

CITY OF ALBUQUERQUE

PLANNING DEPARTMENT – Development & Building Services



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June 5, 2012

Brian Warren, P.E.
Bohannon Huston, Inc.
7500 Jefferson NE – Courtyard 1
Albuquerque, NM 87109

Re: Mountain America Credit Union Grading & Drainage Plan, (D20-D010A)
Parcel B, Parcels A, B & C Ventura Plaza (P.E. Stamp: 5/18/12)

Dear Mr. Warren,

Based upon the information provided in your submittal received May 22, 2012, on the above referenced plan we have the following comments:

- ✓ 1. The Drainage Plan is in compliance with the DMP approved on November 12, 2009 for the overall plat. You need to address the following comments for this specific site.
- ✓ 2. Since the 24" storm drain outfall at the NW corner of the site will tie into the 64" storm drain within the Paseo del Norte R/W, it will require approval and a permit from the NM-DOT, District 3. (Contact Timothy Trujillo, Drainage Engineer: 505-798-6690)
- ✓ 3. Prior to City approval of this plan, we require documentation (or email) from NM-DOT of their concurrence with work proposed within their R/W, and citing the PE Signature date on the plan that they approve.
4. This plan lacks a few presentation features required for Grading and Drainage Plans, per the DPM Chapter 22. Please review and update any revised submittal. If DOT approves this plan, I ask that you at least add a location map to the as-built Certification Plan.

✓AD

Prior to Permanent Certificate of Occupancy approval, an Engineer's Certification of compliance with this revised Grading and Drainage plan is required per the DPM.

If you have any questions, you can contact me at 924-3695.

Sincerely,

Gregory R. Olson, P.E.
Senior Engineer

Orig: Drainage file D20/D010A
c.pdf Addressee via Email Bwarren@BHInc.com
TimothyR.Trujillo@state.nm.us
Christina.Bahl@state.nm.us

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DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV. 12/2005)

PROJECT TITLE: Mountain America Credit Union ZONE MAP/DRG. FILE #: D20 DIDA
DRB #. _____ EPC#. _____ WORK ORDER #. _____

LEGAL DESCRIPTION: Parcel B Plat of Parcels A, B, & C Ventura Plaza
CITY ADDRESS: SW Corner of Paseo del Norte & Ventura St. -- Parcel B

ENGINEERING FIRM: Bohannon Huston, Inc.
ADDRESS: 7500 Jefferson Street NE
CITY, STATE: Albuquerque, NM

CONTACT: Brian Warren, PE
PHONE: (505) 823-1000
ZIP CODE: 87109

OWNER: Mountain America Credit Union
ADDRESS: PO Box 9001
CITY, STATE: West Jordan, UT

CONTACT: _____
PHONE: _____
ZIP CODE: 84084-9001

ARCHITECT: EMA Architects
ADDRESS: 2909 Washington Blvd
CITY, STATE: Ogden, UT

CONTACT: John Wetendorf
PHONE: 801-618-3463
ZIP CODE: 84401

SURVEYOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

☐	DRAINAGE REPORT
☒	DRAINAGE PLAN 1 ST SUBMITTAL
☐	DRAINAGE PLAN RESUBMITTAL
☒	GRADING PLAN
☐	EROSION CONTROL PLAN
☐	ENGINEER'S CERTIFICATION (HYDROLOGY)
☐	CLOMR/LOMR
☐	TRAFFIC CIRCULATION LAYOUT (TCL)
☐	ENGINEER'S CERTIFICATION (TCL)
☐	ENGINEER'S CERTIFICATION (DRB APPR. SITE PLAN)
☐	OTHER

CHECK TYPE OF APPROVAL SOUGHT:

☐	SIA / FINANCIAL GUARANTEE RELEASE
☐	PRELIMINARY PLAT APPROVAL
☐	S. DEV. PLAN FOR SUB'D APPROVAL
☐	S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐	SECTOR PLAN APPROVAL
☐	FINAL PLAT APPROVAL
☐	FOUNDATION PERMIT APPROVAL
☒	BUILDING PERMIT APPROVAL
☐	CERTIFICATE OF OCCUPANCY (PERM.)
☐	CERTIFICATE OF OCCUPANCY (TEMP.)
☒	GRADING PERMIT APPROVAL
☐	PAVING PERMIT APPROVAL
☐	WORK ORDER APPROVAL
☐	OTHER (SPECIFY)

