

CITY OF ALBUQUERQUE



February 1, 2013

Brian Warren, P.E.
Bohannon Huston, Inc.
7500 Jefferson NE – Courtyard 1
Albuquerque, NM 87109

Re: Mountain America Credit Union, 8021 Ventura St. NE
Request for Permanent C.O. –Accepted
Engineer's Stamp Dated: 5-18-12, (D20/D010A)
Certification Dated: 1-30-13

Dear Mr. Warren,

Based on the Certification received 1/30/2013, the site is acceptable for a release of a Permanent Certificate of Occupancy by Hydrology.

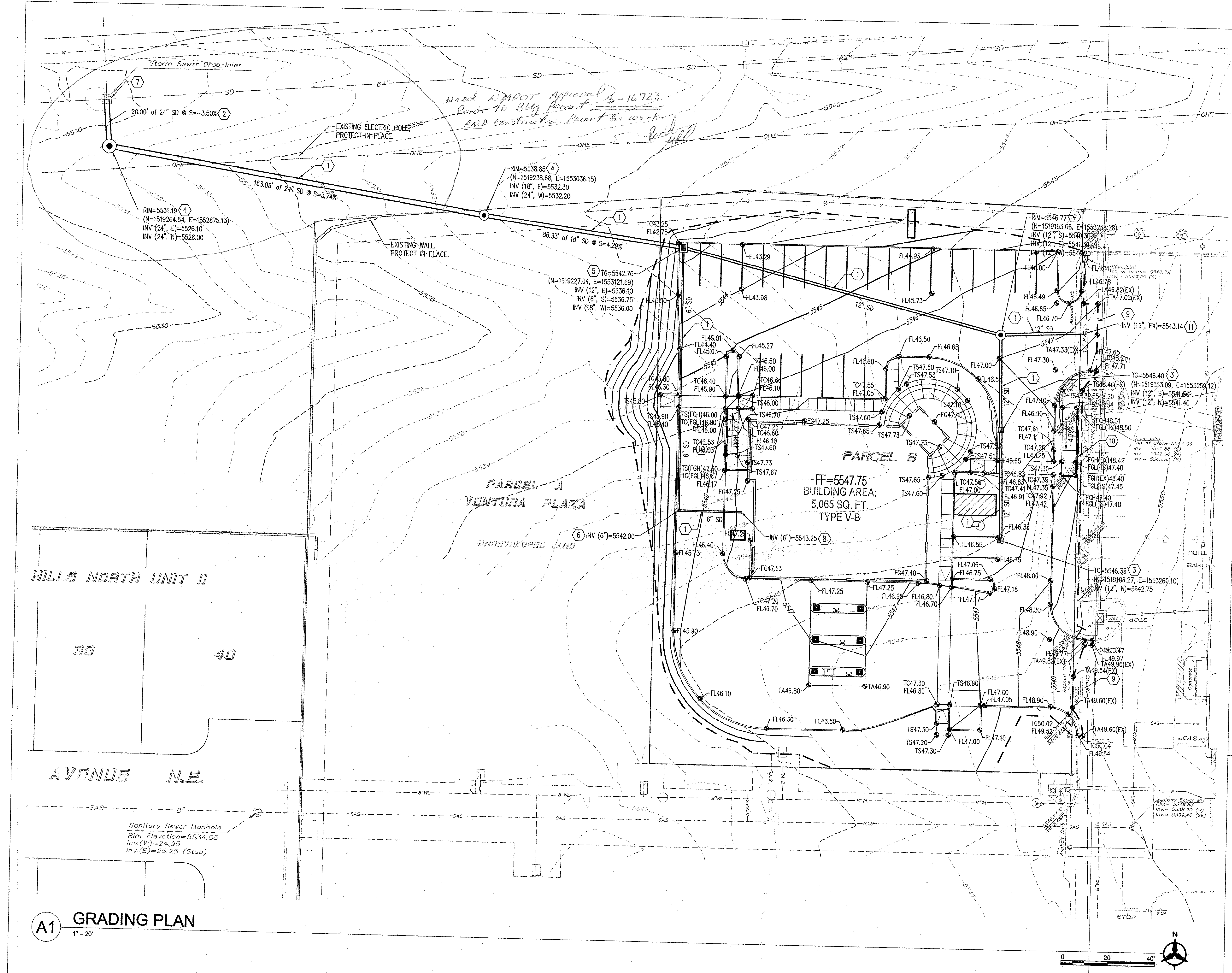
Hydrology is asking for an electronic copy, in PDF format, of this certification for our records. This PDF file can be e-mailed to me at: sbiazar@cabq.gov.

