

CITY OF ALBUQUERQUE



January 10, 2020

Jarrold Cline
arcLINE Architectural design LLC
PO Box 91462
Albuquerque, NM

Re: Palomas Peak
8310 Palomas Ave 87109
Traffic Circulation Layout
Engineer's/Architect's Stamp 11-01-2019 (D19D031)

Dear Mr. Cline,

Based upon the information provided in your submittal received 01-09-2020, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. I am attaching the on-street requirements in terms of dimension.
2. Please list the width and length for all proposed parking spaces. Some dimensions are not shown.

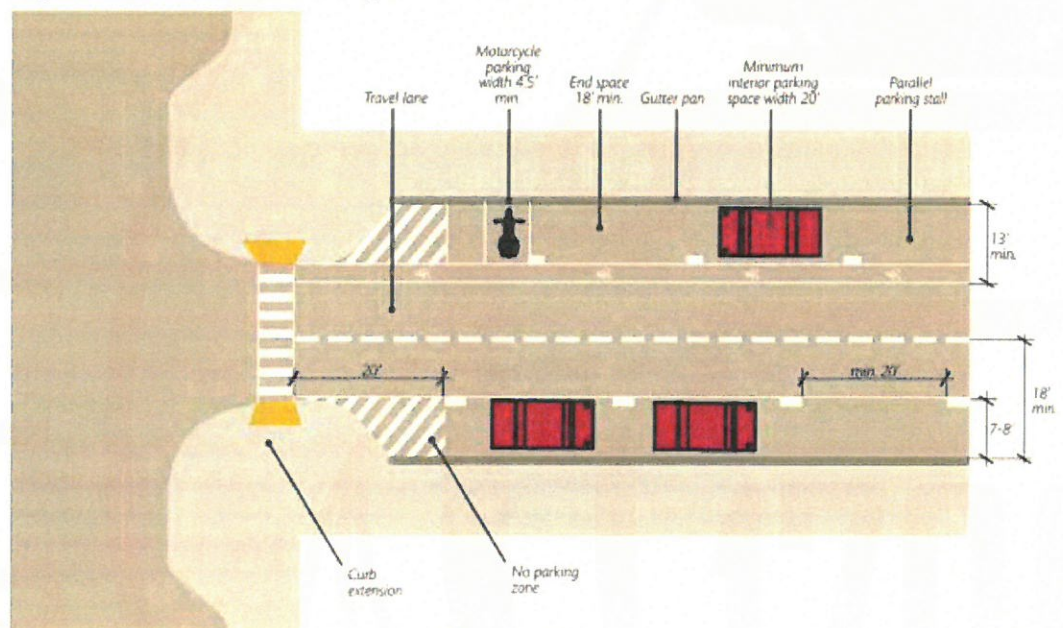
PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

Figure 3.8-2 Parallel Parking Dimensions



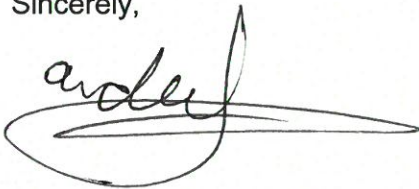
2. The gutter pan may be used as part of the stall width.
3. Where parallel on-street parking is adjacent to a bicycle lane (and there is insufficient space for reverse angle parking), the minimum combined width for the bike lane and the parallel parking stall is 13' (with a recommended 7'-wide parallel parking stall and a 6'-wide bike lane).
4. The combined width of a parallel on-street parking stall and the adjacent travel lane should be a minimum of 18'.
5. A 1.5' shy zone space or offset shall be provided between the curb edge and any vertical elements in the landscape/buffer zone.
6. Individual stalls may be marked to increase the parking capacity. The minimum stall length for interior spaces shall be 20', and all end spaces shall be a minimum 18' long. See Figure 3.8-2.
7. Per MUTCD, there shall be a 20' long space between the crosswalk or pedestrian crossing and the nearest on-street parking space. A curb extension may be used within that 20' area.

1. The Traffic Circulation Layout
2. A Drainage Transportation Information Sheet (DTIS)
3. Send an electronic copy of your submittal to PLNDRS@cabq.gov.
4. No Fee !

for log in and evaluation by Transportation.

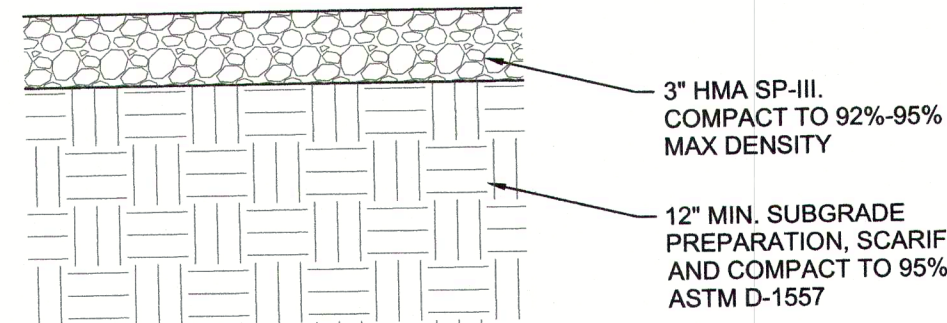
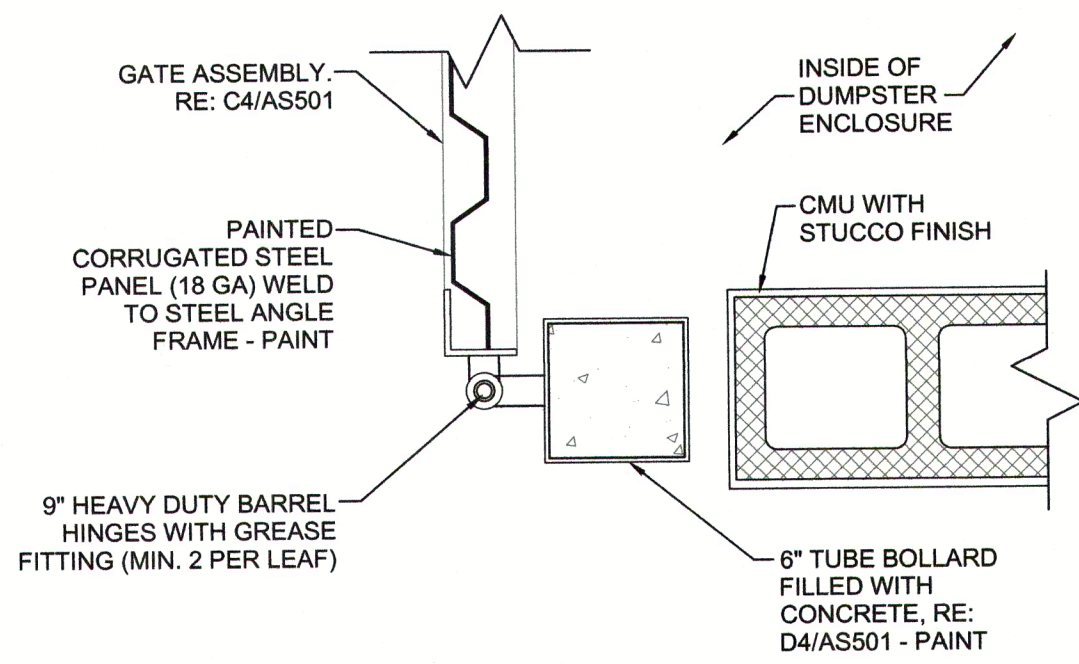
If you have any questions, please contact me at (505) 924-3675.

Sincerely,



Mojgan Maadandar, E.I.
Associate Engineer, Planning Dept.
Development Review Services

\MM via: email
C: CO Clerk, File



ALL SUBGRADE AND BACKFILL SHALL BE COMPACTED TO 95% ASTM D-1557. ALL SUBGRADE AND BACKFILL SHALL BE COMPACTED IN A MAXIMUM 8\"/>

SITE DATA

LOCATION: 8310 PALOMAS AVE NE
ALBUQUERQUE, NM 87109
LEGAL DESCRIPTION: LOT 013, BLOCK 022, TRACT, A UNIT A
NORTH ALBUQUERQUE ACRES
101906347046610320
OWNER: HAGEN PROPERTIES LLC
PO BOX 10837
ALBUQUERQUE NM 87184
MX-T
CURRENT ZONING: D-19
ZONE ATLAS PAGE: 58 (NON-SPRINKLED)
BUILDING CONSTRUCTION: 2015 IBC
APPLICABLE CODE: 58 (NON-SPRINKLED)
TOTAL LOT AREA: (0.8864 AC) 38,617 S.F.
MAX. BUILDING HEIGHT ALLOWED: 30 FEET
MAX. BUILDING HEIGHT: 18 FEET
BUILDING FOOTPRINT AREA: 9,972 S.F.
NET LOT AREA (LOT AREA-BLD. FOOTPRINT): 28,645 S.F.