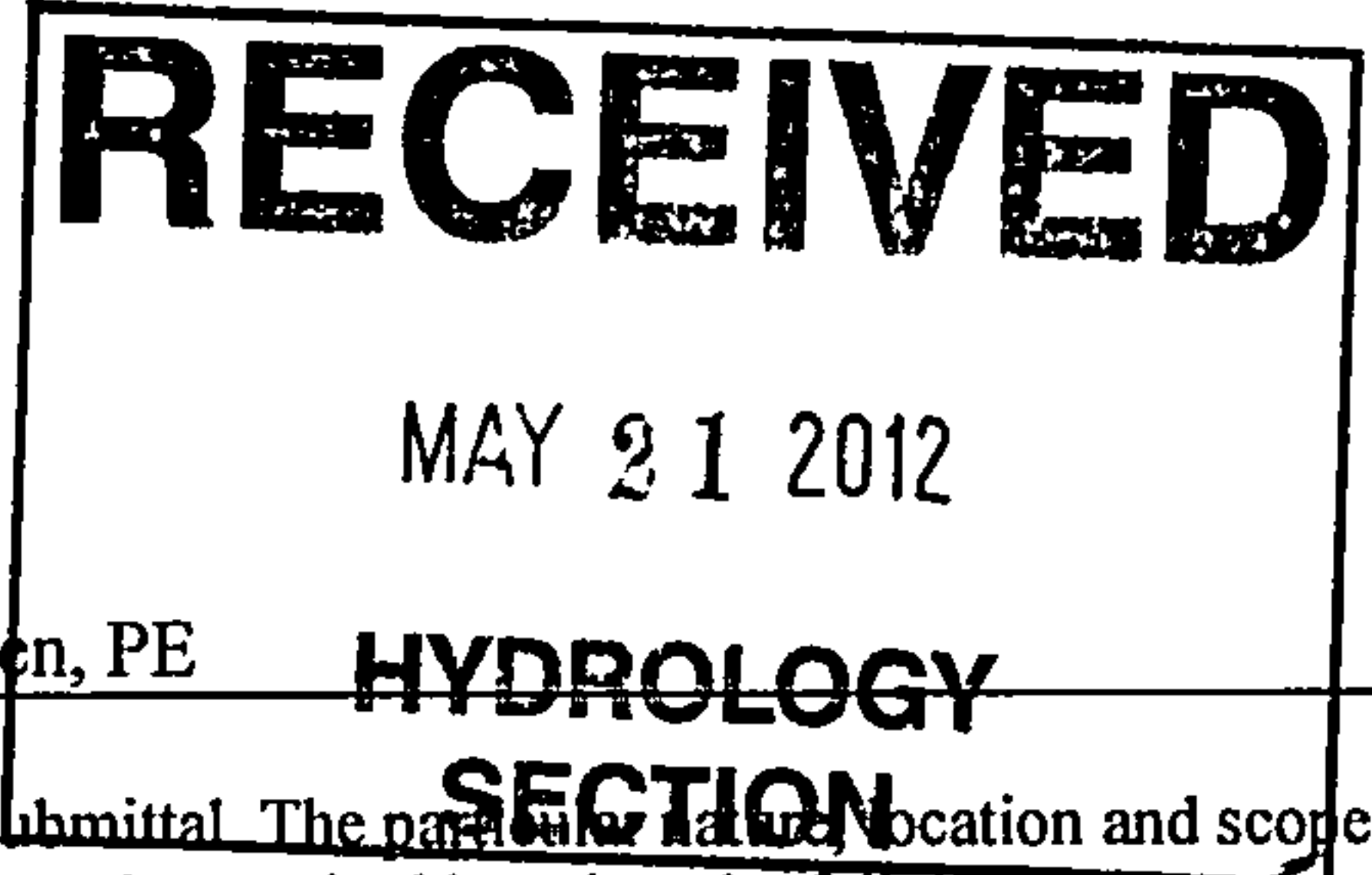
WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐	YES
☒	NO
☐	COPY PROVIDED

