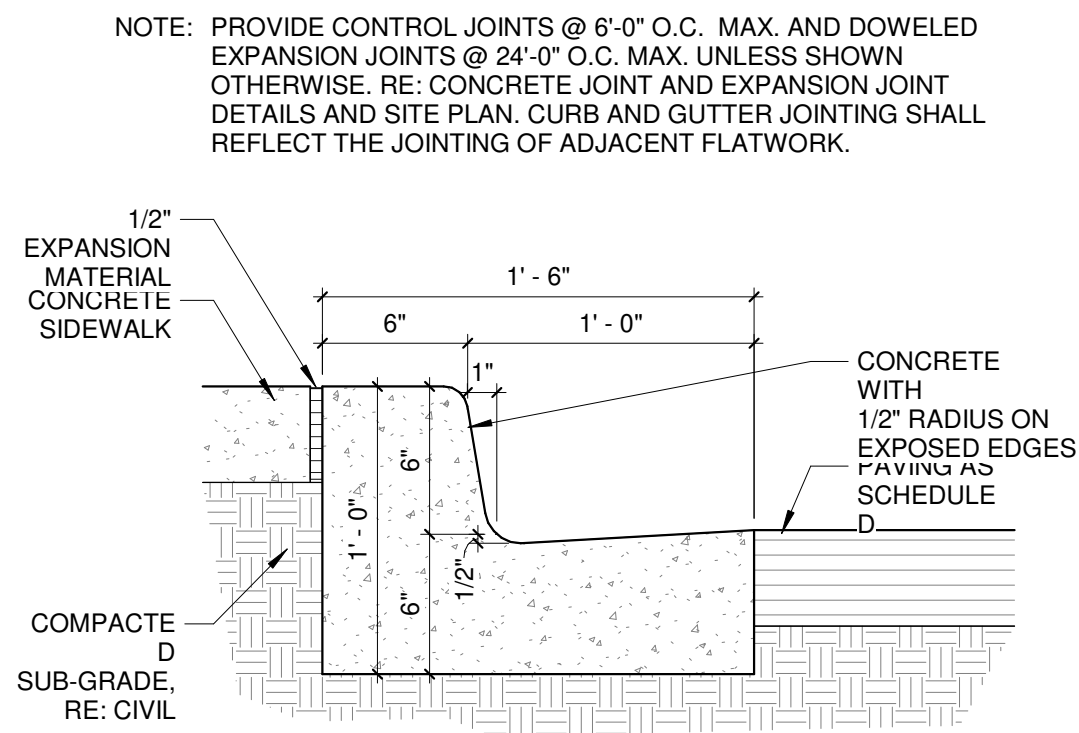
PROJECT NO. 20-025

DRAWING NAME

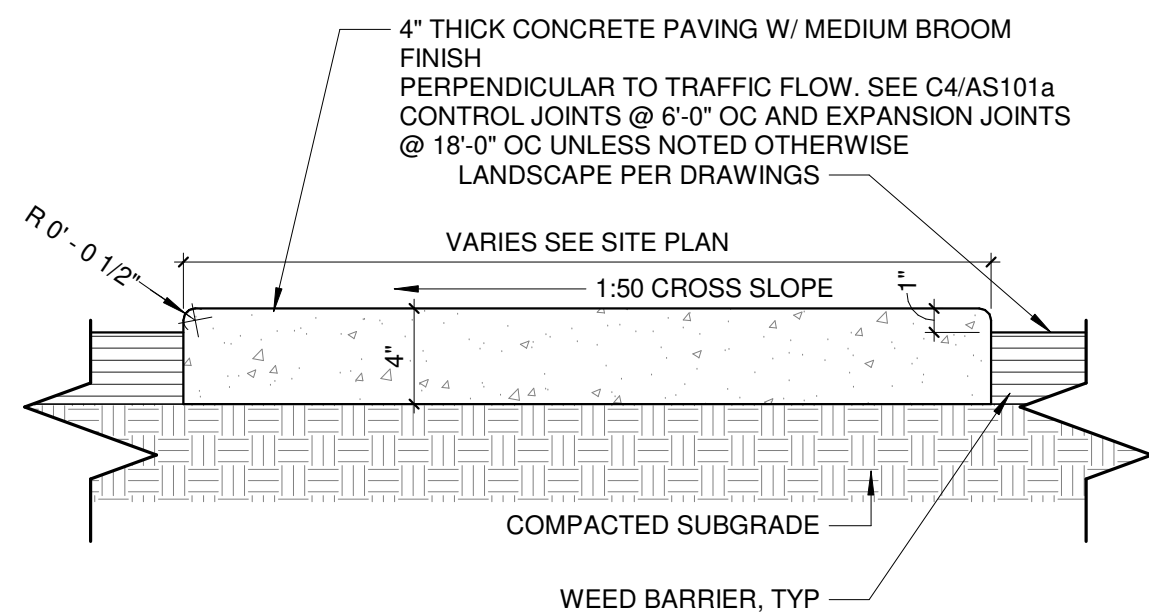
SITE PLAN

SHEET NO.