FLOOR AREA RATIO (GROSS BLD. AREA/LOT AREA): 25.8 %
PAVED AREA: 20,508 S.F.
LANDSCAPE AREA: 8,137 S.F.
LANDSCAPE % NET LOT AREA: 21 %
LANDSCAPE TO PAVED AREA RATIO: 1 : 2.52
REQUIRED PARKING: 50 SPACES
MEDICAL AND DENTAL OFFICE: 5 SPACES / 1,000 SF GFA
9,972 S.F. / 1,000 SF GFA = 9.972 x 5 = 50 SPACES
PARKING PROVIDED: 53 SPACES
50 ON-SITE SPACES
3 ON-STREET SPACES
REQUIRED H.C. PARKING: 2 SPACES (1 VAN)
H.C. PARKING PROVIDED: 4 SPACES (2 VAN)
REQUIRED MOTORCYCLE PARKING: 2 SPACES
MOTORCYCLE PARKING PROVIDED: 2 SPACES
REQUIRED BICYCLE PARKING: 5 SPACES
BICYCLE PARKING PROVIDED: 8 SPACES

GENERAL SHEET NOTES

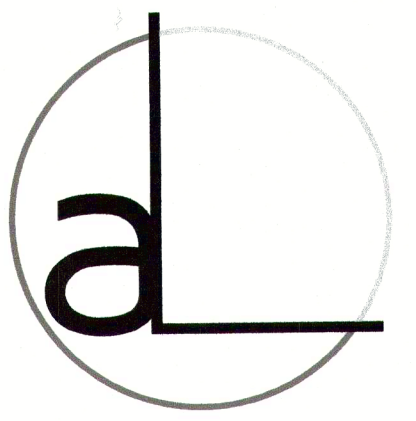
- VERIFY SITE UTILITY ROUTING AND NEW UTILITY CONNECTIONS WITH UTILITY PROVIDERS.
- CURBS DIMENSIONED TO FACE OF CURB U.N.O.
- PATCH AND REPAIR OR REPLACE EXISTING CURB & GUTTER ALONG STREET FRONTAGES AS NECESSARY IN COORDINATION WITH DRIVEWAY CONSTRUCTION.
- VERIFY ALL NEW DRIVEWAY REQUIREMENTS WITH CITY OF ALBUQUERQUE STANDARDS.
- SITE LIGHTING
LIGHTING PROVIDED ON BUILDING FACADES AND IN THE PARKING LOT TO BE CUT-OFF TYPE ANGLED TO BE NON-INTRUSIVE TO ADJACENT PROPERTIES AND RIGHT-OF-WAYS.
- SEE GEO-TECHNICAL REPORT FOR SUB-GRADE PREP REQUIREMENTS OF THE BUILDING AND PARKING LOT.
- ALL IMPROVEMENTS IN THE RIGHT OF WAY REQUIRE A WORK ORDER WITH APPROVED CITY OF ALBUQUERQUE DRC APPROVED PLANS.

KEYED NOTES

- CONCRETE CURB AND GUTTER, RE: D1/AS102.
- EXISTING CURB & GUTTER (WHERE OCCURS) TO REMAIN.
- CONCRETE SIDEWALK PER DETAIL D2/AS102.
- EXISTING CONCRETE SIDEWALK TO REMAIN.
- 4\"/>
- ASPHALT PAVING, RE: SOILS REPORT.
- LANDSCAPE AREA, RE: LANDSCAPE DRAWINGS.
- POLE MOUNTED LIGHT ON CONCRETE BASE, RE: B1/AS102.
- POLE MOUNTED LIGHT ON CONCRETE BASE, RE: A5/AS102.
- ACCESSIBLE SIDEWALK RAMP, RE: C2/AS102.
- MONUMENT SIGN, RE: B4/AS102.
- 12\"/>
- GAS METER ENCLOSURE.
- ACCESSIBLE PARKING SIGN, ADD TEXT "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING", RE: C4/AS102.
- COMPACTED BASE COURSE ACCESS ROAD TO CARRY MINIMUM WEIGHT OF 75,000 LB FIRE TRUCK, RE: D2/AS101.
- ELECTRICAL GEAR ENCLOSURE.
- BICYCLE RACK, RE: B3/AS102.
- CONCRETE HEADER CURB, RE: A1/AS102.
- BACKFLOW PREVENTER AND HOUSING, RE: CIVIL.
- EXISTING ASPHALT PAVEMENT.
- EXISTING FIRE HYDRANT.
- NEW DRIVEWAY AND APRON PER C.O.ABQ. STANDARDS (TYP.) - DRWG. #2428.
- PARKING STRIPING PER C.O.ABQ. STANDARDS - 4\"/>
- HANDICAP PARKING SPACE PER C.O.ABQ. STANDARDS WITH ACCESSIBLE PARKING SPACE PAVEMENT SIGNAGE, RE: B2/AS102.
- HANDICAP VAN PARKING SPACE PER C.O.ABQ. STANDARDS WITH ACCESSIBLE PARKING SPACE PAVEMENT SIGNAGE, RE: B2/AS102.
- HANDICAP ACCESSIBLE AISLE PER C.O.ABQ. STANDARDS WITH PAINTED "NO PARKING", EACH LETTER TO BE MIN. 12\"/>
- HANDICAP RAMP W/TRUNCATED DOME SURFACE, RE: B5/AS102.
- TRASH ENCLOSURE PER C. O. ABQ. REQUIREMENTS, RE: A1/AS101.
- MOTORCYCLE PARKING SPACES 5'x8\"/>
- SAFETY WHITE, RE: C3/AS102.
- NEW FIRE HYDRANT PER C.O. ABQ. AND FIRE DEPT. STANDARDS.
- "KNOX BOX" INSTALLED PER C.O. ABQ. FIRE DEPT.
- CURB PAINTED RED WITH "NO PARKING FIRE LANE" PER IFC SECTION 505.3 "MARKINGS"
- CMU RETAINING WALL, RE: C5/AS102.
- CAST-IN-PLACE CONCRETE RETAINING WALL, RE: A4/AS102.
- CAST-IN-PLACE CONCRETE RETAINING WALL, RE: A3/AS102.
- LANDSCAPE IRRIGATION REDUCED PRESSURE BACKFLOW PREVENTER IN HEATED ENCLOSURE, RE: LP101 FOR REQUIREMENTS.
- ELECTRICAL TRANSFORMER WITH SURROUNDING 6\"/>
- ELEC.
- COMMUNICATIONS PEDESTAL, RE: ELEC.
- WATER UTILITY REDUCED PRESSURE BACKFLOW PREVENTER IN HEATED ENCLOSURE, RE: CIVIL FOR REQUIREMENTS.
- STANDARD CONCRETE CURB AND GUTTER, PER C.O.ABQ. STANDARDS (TYP.) - DRWG. #2415A.
- CONCRETE SIDEWALK PER C.O.ABQ. STANDARDS (TYP.) - DRWG. #2430.

LEGEND

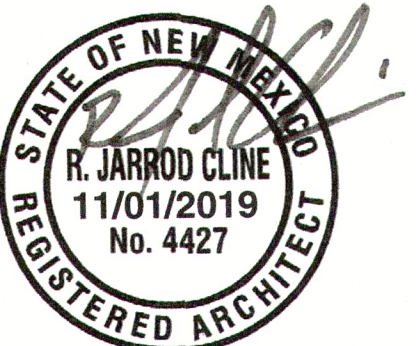
	NEW ASPHALT PAVING
	NEW CONCRETE PAVING
	NEW LANDSCAPING
	COMPACTED BASE COURSE ACCESS ROAD



arcLINE

Architectural Design LLC
PO Box 91462
Albuquerque
New Mexico 87199
P 505.681.7274
www.arcLINE-arch.com

ARCHITECT/ENGINEER



Palomas Peak Office Complex
8310 Palomas Ave NE
Albuquerque, NM 87109

PERMIT / BID SET

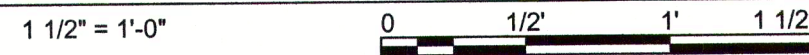
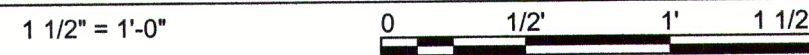
REVISIONS	
DATE	DESCRIPTION
DATE	11-01-2019
PROJECT NO.	19-0006
DRAWING NAME	SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

SHEET NO.

AS101

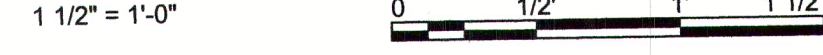
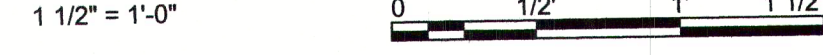
D1 GATE HINGE DETAIL

1 1/2" = 1'-0"



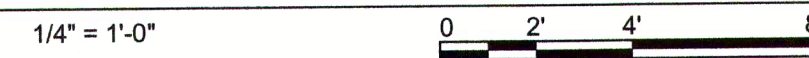
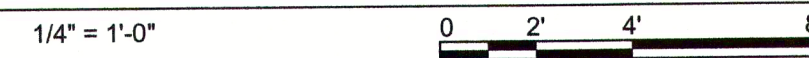
D2 TEMP FIRE LANE SECTION

1 1/2" = 1'-0"



C1 TRASH ENCLOSURE ELEV.

1/4" = 1'-0"



C2 GATE POST DETAIL

1 1/2" = 1'-0"