If you have any questions, you can contact me at 924-3695.

Sincerely,

Shahab Biazar, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: CO Clerk—Katrina Sigala
e-mail



A1 GRADING PLAN
1" = 20'

GRADING KEYED NOTES

1. INSTALL SD PIPE; HDPE N-12WT OR APPROVED EQUAL, SIZE PER PLAN.
2. INSTALL RCP, CLASS III, STORM DRAIN PIPE, SIZE PER PLAN.
3. INSTALL 24" NYLOPLAST (OR APPROVED EQUAL) STORM BASIN INLET STRUCTURE W/ STANDARD GRATE (H-25 LOADING).
4. INSTALL 6" STORM DRAIN MANHOLE PER COA STD DWG 2102.
5. INSTALL WATER QUALITY TYPE "D" SINGLE GRATE INLET, PER DETAIL A1, SHEET C-200, & COA STD DWG 2206.
6. INSTALL PRE-FABRICATED, WATER-TIGHT, STORM DRAIN FITTING.
7. CONNECT STORM DRAIN LINE TO EXISTING STORM DRAIN BASIN. CONTRACTOR TO VERIFY TOP OF GRATE AND INVERTS AND CONTACT ENGINEER WITH ANY DISCREPANCIES.
8. CONNECT TO ROOF DRAIN, SEE PLUMBING PLANS FOR CONTINUATION.
9. MATCH TO EXISTING FINISHED GRADE, EXISTING SPOT ELEVATIONS SHOWN ARE APPROXIMATE.
10. RETAINING WALL, SEE ARCHITECTURAL PLAN FOR DETAIL.
11. CONNECT TO EXISTING 12" STORM DRAIN, INSTALL PRE-FABRICATED, WATER TIGHT, STORM DRAIN FITTING, CAP EXISTING 12" STORM DRAIN ON DOWNSTREAM END. CONTRACTOR SHALL VERIFY LOCATION AND INVERT AND CONTACT ENGINEER WITH ANY DISCREPANCIES.

At Inlet for DWP.

Grading map on cert. Provide Loc. MAP on CERT.

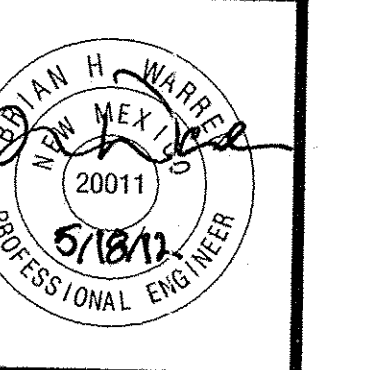
LEGEND

- PROPERTY LINE
- PROJECT LIMITS OF GRADING
- EXISTING INDEX CONTOUR
- EXISTING INTERMEDIATE CONTOUR
- EXISTING GROUND ELEVATION
- PROPOSED GROUND ELEVATION
FL=FLOW LINE, TC=TOP OF CURB
TS=TOP OF SIDEWALK, TG=TOP OF GRATE,
FGH=FINISH GROUND HIGH SIDE,
FGL=FINISH GROUND LOW SIDE
- DIRECTION OF FLOW
- GRADE BREAK/WATER BLOCK
- PROPOSED INDEX CONTOUR
- PROPOSED INTERMEDIATE CONTOUR
- PROPOSED CURB & GUTTER
- PROPOSED RETAINING WALL
- PROPOSED STORM DRAIN LINE
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED STORM DRAIN INLETS