DATE SUBMITTED: 5-18-12 BY: Brian Warren, PE **HYDROLOGY**

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



Courtyard I
7500 Jefferson St. NE
Albuquerque, NM
87109-4335

www.bhinc.com

voice: 505.823.1000
facsimile: 505.798.7988
toll free: 800.877.5332

CLIENT/COURIER TRANSMITTAL

To: Shahab Biazar, PE
COA Hydrology Dept.
Plaza Del Sol

Requested by: Brian Warren

Date: 5/18/12

Time Due: ☒ This A.M.
☐ This P.M.
☐ Rush _____
☐ By Tomorrow

Phone: 924-3695

Job No.: 20130048

Job Name: Mountain America Credit Union

DELIVERY VIA

☒ Courier ☐ Federal Express
☐ Mail ☐ UPS
☐ Other

PICK UP

Item: _____

<u>ITEM NO.</u>	<u>QUANTITY</u>	<u>DESCRIPTION</u>
1	1	Drainage Info Sheet
2	1	Grading Plan, stamp date 5/18/12
3	1	Drainage Management Plan, stamp date 5/18/12

COMMENTS / INSTRUCTIONS

Shahab,

Please find attached our 100% Grading Plan Construction Documents & Drainage Management Plan for a Mountain America Credit Union Project. With this submittal we are seeking Building Permit Approval. This project is part of an approved Master Grading and Drainage Plan, hydrology number D20/D010 Please feel free to call me with any questions or comments.

Thanks!

Brian Warren
798-7844

BWarren@BHInc.com

REC'D BY: _____ DATE: _____ TIME: _____

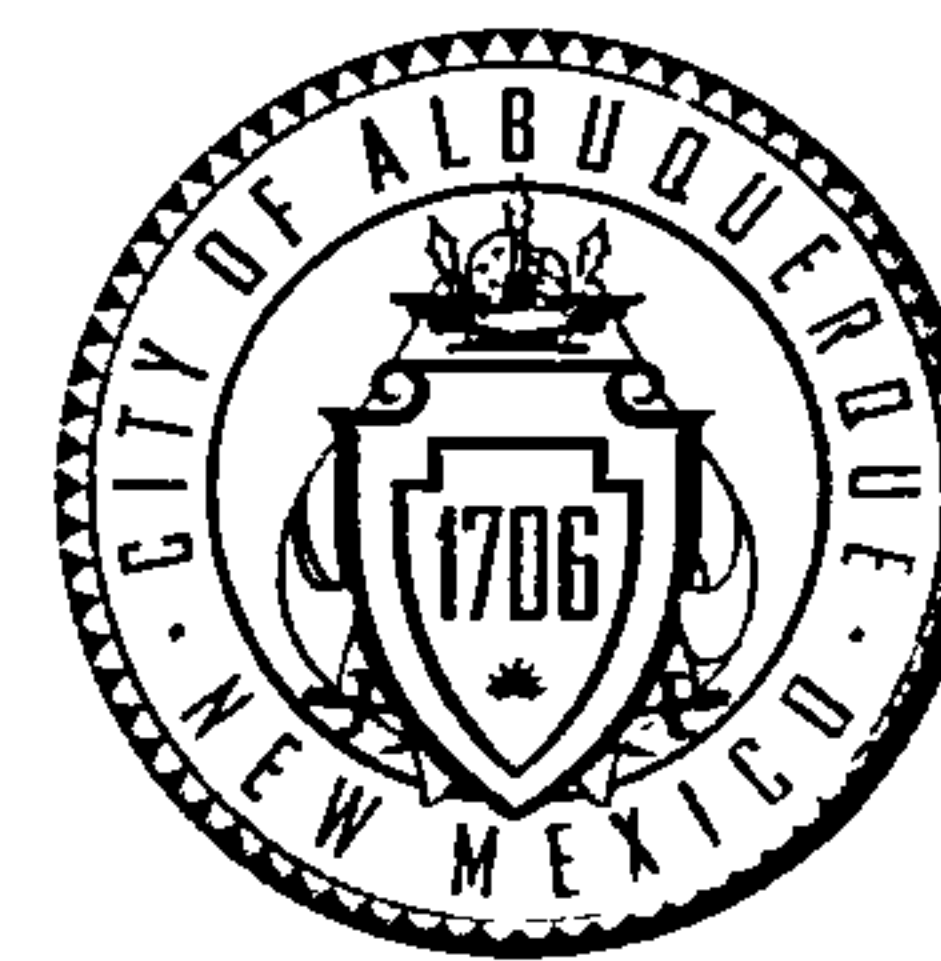
ENGINEERING ▲

SPATIAL DATA ▲

ADVANCED TECHNOLOGIES ▲

CITY OF ALBUQUERQUE

PLANNING DEPARTMENT – Development & Building Services



August 28, 2012

Brian Warren, P.E.
Bohannon Huston, Inc.
7500 Jefferson NE – Courtyard 1
Albuquerque, NM 87109