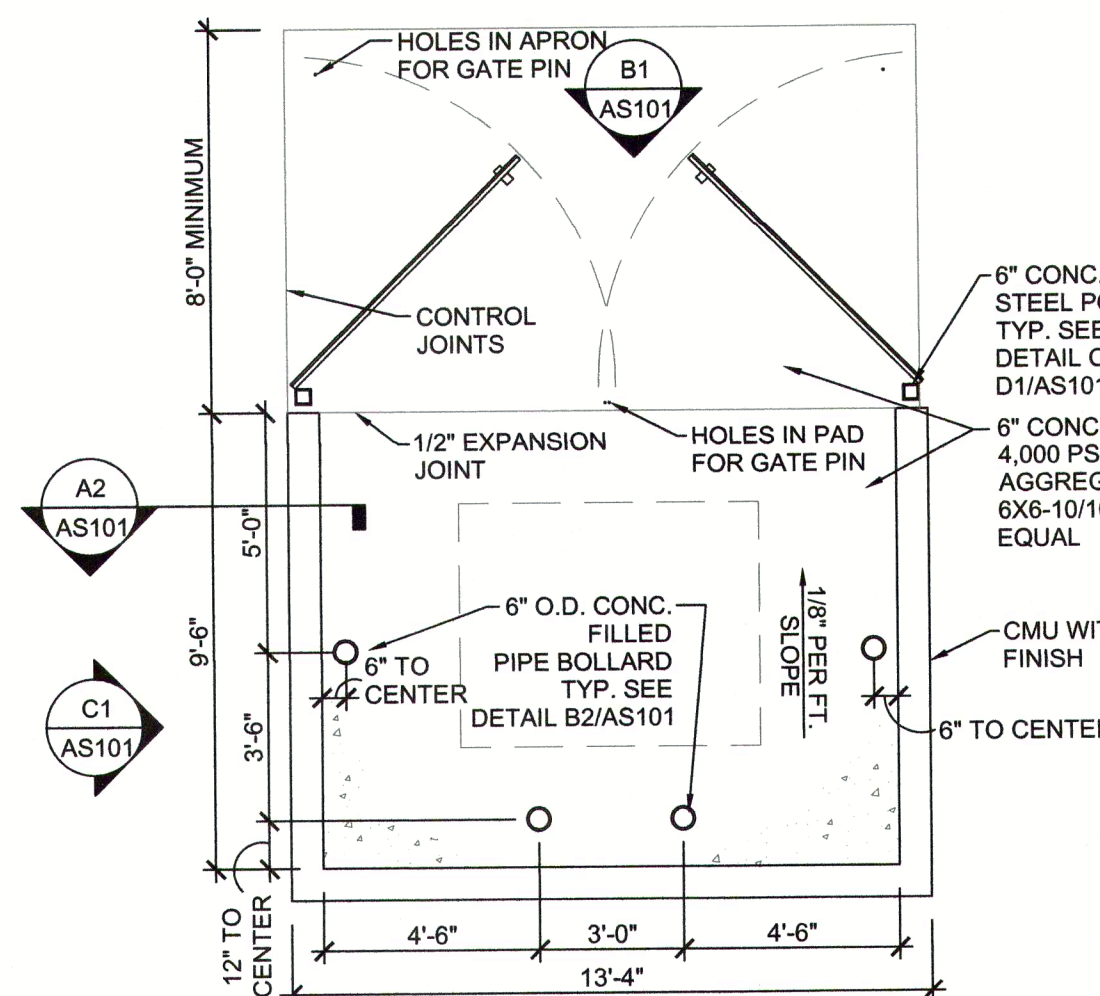
B1 TRASH ENCLOSURE ELEV.

1/4" = 1'-0"



B2 BOLLARD DETAIL

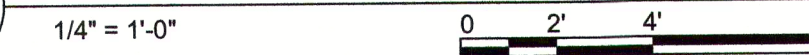
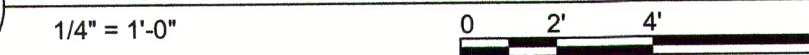
1/2" = 1'-0"



NOTE: PRE-POUR, BOLLARD, BOND BEAM, AND FINAL INSPECTIONS ON TRASH ENCLOSURE MUST BE DONE BY CITY OF ALBUQUERQUE SOLID WASTE DEPARTMENT.

A1 TRASH ENCLOSURE

1/4" = 1'-0"



A2 WALL SECTION

1/2" = 1'-0"

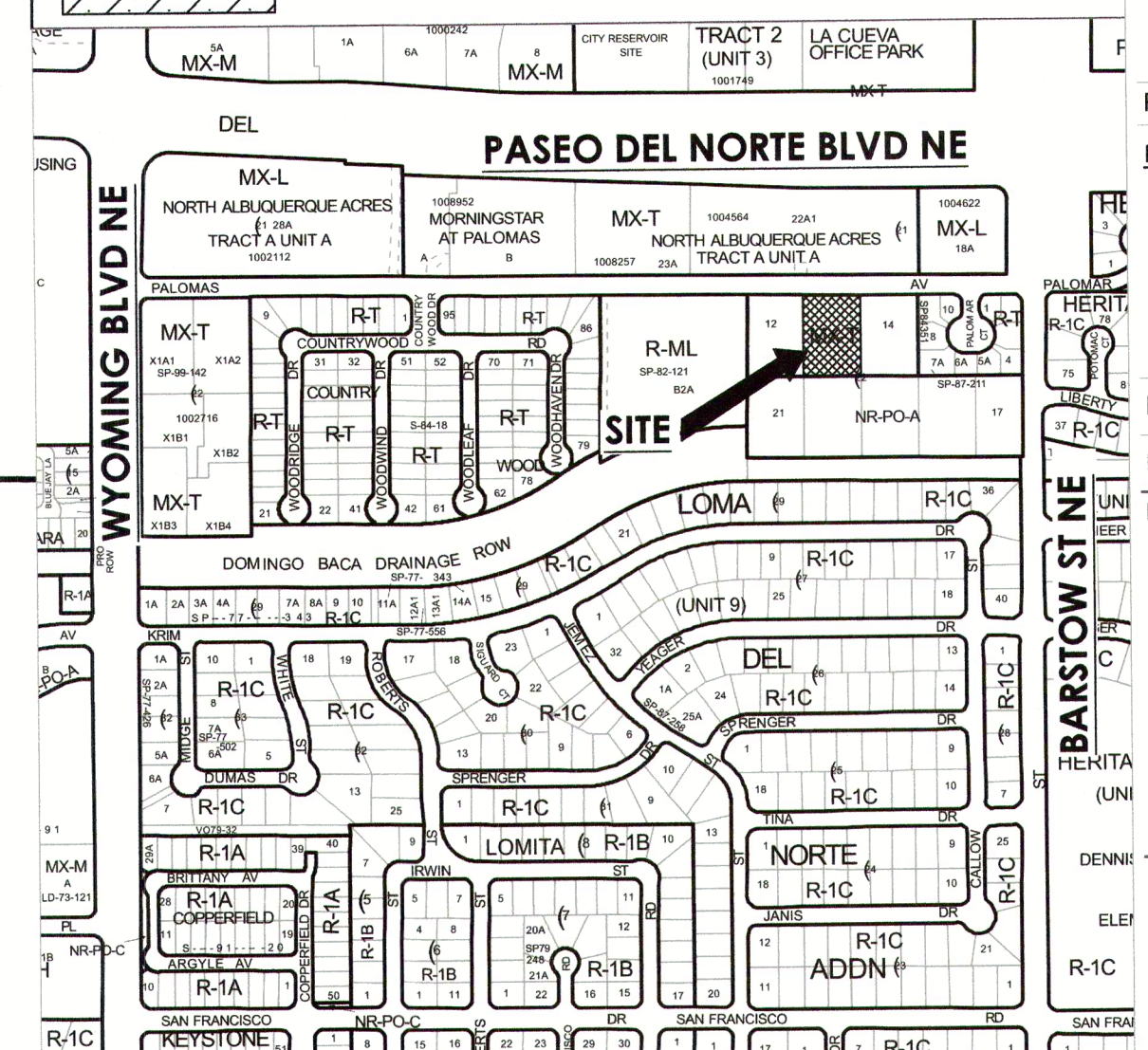


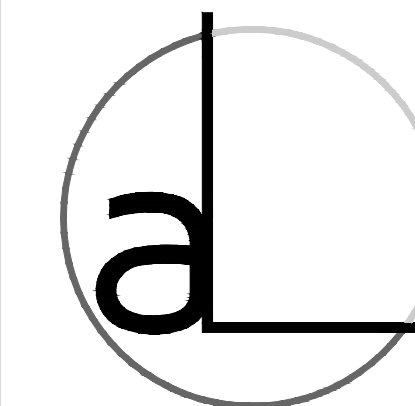
A3 SITE PLAN

1" = 20'-0"



CITY OF ALBUQUERQUE
"SOLID WASTE"
MANAGEMENT DEPARTMENT
APPROVED *HG*
01-17-20

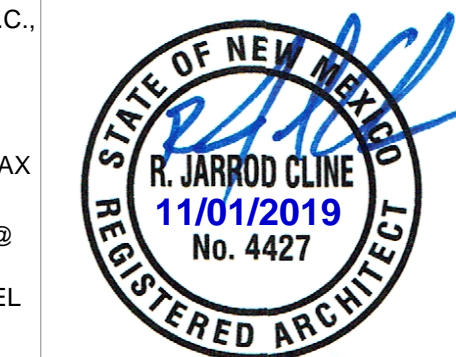




arcLINE

Architectural Design LLC
PO Box 91462
Albuquerque
New Mexico 87199
P 505.681.7274
www.arcLINE-arch.com

ARCHITECT/ENGINEER



Palomas Peak Office Complex
8310 Palomas Ave NE
Albuquerque, NM 87109

PERMIT / BID SET

REVISIONS
DATE DESCRIPTION

DATE 11-01-2019

PROJECT NO. 19-0006

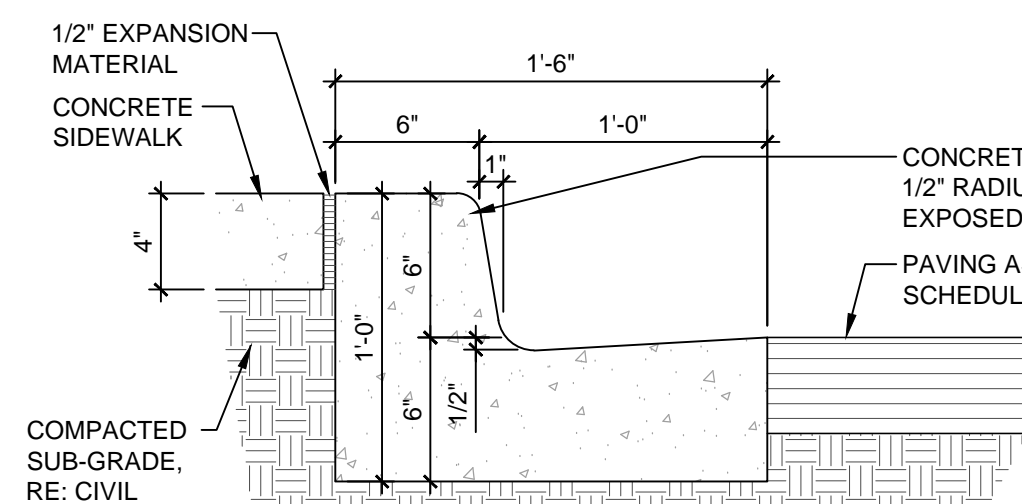
DRAWING NAME

SITE DETAILS

SHEET NO.