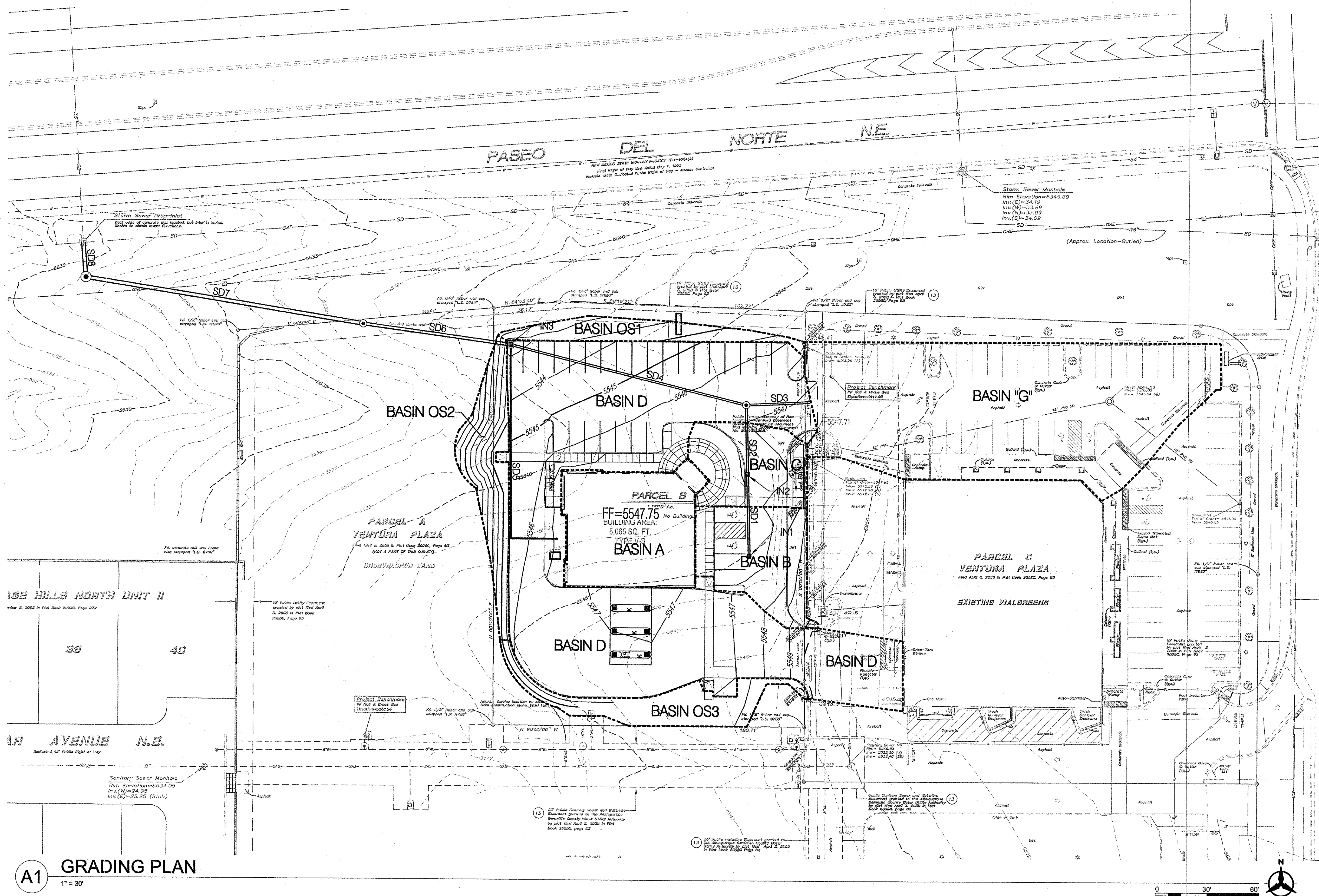


REV	DATE	DESCRIPTION

PROJECT: MOUNTAIN AMERICA CREDIT UNION
ALBUQUERQUE BRANCH
PASEO DEL NORTE & VENTURA ST. - PARCEL B
ALBUQUERQUE, NM 87109
EMA ARCHITECTS | 800 WASHINGTON BLVD. - OGDEN, UT 84001 | PH: 801-616-3463



SHEET TITLE: GRADING PLAN
SHEET NUMBER: C-201
PROJECT: 2013.0048 ORIGINAL ISSUE: 05/19/2012
D20/DC10A 1-13



A1 GRADING PLAN
1" = 30'