AS101a



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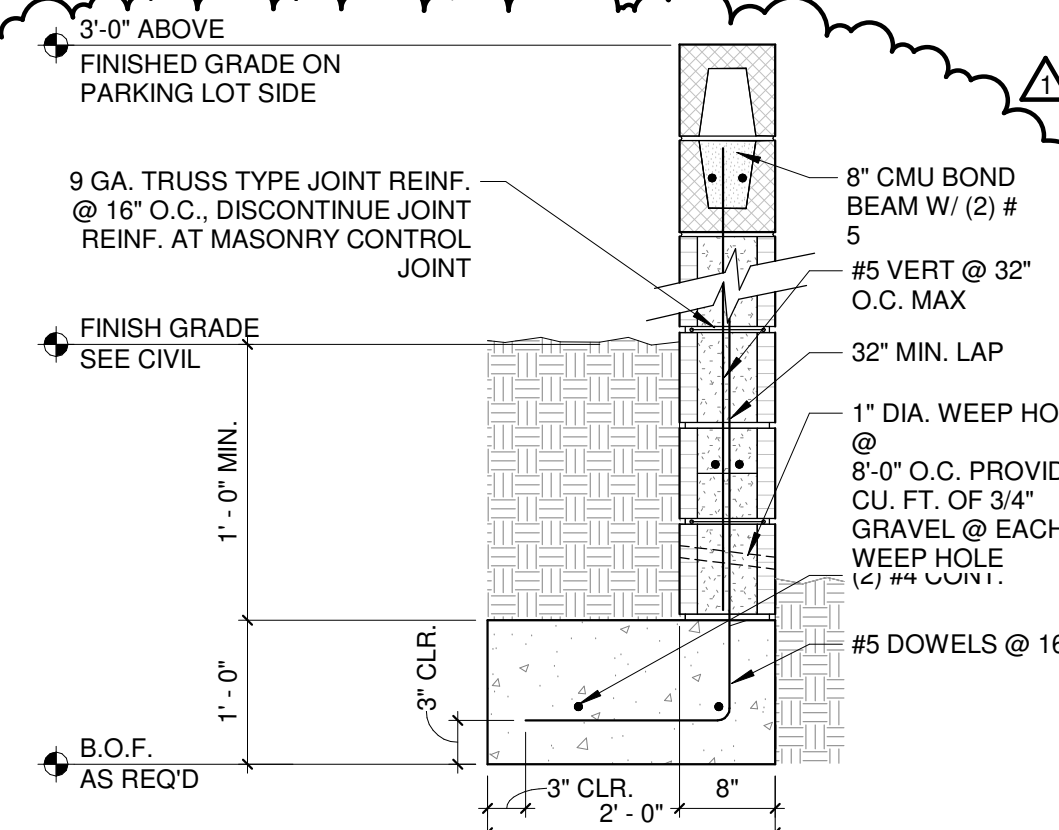
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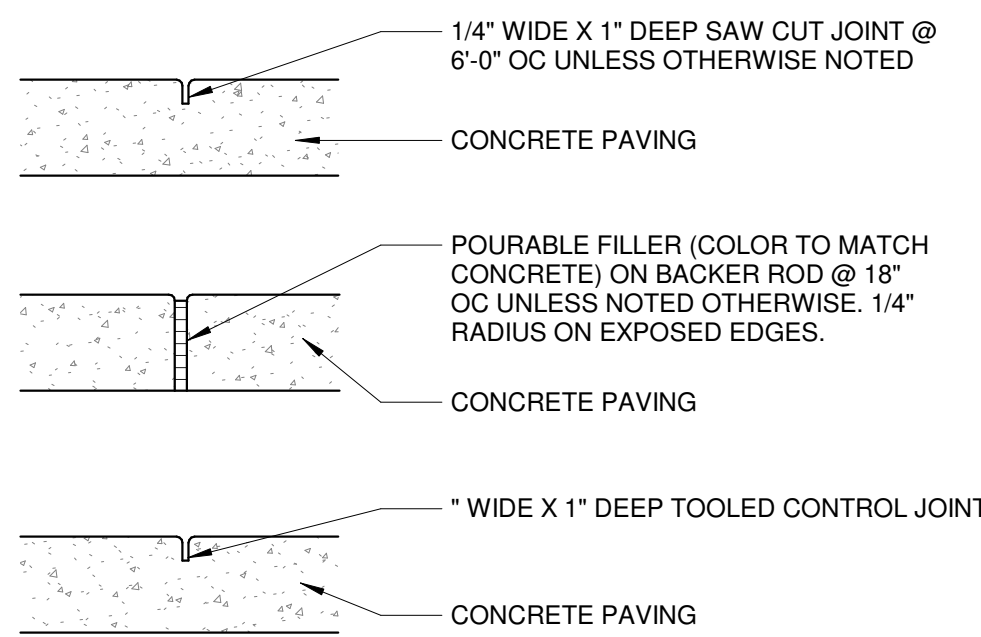