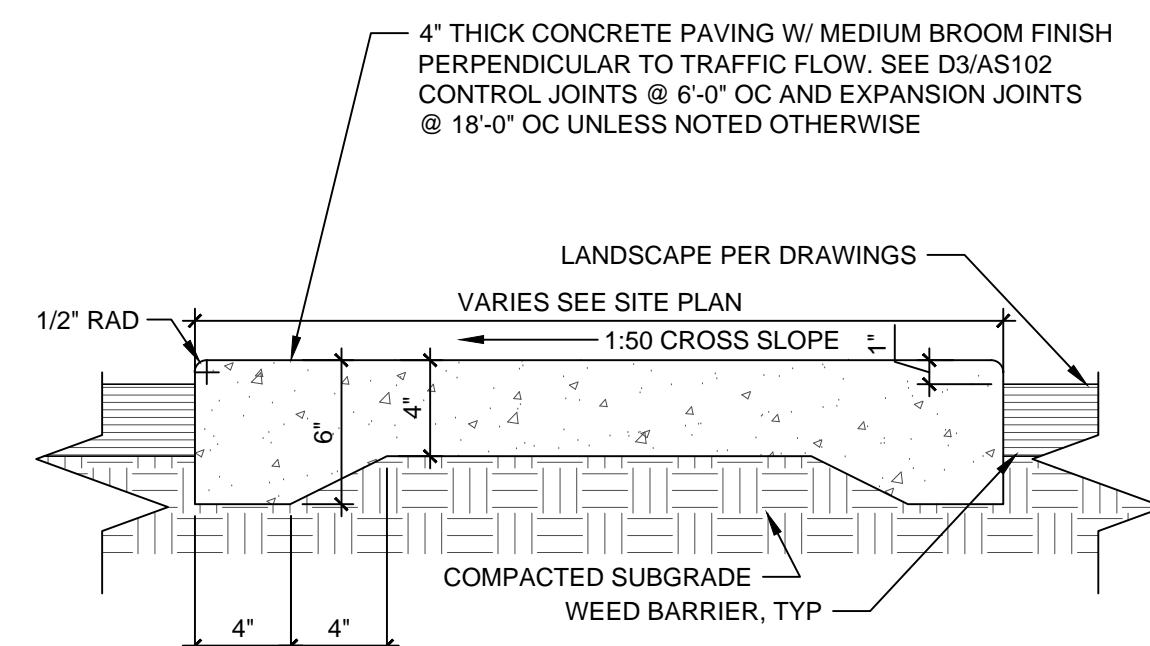
AS102

NOTE: PROVIDE CONTROL JOINTS @ 6'-0" O.C. MAX. AND DOWELED EXPANSION JOINTS @ 24'-0" O.C. MAX. UNLESS SHOWN OTHERWISE. RE: CONCRETE JOINT AND EXPANSION JOINT DETAILS AND SITE PLAN. CURB AND GUTTER JOINTING SHALL REFLECT THE JOINTING OF ADJACENT FLATWORK.



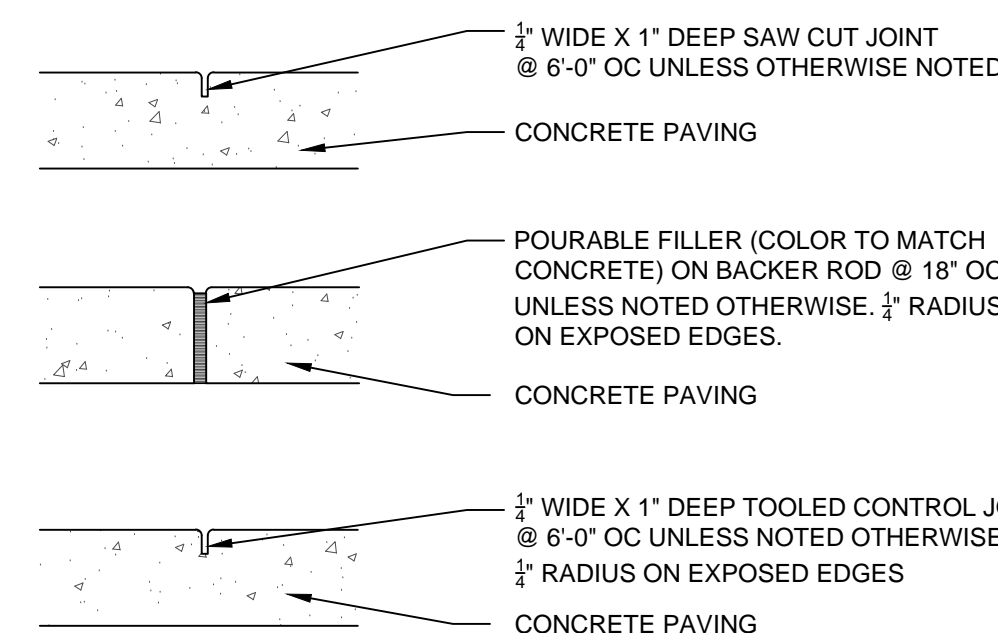
D1 CONCRETE CURB AND GUTTER

1 1/2" = 1'-0"



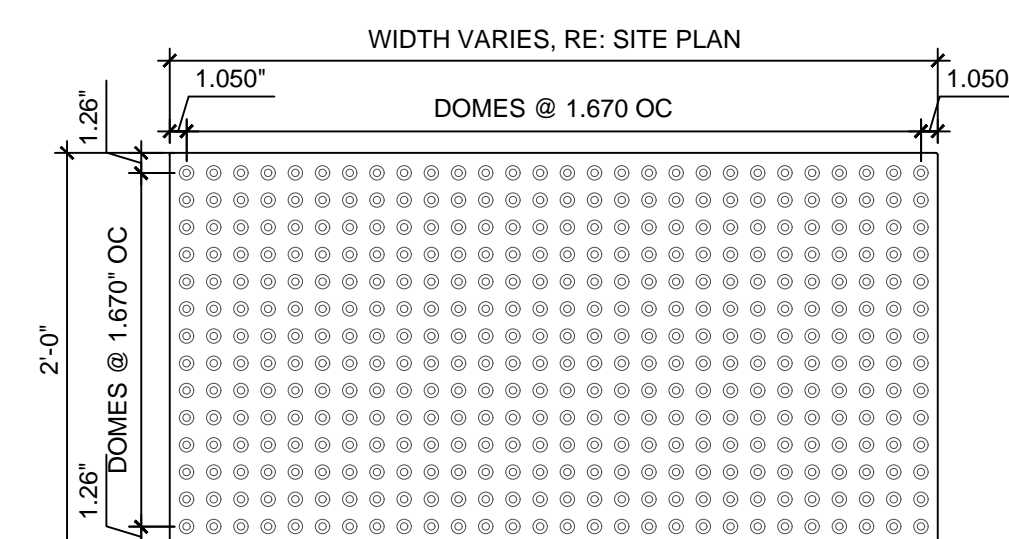
D2 CONC SIDEWALK

1 1/2" = 1'-0"



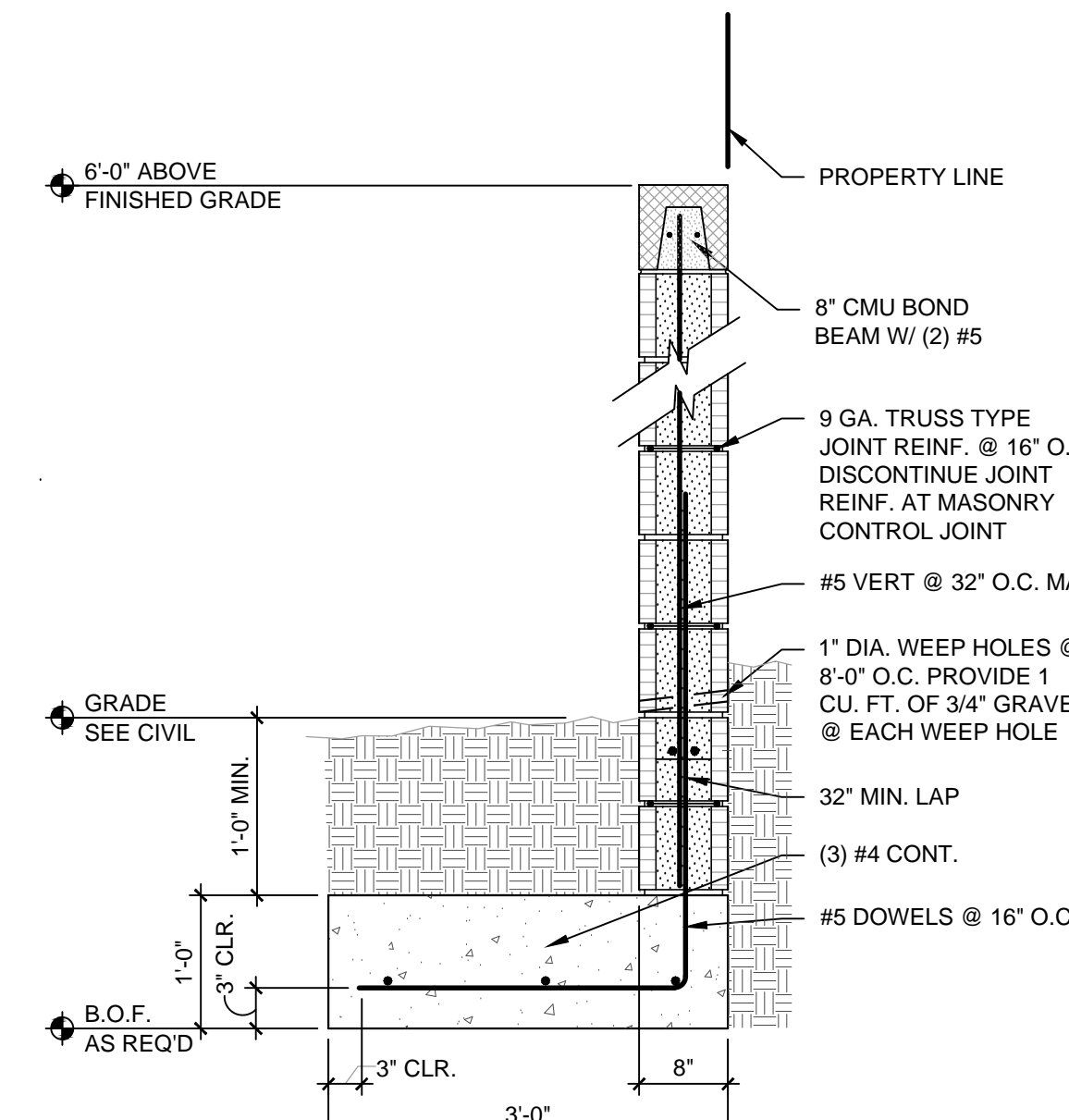
D3 CONC PAVING JOINTS

1 1/2" = 1'-0"