Mountain America Credit Union											
Proposed Developed Conditions Basin Data Table											
This table is based on the DPM Section 22.2, Zone: 3											
Basin ID	Area (SQ. FT)	Area (AC.)	Land Treatment Percentages				Q(100yr) (cfs/ac.)	Q(100yr) (CFS)	V(100yr) (inches)	V(100yr-6hr) (CF)	V(100yr-24hr) (CF)
CURRENT BASINS											
A	5204	0.12	0.0%	0.0%	0.0%	100.0%	5.02	0.60	2.36	1023	1197
B	3612	0.08	0.0%	0.0%	10.0%	90.0%	4.86	0.40	2.25	678	786
C	3008	0.07	0.0%	0.0%	10.0%	90.0%	4.86	0.34	2.25	565	655
D	25183	0.58	0.0%	0.0%	5.0%	95.0%	4.94	2.86	2.31	4840	5638
"G"	17095	0.39	0.0%	0.0%	5.0%	95.0%	4.94	1.94	2.31	3286	3827
OS1	1692	0.04	0.0%	0.0%	100.0%	0.0%	3.45	0.13	1.29	182	182
OS2	2689	0.06	0.0%	0.0%	100.0%	0.0%	3.45	0.21	1.29	289	289
OS3	2442	0.06	0.0%	0.0%	100.0%	0.0%	3.45	0.19	1.29	262	262
TOTAL	60925	1.40	-	-	-	-	-	6.68	-	11126	12837

INLET TABLE					
Inlet #	Inlet Type	Basin	Actual Flow	Avail Head ft	Capacity** CFS
IN1	24" NYLOPLAST*	BASIN B	0.40	0.48	5.00
IN2	24" NYLOPLAST*	BASIN C	0.34	0.25	2.20
IN3	COA TYPE D* (WATER QUALITY)	BASIN D	2.86	0.50	7.50
*INLET IN SUMP CONDITION					

STORM DRAIN PIPE TABLE					
PIPE #	INLET/SD/BASIN	Size in.	Slope	Capacity* cfs	ACTUAL FLOW cfs
SD1	IN1	12	2.67%	5.82	0.40
SD2	SD1, IN2	12	2.75%	5.91	0.74
SD3	BASIN "G"	12	5.00%	7.97	1.94
SD4	SD2, SD3	12	2.92%	6.09	2.68
SD5	BASIN A	6	4.60%	1.20	0.60
SD6	SD4, SD5, IN3	18	4.30%	21.78	6.13
SD7	SD5	24	3.75%	43.81	6.13
SD8	SD6	24	3.50%	42.32	6.13
Capacity Based on Manning's Eq w/ N=0.013					

SITE LOCATION AND BACKGROUND INFORMATION

THE PURPOSE OF THIS SUBMITTAL IS TO PRESENT A DRAINAGE AND GRADING PLAN FOR A PROPOSED CREDIT UNION WITHIN THE PASEO DEL NORTE AND VENTURA BLVD DEVELOPMENT, VENTURA PLAZA. THE SITE IS BOUND TO THE NORTH BY PASEO DEL NORTE, WALGREENS IS TO THE EAST, AND VACANT LAND TO THE WEST AND SOUTH. THIS SUBMITTAL IS IN SUPPORT OF BUILDING PERMIT APPROVAL.

EXISTING CONDITIONS

THE SITE IS APPROXIMATELY ONE ACRE AND SLOPES EAST TO WEST WITH THE MAJORITY OF DRAINAGE DISCHARGING INTO PASEO DEL NORTE RIGHT-OF-WAY.

PROPOSED CONDITIONS

THE DRAINAGE PLAN FOR THIS SITE FOLLOWS THE GUIDELINES AND FRAMEWORK OF THE APPROVED OVERALL DRAINAGE MANAGEMENT PLAN FOR THE AREA, STAMP DATE 11-9-2011 (COA HYDRO FILE D20/D010).

THIS SITE WAS DIVIDED INTO SEVEN BASINS, FOUR ON-SITE & THREE OFF-SITE. THESE BASINS SURFACE FLOW TO A STORM DRAIN SYSTEM THAT CONNECTS TO THE STORM DRAIN WITHIN PASEO DEL NORTE.

THE ENTIRE SITE WAS ANALYZED UNDER DEVELOPED "COMMERCIAL" CONDITIONS (SEE PROPOSED DEVELOPED CONDITIONS TABLE, THIS SHEET) AND THE LOCALIZED STORM DRAIN SYSTEM, SD1-SD5, WAS SIZED TO CONVEY THE DEVELOPED DRAINAGE INCLUDING BASIN G AS SPECIFIED IN THE OVERALL DRAINAGE MANAGEMENT PLAN, APPROXIMATELY 6.2 CFS. STORM DRAIN PIPE SD5 & SD6 WERE SIZED TO CONVEY APPROXIMATELY 17 CFS IN ACCORDANCE WITH THE APPROVED OVERALL DRAINAGE MANAGEMENT PLAN.