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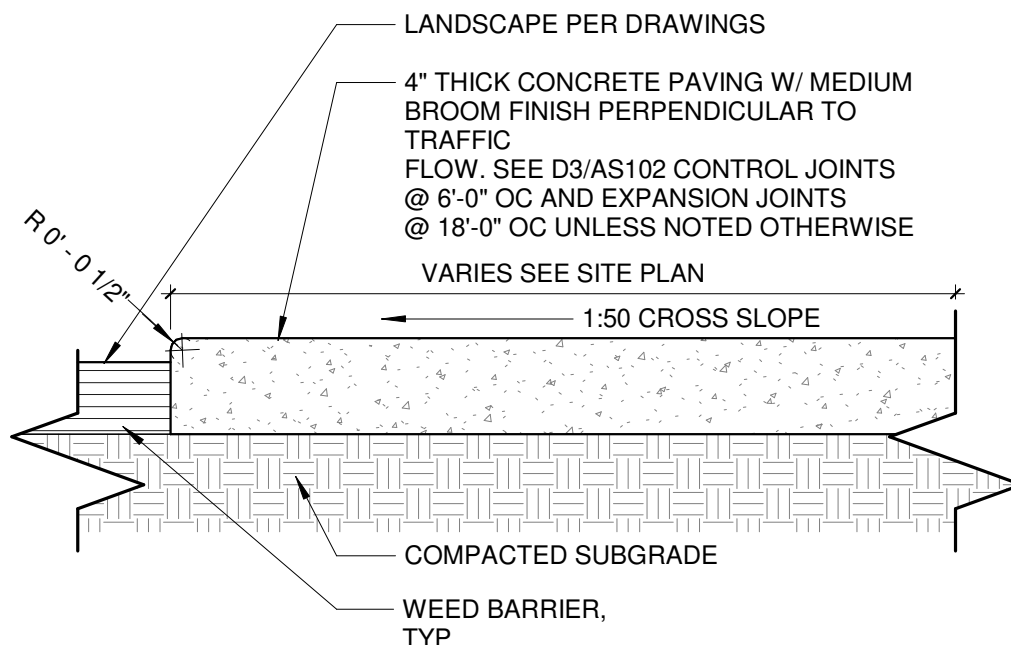
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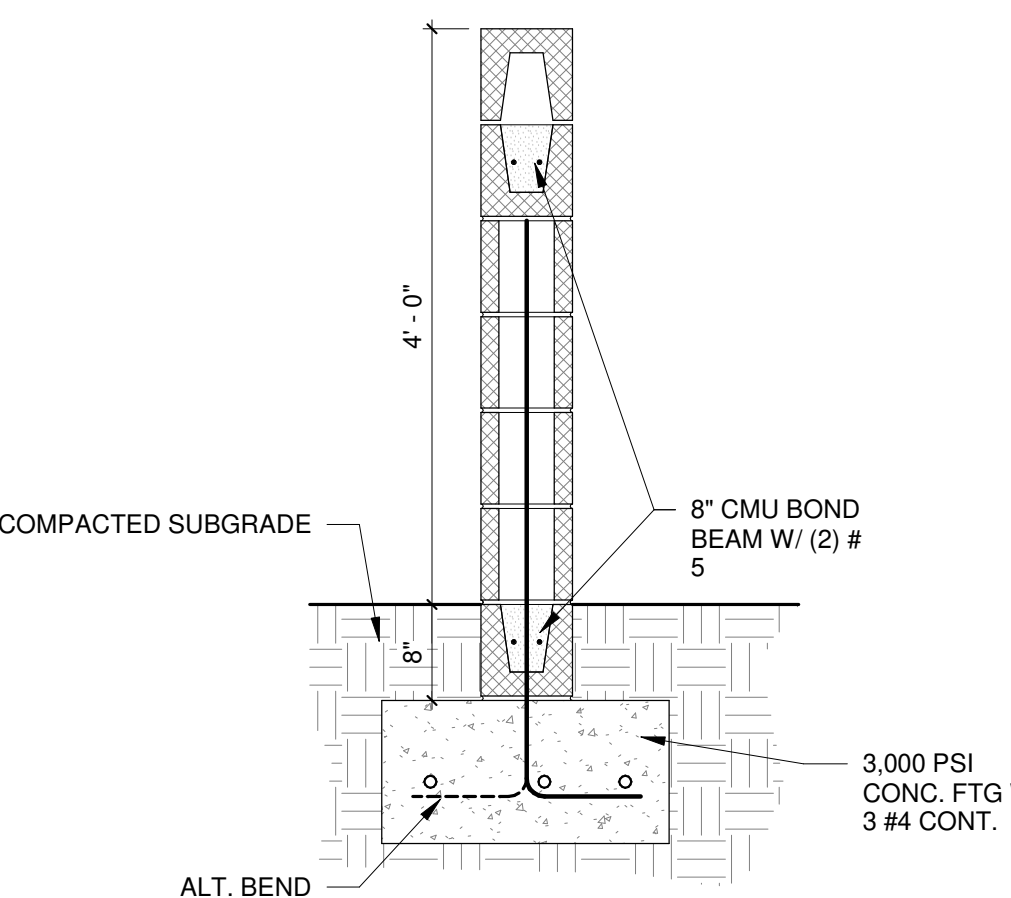