D4 DETECTABLE/TACTILE WARNING SURFACE TILE

1" = 1'-0"

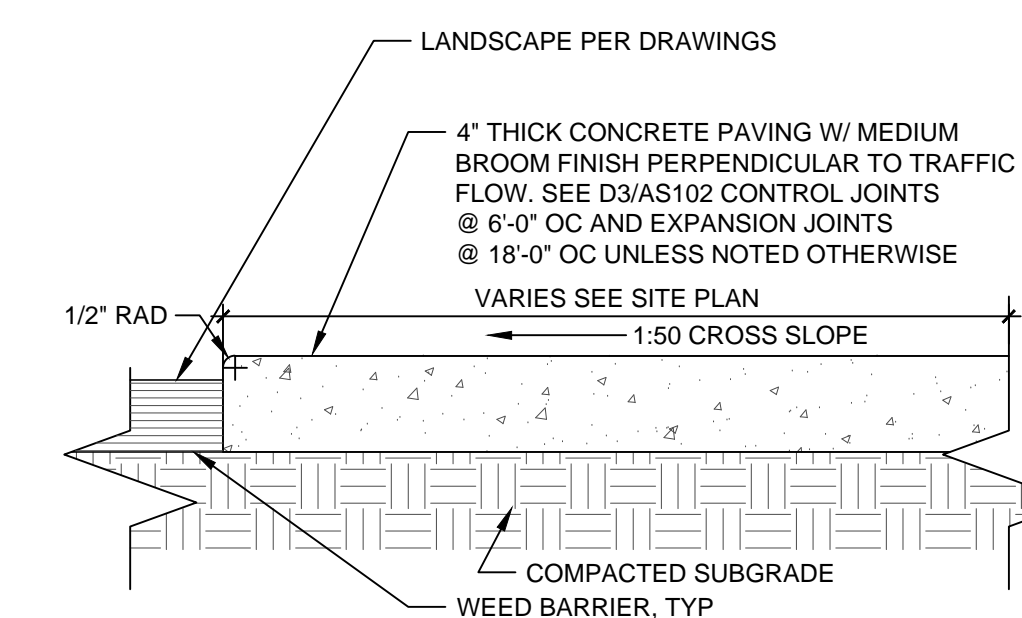


C5 SITE WALL SECTION

3/4" = 1'-0"

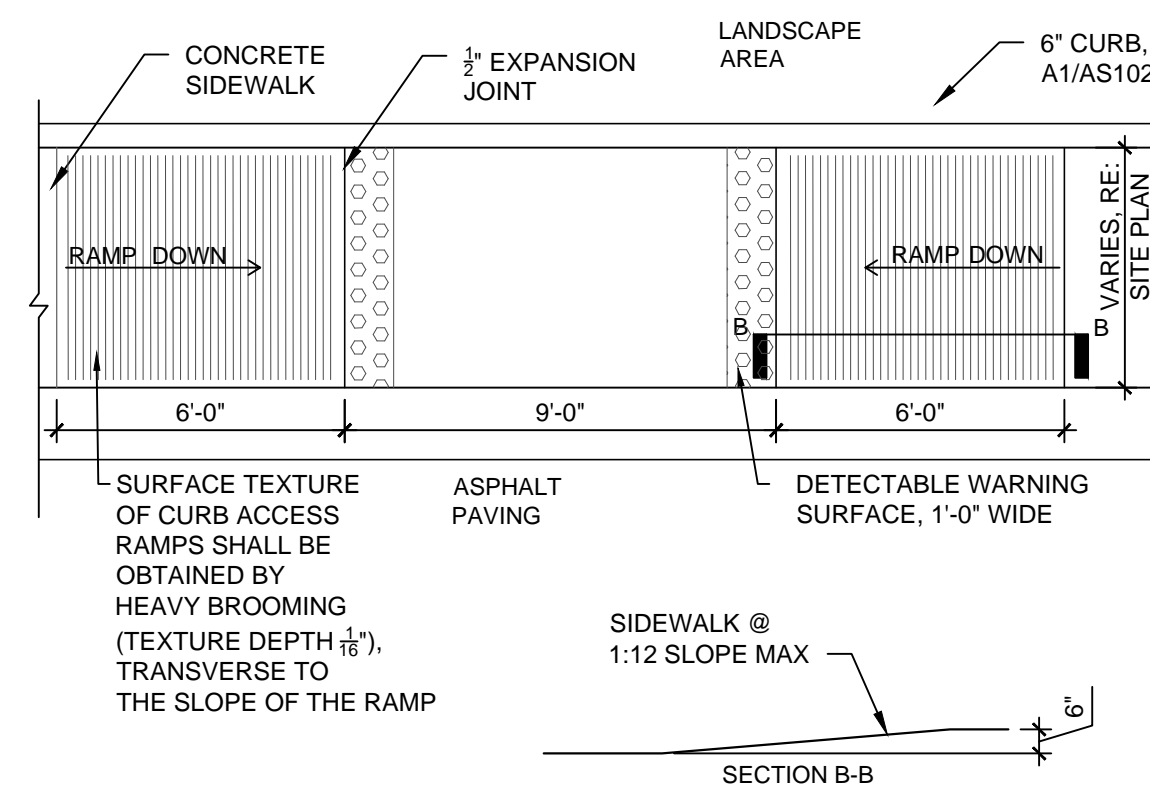
REBAR Fy = 40,000 PSI
CONCRETE Fy = 3,000 PSI CMU
Fm = 1,500 PSI
GROUT = 2,000 PSI

PROVIDE MASONRY CONTROL JOINTS @ 12'-0" O.C. WITH PREFORMED CONT. NEOPRENE EXPANSION JOINT. PROVIDE (1)-VERT. BAR EACH SIDE OF MCJ TO MATCH VERT. WALL REINF.



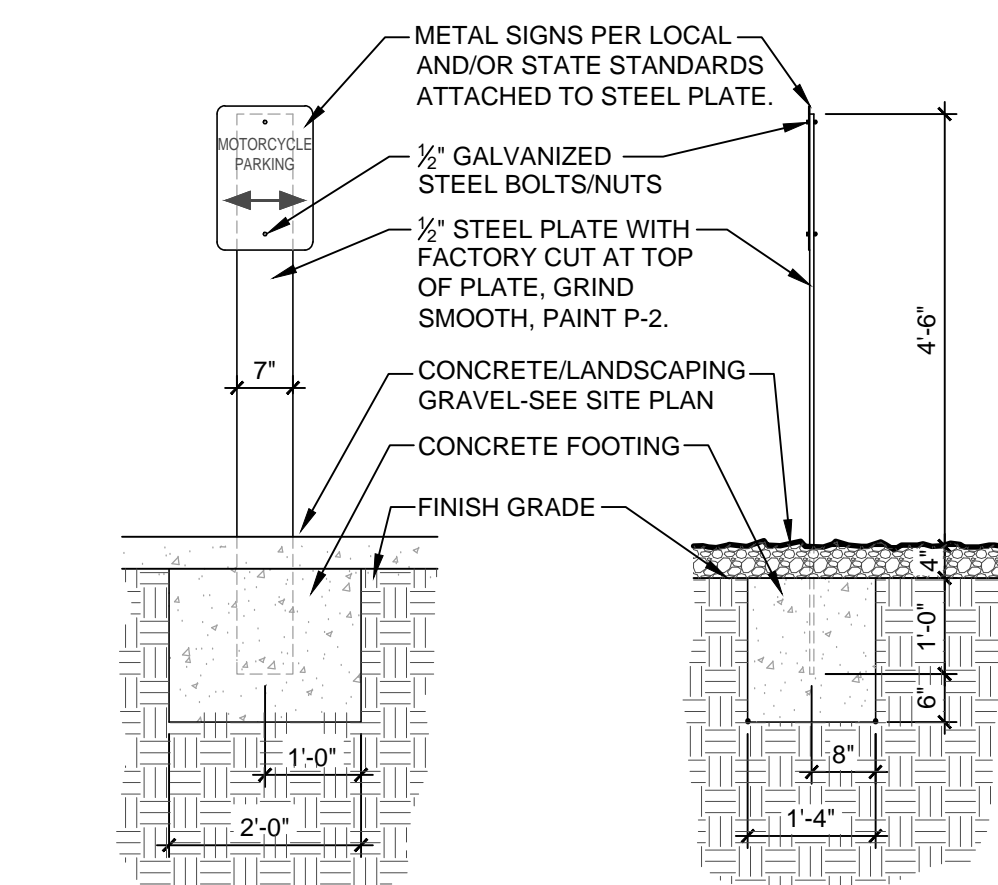
C1 CONC. FLATWORK

1 1/2" = 1'-0"