THE DRAINAGE THAT DISCHARGES FROM THE SITE WILL PASS THROUGH A WATER QUALITY INLET IN THE NORTHWEST CORNER OF THE PARKING LOT BEFORE ENTERING INTO THE PUBLIC STORM DRAIN SYSTEM IN PASEO DEL NORTE.

FLOOD PLAIN

IN ACCORDANCE WITH FEMA COMMUNITY MAP PANEL #350010C141F, THE SITE IS NOT LOCATED WITHIN A FLOOD PLAIN.

OFFSITE FLOWS

THERE ARE NO SIGNIFICANT UPSTREAM OFFSITE FLOWS WHICH WILL IMPACT THIS SITE. THE DISCHARGE FROM THE THREE OFF-SITE BASINS, OS1-OS3, WILL NOT HAVE A NEGATIVE IMPACT ANY DOWNSTREAM STRUCTURES, AND PREVIOUSLY ACCOUNTED FOR IN THE OVERALL DMP AND WALGREENS DMP.

CONCLUSIONS

THIS DRAINAGE SUBMITTAL HAS BEEN PREPARED IN ACCORDANCE WITH THE APPROVED DRAINAGE PLAN FOR THE AREA AND WITH THE CITY OF ALBUQUERQUE REQUIREMENTS. THIS PLAN CLEARLY DEMONSTRATES THE PROPOSED, GRADING AND DRAINAGE PLAN. THE IMPLEMENTATION OF THIS DESIGN WILL RESULT IN THE SAFE PASSAGE OF THE 100 YEAR STORM EVENT. WITH THIS SUBMITTAL WE REQUEST HYDROLOGY DEPARTMENT APPROVAL OF THIS GRADING AND DRAINAGE PLAN FOR BUILDING PERMIT APPROVAL OF THE CREDIT UNION SITE.

- LEGEND**
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 - PROPOSED RETAINING WALL
 - PROPOSED STORM DRAIN LINE
 - PROPOSED STORM DRAIN MANHOLE
 - PROPOSED STORM DRAIN INLETS

PROJECT: MOUNTAIN AMERICA CREDIT UNION
ALBUQUERQUE BRANCH
PASEO DEL NORTE & VENTURA ST. - PARCEL B
ALBUQUERQUE, NM 87109

EMA ARCHITECTS | 2009 WASHINGTON BLVD - OGDEN, UT 84007 | PH: 801-416-3483

SEAL:

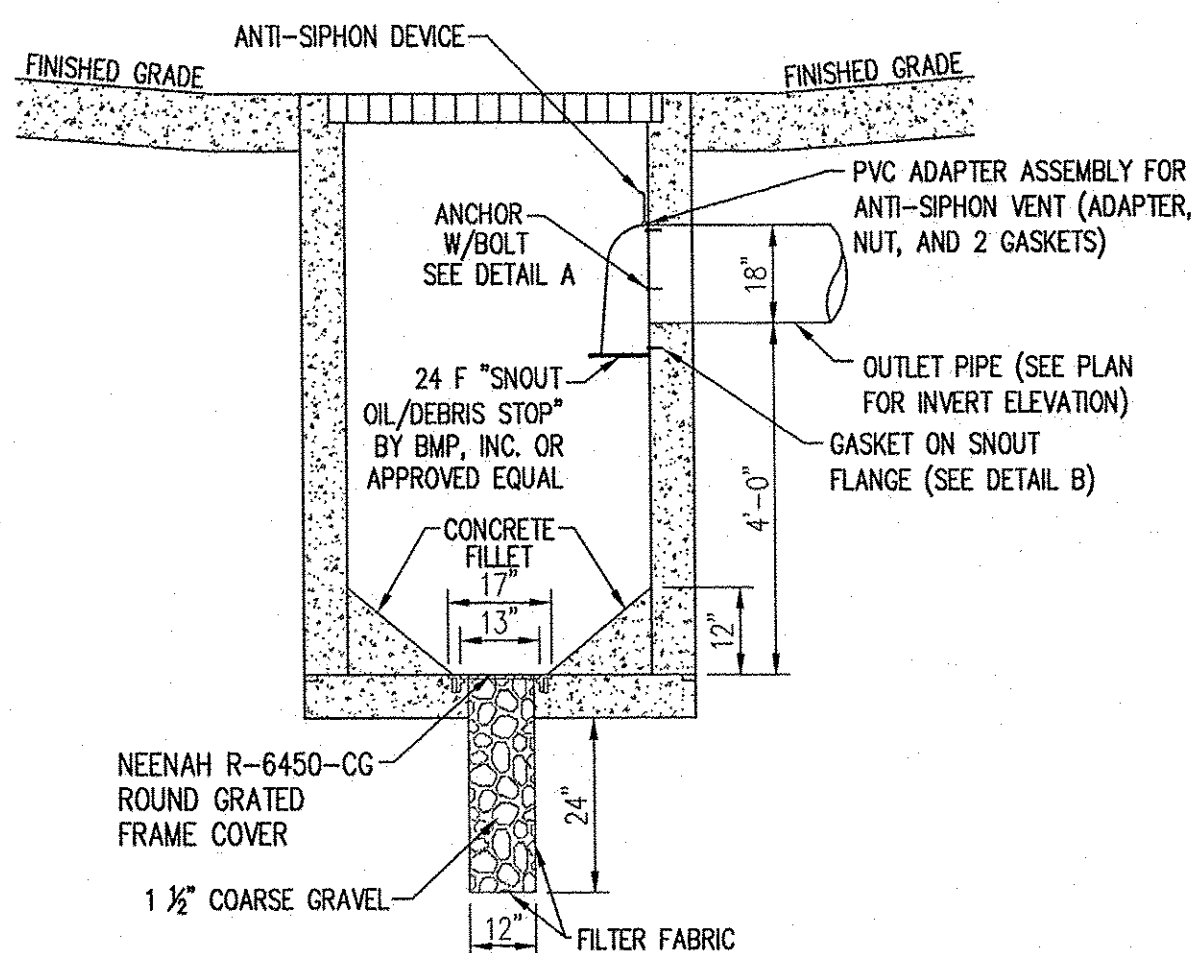
SHEET TITLE: DRAINAGE MANAGEMENT PLAN

SHEET NUMBER: DMP-01

SCALE: 1" = 20'

PROJECT: 2013.0048 ORIGINAL ISSUE: 05/10/2012

2013.0048 ORIGINAL ISSUE: 05/10/2012



A1 WATER QUALITY INLET
N.T.S.

GRADING NOTES

1. EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
2. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
3. ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEO TECHNICAL INVESTIGATION," AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, (FIRST PRIORITY) SPECIFICATIONS, THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY), AND/OR UNIVERSITY OF NEW MEXICO STANDARD SPECIFICATIONS (THIRD PRIORITY).
4. EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
5. IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
6. THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS OR SILT FENCE AT THE PROPERTY LINES AND WETTING THE SOIL TO PREVENT IT FROM WIND EROSION.
7. A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL, AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAUL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
8. PAVING AND ROADWAY GRADES SHALL BE $\pm 0.1'$ FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE $\pm 0.05'$ FROM BUILDING PLAN ELEVATION.
9. ALL PROPOSED CONTOURS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR MEDIANS AND ISLANDS.
10. VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION PRIOR TO BEGINNING CONSTRUCTION.