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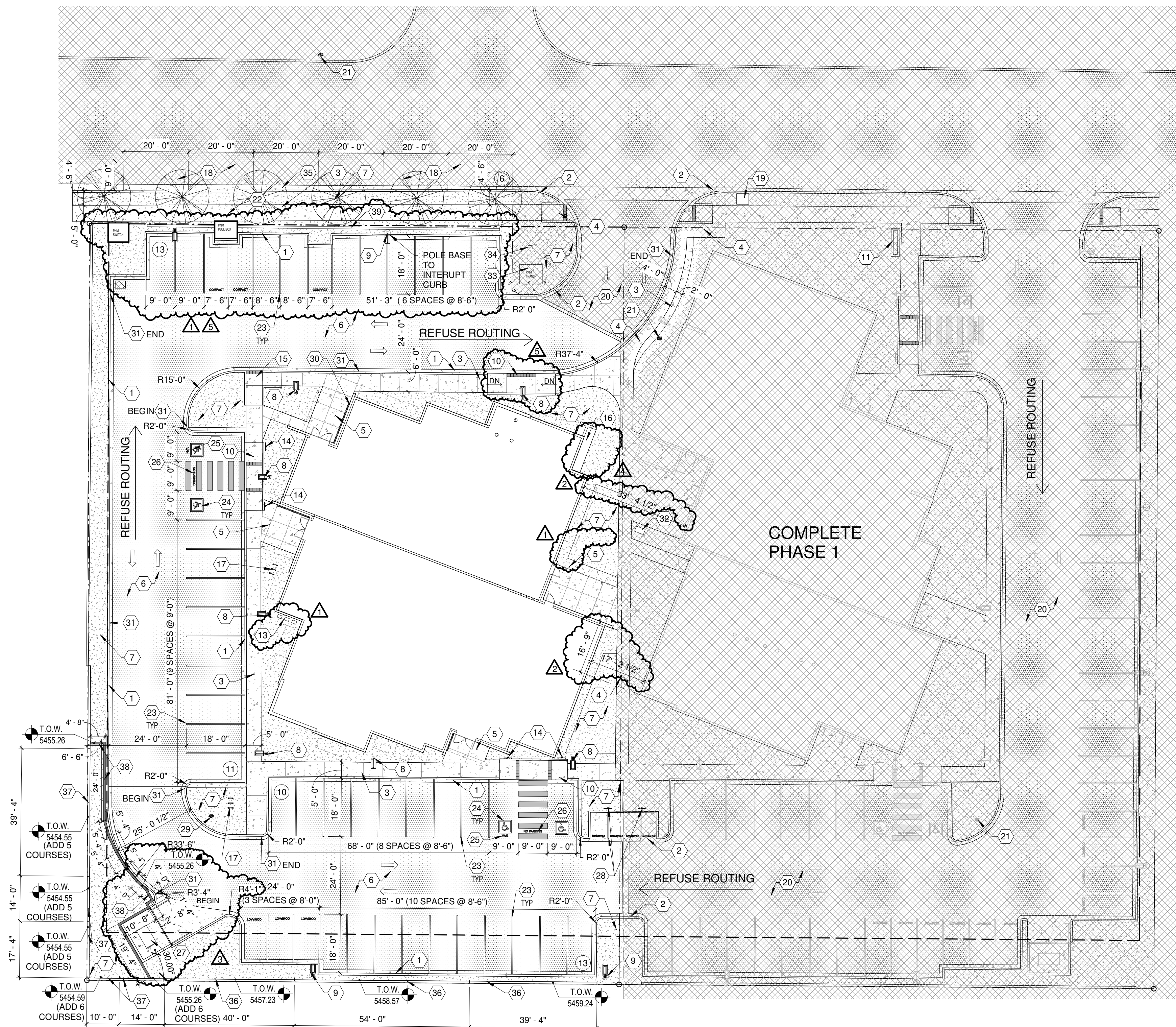
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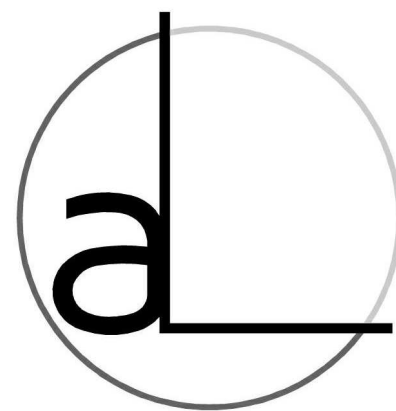
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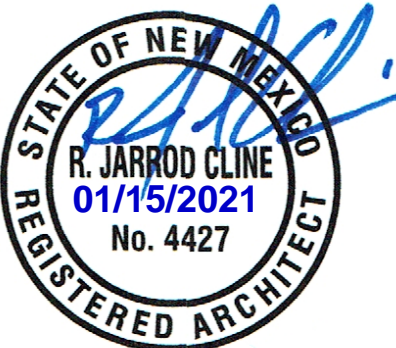
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DATE 02-12-2021

PROJECT NO. 20-025

DRAWING NAME

SITE PLAN

SHEET NO.

AS101a