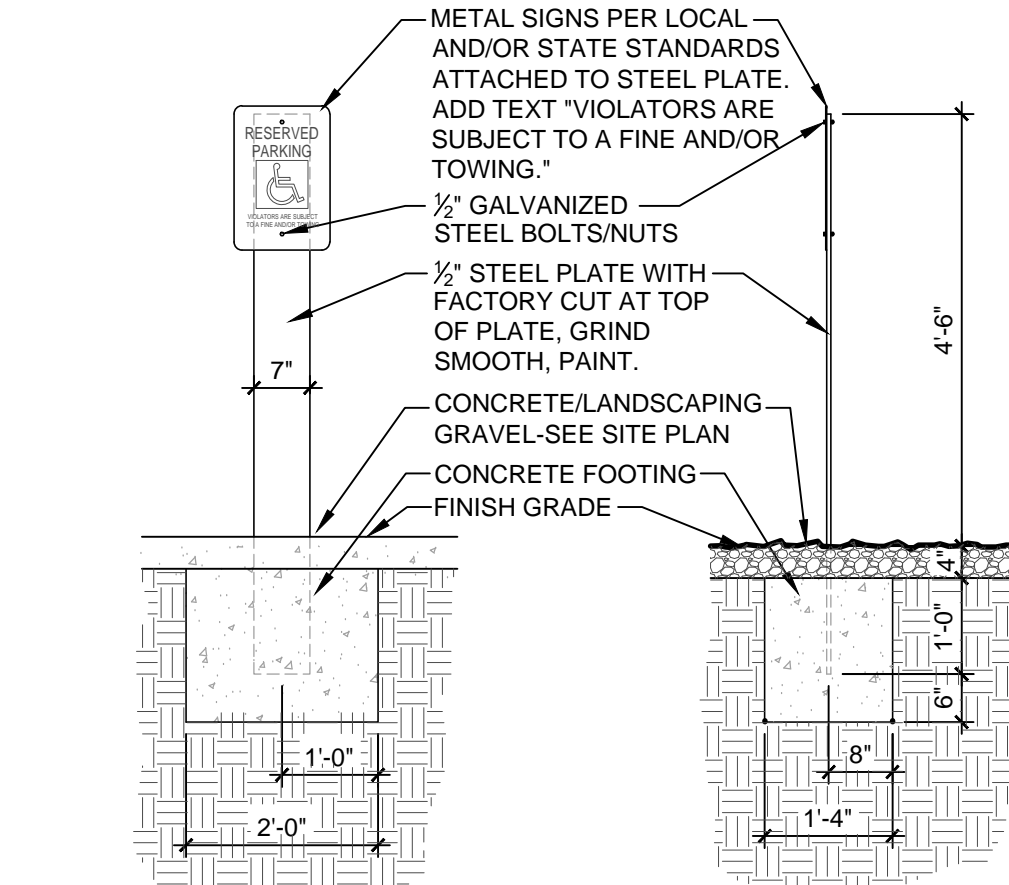
C2 ACCESSIBLE RAMP

1/4" = 1'-0"



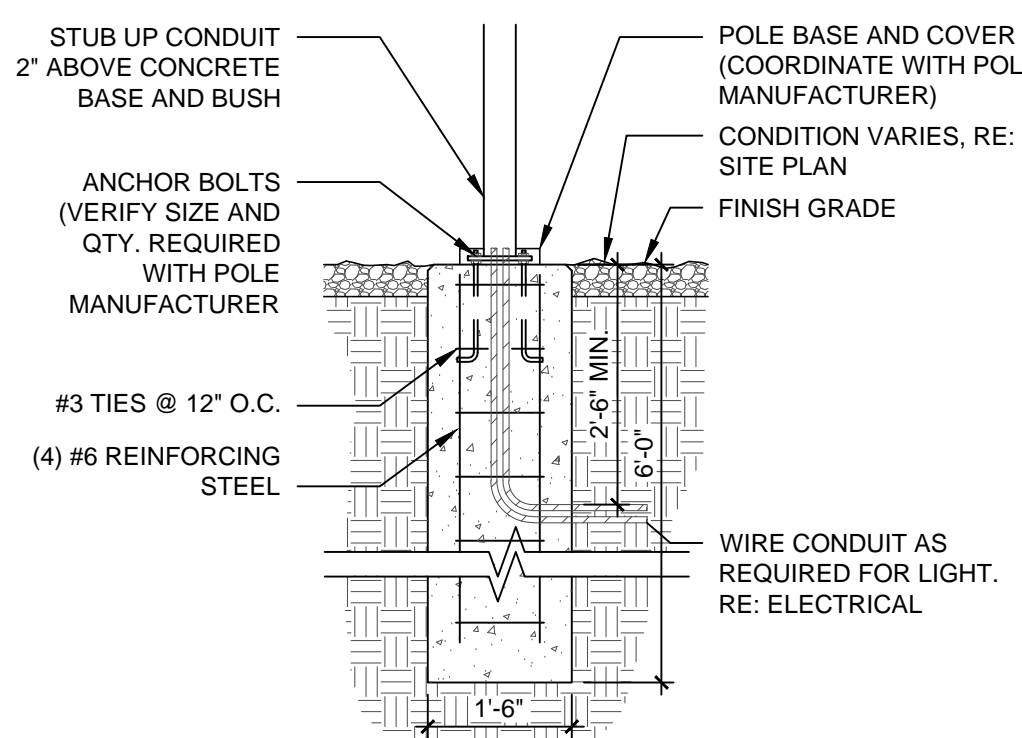
C3 MOTORCYCLE SIGN

1/2" = 1'-0"



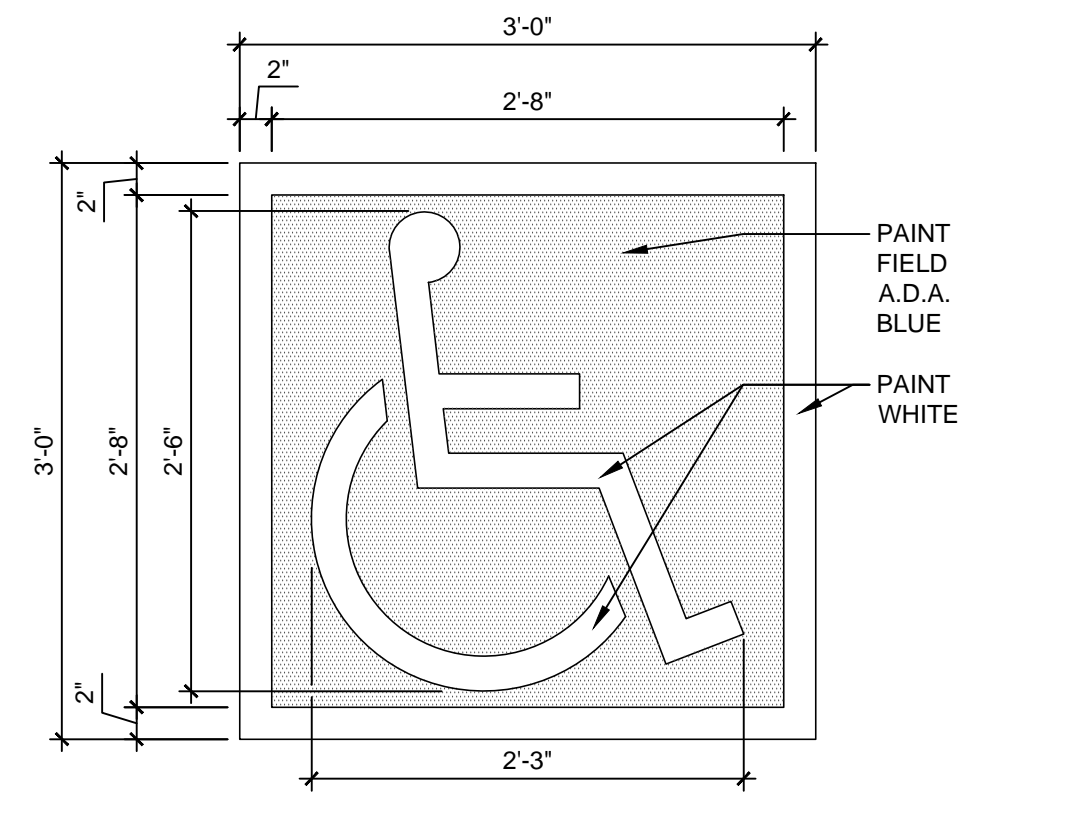
C4 ACCESSIBLE PARK. SIGN

1/2" = 1'-0"



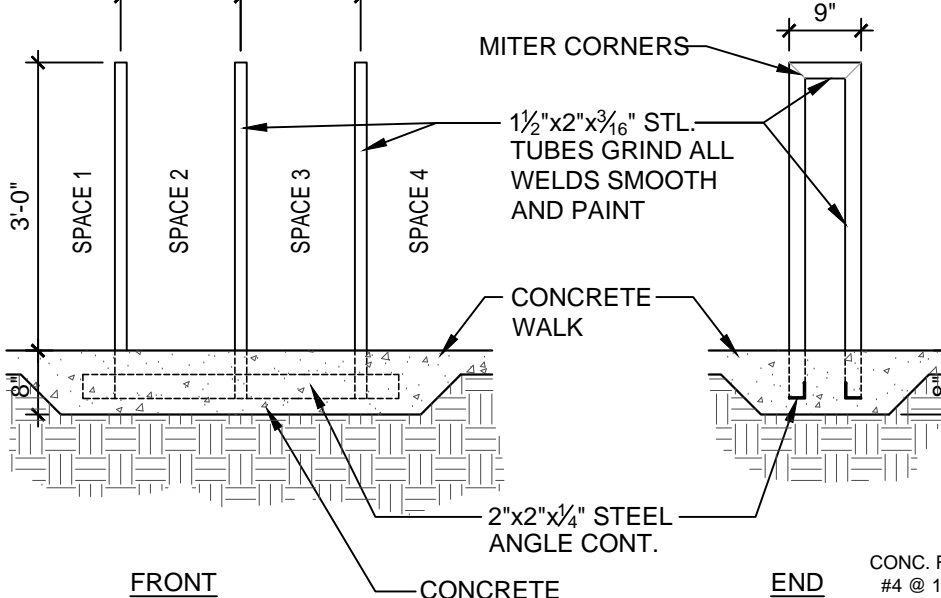
B1 LIGHT POLE BASE

1/2" = 1'-0"