1. THIS CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE INSTALLATION OF ALL WORK RELATED TO MECHANICAL UTILITIES AS SHOWN ON THIS PLAN INCLUDING: TRENCHING, BACKFILL, SUPPORTS, CLEANOUT PADS, SERVICE STOPS AND BOXES, SERVICE LINES, TESTING, CLEANING, AND STERILIZING. ANY WORK NOT ACCEPTED BY THE ARCHITECT OR ENGINEER DUE TO IMPROPER WORKMANSHIP OR LACK OF PROPER COORDINATION SHALL BE REMOVED AND CORRECTLY INSTALLED AT THE CONTRACTOR'S EXPENSE, AS DIRECTED.
2. MINIMUM DEPTHS OF COVER SHALL BE: 36" FOR WATERLINES AND 48" FOR SEWER, EXCEPT AT BUILDING CONNECTION.
3. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED OF HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE UNIFORM PLUMBING CODE & NFPA 24, LATEST EDITION.
4. UTILITY LINES SHALL BE INSTALLED PRIOR TO PAVEMENT, CURB AND GUTTER, AND/OR SIDEWALK, AS APPLICABLE.
5. ROUGH GRADING OF SITE ($\pm 0.5'$) SHALL BE COMPLETED PRIOR TO INSTALLATION OF UTILITY LINES.
6. CONTRACTOR WILL BE RESPONSIBLE FOR CONNECTIONS TO BUILDING DRAIN LINES AND ALL NECESSARY FITTINGS.
7. ALL VALVES CONNECTED TO AN EXISTING LINE SHALL BE ANCHORED PER COA STANDARD DWS. 2333.
8. FIRE LINES SHALL USE PIPE MATERIALS UNDERWRITERS LABORATORIES LISTED AND APPROVED FOR FIRE SERVICE.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WATER METER, FIRE LINE, AND SEWER HOOKUP FEES FOR INSTALLATIONS. OWNER SHALL BE RESPONSIBLE FOR UTILITY EXPANSION CHARGES, PERMITS AND OTHER SPECIAL ASSESSMENTS.
10. CONTRACTOR SHALL VERIFY INVERTS AND LOCATIONS OF EXISTING UTILITY LINES PRIOR TO BEGINNING WORK. ALL CONFLICTS SHALL BE BROUGHT TO ATTENTION OF THE ENGINEER AND RESOLVED PRIOR TO BEGINNING WORK.
11. CONTRACTOR SHALL NOTIFY THE AUTHORITY HAVING JURISDICTION PRIOR TO INSTALLATION OF FIRE SERVICE LINES, AND PRIOR TO TESTING OF ALL WATERLINES. CONTRACTOR SHALL COMPLETE, SIGN, AND SUBMIT THE "CONTRACTOR'S MATERIAL & TEST CERTIFICATE FOR UNDERGROUND PIPING" IN ACCORDANCE WITH NFPA 24.
12. AT UTILITY CROSSINGS WHERE LESS THEN EIGHTEEN (18) INCHES OF CLEARANCE BETWEEN TOP AND BOTTOM OF PIPES IS PRESENT, LEAN FILL IS TO BE USED FOR A DISTANCE OF 3 FEET ON EITHER SIDE OF THE LARGEST DIAMETER PIPE AND TO THE $\frac{1}{2}$ OF THE LOWER PIPE TO THE $\frac{1}{2}$ OF THE UPPER CROSSING PIPE.
13. PROVIDE BOLLARDS TO PROTECT METER, AS PER PNM & UPC REQUIREMENTS.
14. UTILITY EASEMENTS SHOWN ON CONSTRUCTION DOCUMENTS ARE A GRAPHICAL REPRESENTATION ONLY, NOT NECESSARILY RECORDED EASEMENTS. SEE RECORDED DOCUMENTS FOR EXACT EASEMENT GEOMETRY.



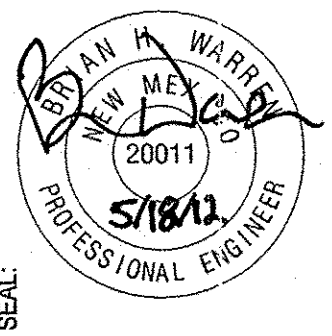
THIS DRAWING IS NOT TO BE USED AS PART OF AN UNPUBLISHED COLLECTION OF VISUAL ART. UNDER THE 1978 COPYRIGHT ACT, IT IS AN EXCLUSIVE ORIGINAL WORK OF AUTHORSHIP. NONE OF THE PICTORIAL, GRAPHIC OR TECHNICAL CHARTS OR DRAWINGS DEPICTED ON THIS SHEET MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS WITHOUT THE EXPRESS PRIOR WRITTEN PERMISSION OF THE ARCHITECT. THIS PLAN IS PRODUCED ONLY FOR THIS PROJECT ON THIS SITE AND MAY NOT BE USED AT OTHER LOCATIONS.

[illegible]

PROJECT: **MOUNTAIN AMERICA CREDIT UNION**

ALBUQUERQUE BRANCH
PASEO DEL NORTE & VENTURA ST. - PARCEL B
ALBUQUERQUE, NM 87109

EMA ARCHITECTS | 2909 WASHINGTON BLVD - OGDEN, UT 84401 | PH: 801-618-3463



**CIVIL NOTES
& DETAILS**

SHEET NUMBER:

C-200

SCALE: 1" = 20'