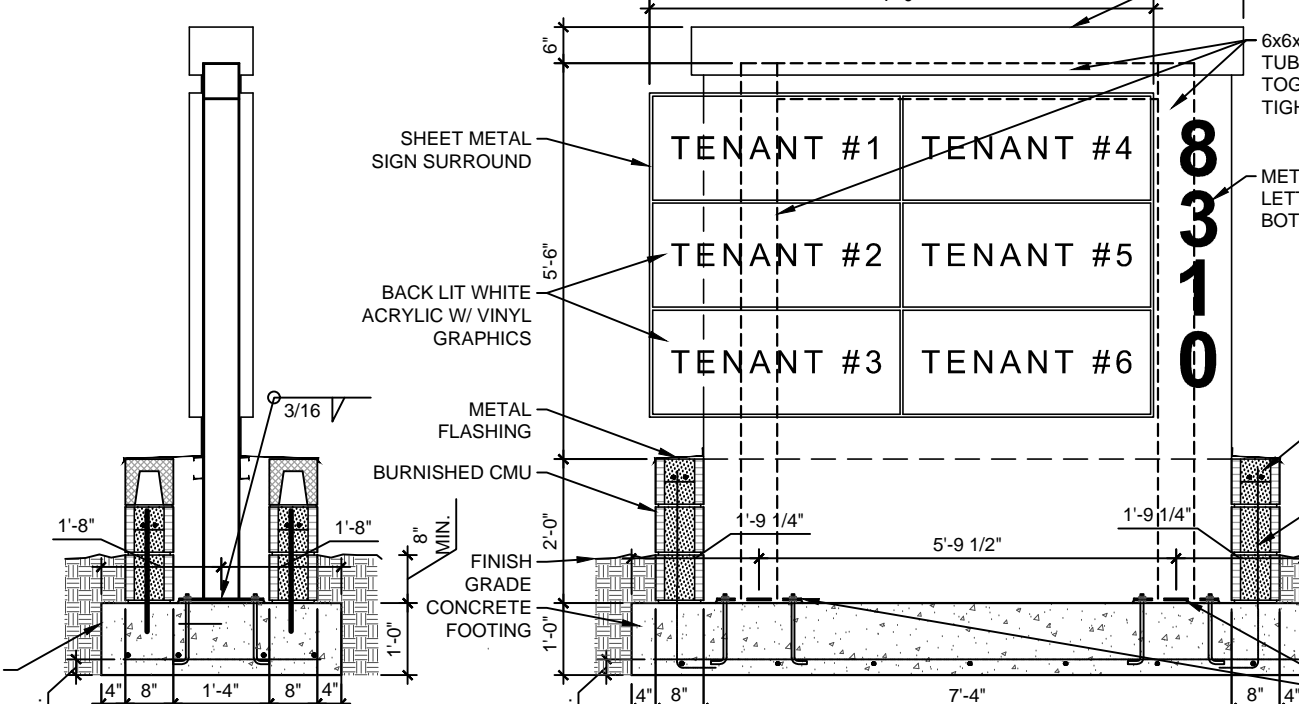
B2 A.D.A. PARKING SPACE PAVEMENT SIGNAGE

1" = 1'-0"



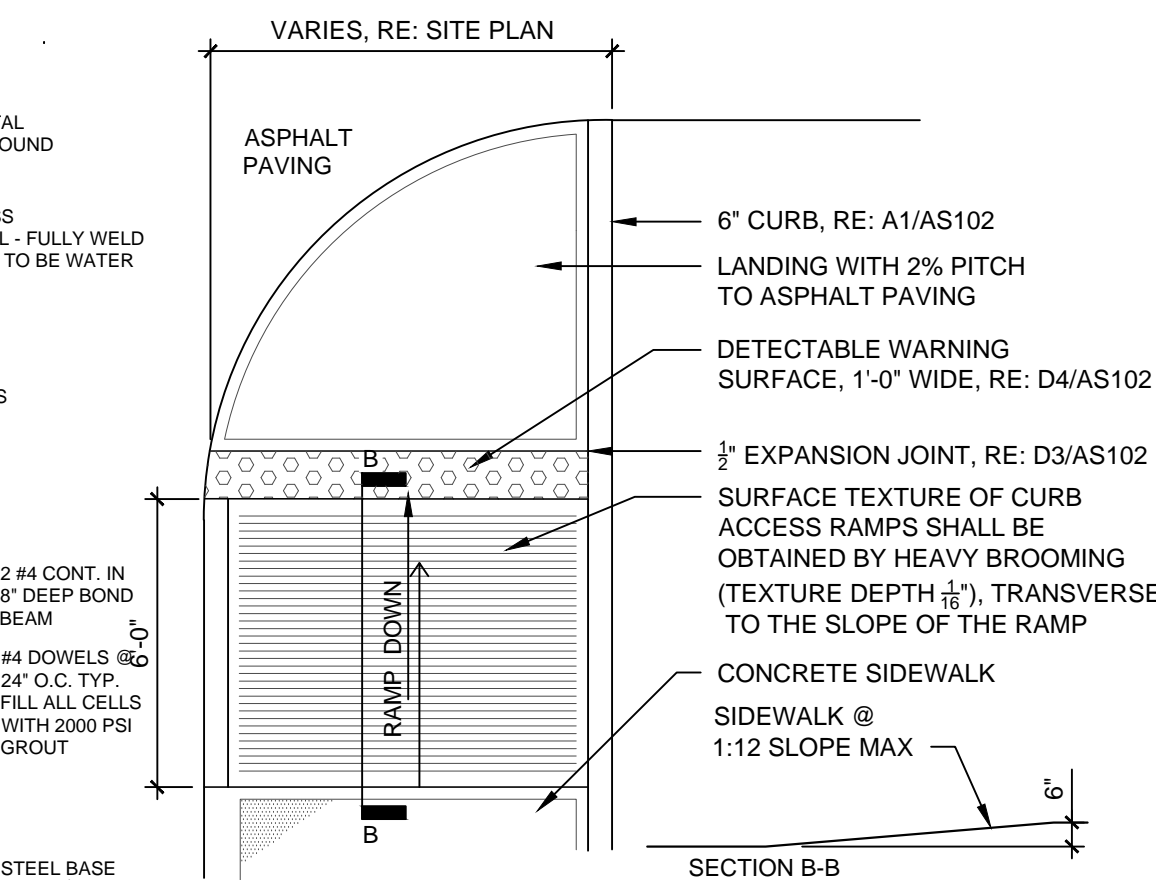
B3 BICYCLE RACK

1/2" = 1'-0"



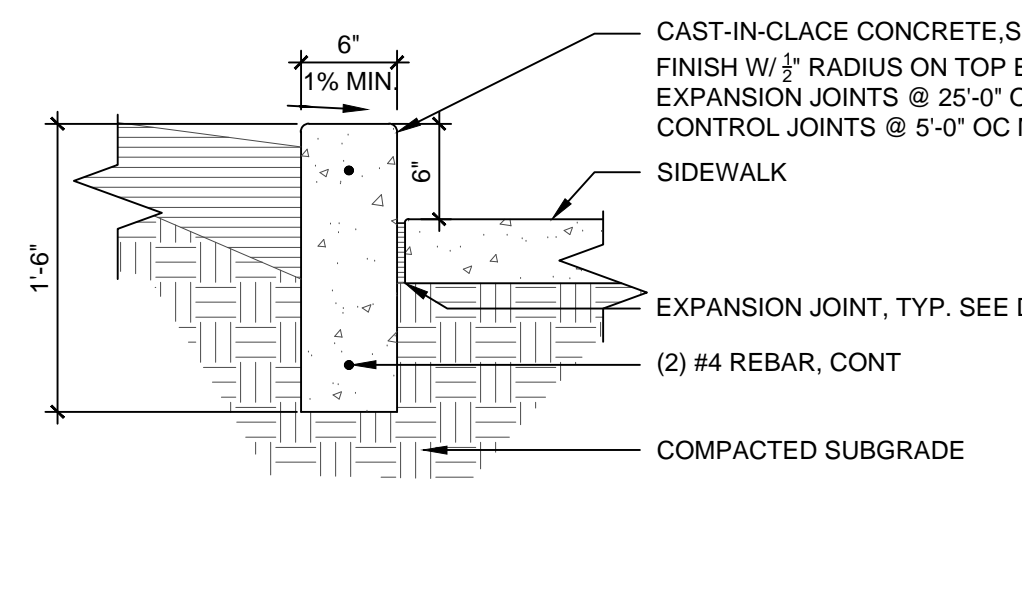
B4 MONUMENT SIGN

3/8" = 1'-0"



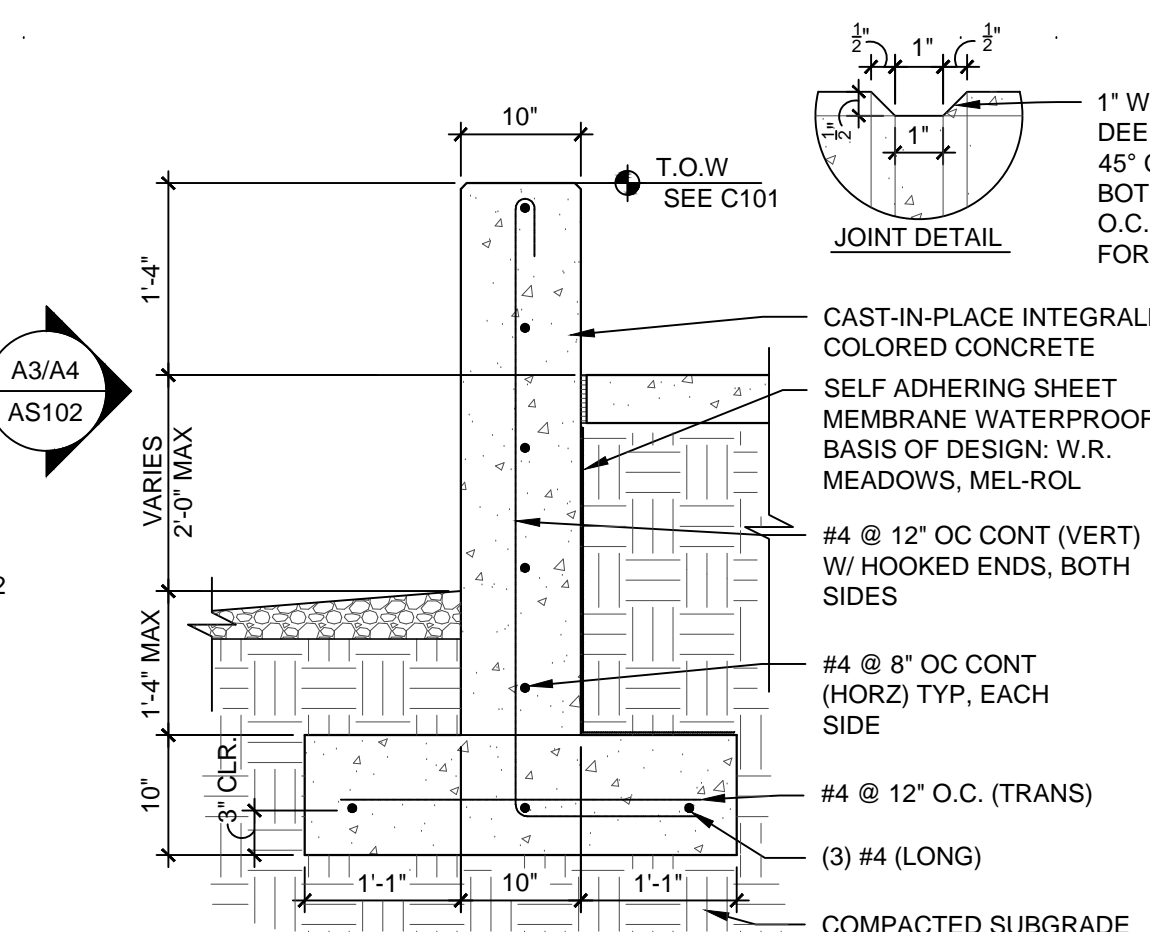
B5 ACCESSIBLE RAMP

1/4" = 1'-0"



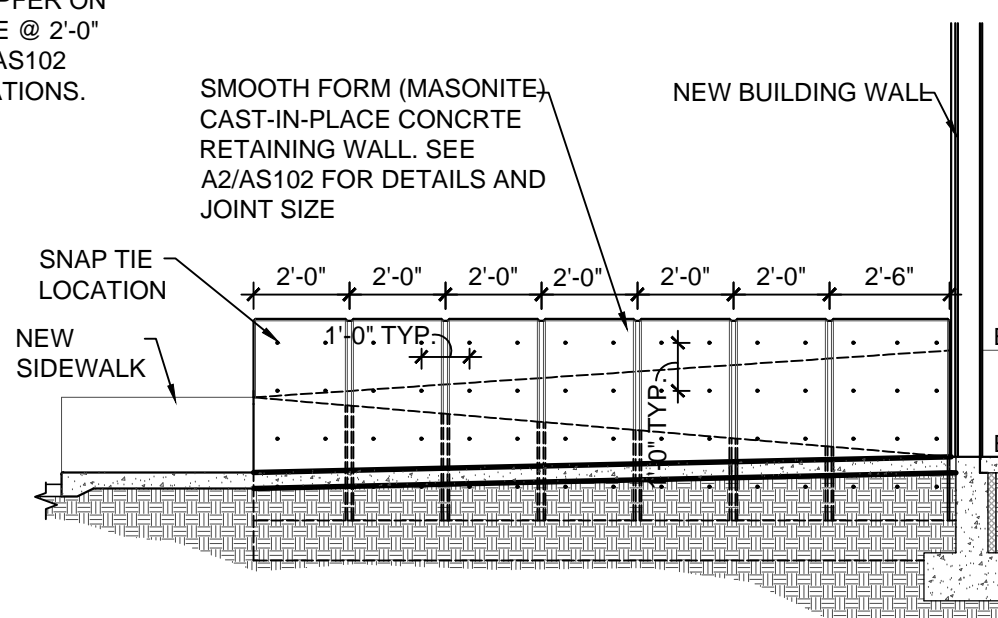
A1 HEADER CURB

1" = 1'-0"



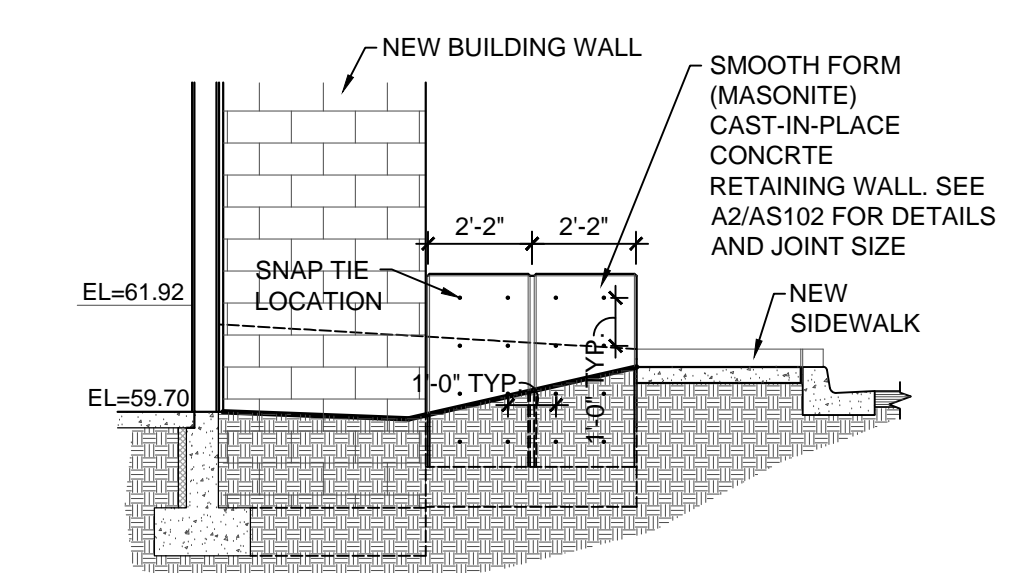
A2 RETAINING WALL

3/4" = 1'-0"



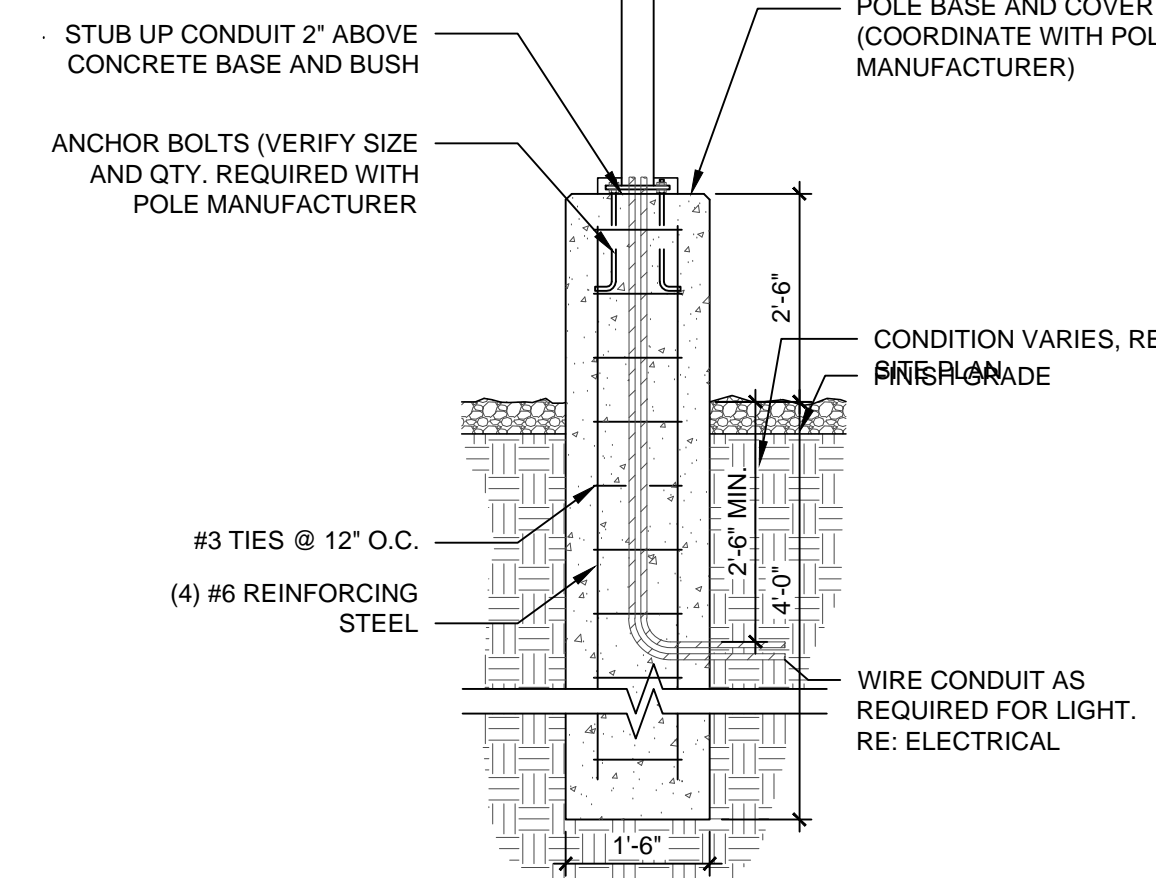
A3 WALL ELEVATION

1/4" = 1'-0"



A4 WALL ELEVATION

1/4" = 1'-0"



A5 LIGHT POLE BASE

1/2" = 1'-0"