Re: Mountain America Credit Union Grading & Drainage Plan, (D20-D010A)
Parcel B, Parcels A, B & C Ventura Plaza **P.E. Stamp: 5/18/12**

Dear Mr. Warren,

Based upon the information provided in your submittal received May 22, 2012, and additional approvals from New Mexico Department of Transportation (NM-DOT), documented in your email of 8/23/12, and email from Christina Bahl dated 8/28/12, **the above referenced plan is approved for Grading Permit and Building Permit.**

Prior to Certificate of Occupancy approval from this office, an Engineer's Certification of compliance with this Grading and Drainage plan is required per the DPM. The following items must be addressed as part of that Certification submittal:

1. This plan lacks a few presentation features required for Grading and Drainage Plans, per the DPM Chapter 22. Please review the criteria, and update future submittals. For this site, I ask that you at least add a location map to the as-built Certification Plan.
2. We will require documentation from NM-DOT of their acceptance of the storm drain connection at the NW corner of the site, authorized under NM-DOT Permit # 3-16723.

Albuquerque's MS4 Permit became effective March 1st, 2012. Grading and Drainage Plans and Drainage Reports must comply with the requirements of the new permit. Review at: <ftp://ftp.nmenv.state.nm.us/www/swqb/NPDES/Permits/NMS000101-AlbuquerqueMS4.pdf>

If you have any questions, you can contact me at 924-3695.

Sincerely,

Gregory R. Olson, P.E.
Senior Engineer

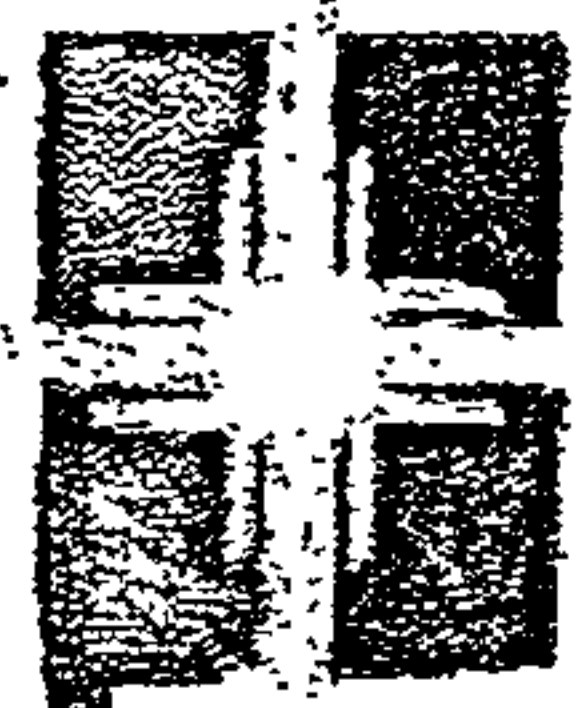
Orig: Drainage file D20/D010A
c.pdf Addressee via Email Bwarren@BHInc.com

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov



NEW MEXICO DEPARTMENT OF
TRANSPORTATION

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Mr. Brian Warren, P.E.
Bohannon Huston Inc.
7500 Jefferson NE
Albuquerque, NM 87109-4335

August 20, 2012

Susana Martinez
Governor

Alvin C. Dominguez, P.E.
Cabinet Secretary

Subject: Authorization to Proceed for Mountain America Credit Union
Ref: Utility Permit # 3-16723

To Install: 24 Inch Storm Drain Connection to existing Inlet

Location: NM 423 from Mile Marker 10.1 Bernalillo County

*****No hand holes or manholes shall be placed in sidewalks or pedestrian/ bicycle paths. *****

Commissioners

Pete K. Rahn
Chairman
District 3

Dr. Kenneth White
Secretary
District 1

Ronald Schmeits
Commissioner
District 4

Butch Mathews
Commissioner
District 5

Jackson Gibson
Commissioner
District 6

Dear Mr. Warren,

We have reviewed the subject utility installation you submitted on behalf of Mountain America Credit Union and find it satisfies State utility regulations as proposed. This correspondence is your authority to proceed with the construction of your facility installation in accordance with the drawings provided to us by your company. This authorization applies only to fee owned State highway right of way; if other lands are involved (Indian, Federal, State, etc.) it is your responsibility to have secured their approval of your installation as well.

Please note that the fully executed utility permit will be returned to you as soon as we receive the required As-Built Plans and the Electronic File. These items are required within 30-thirty days of completion of your installation.

You are required to notify Christina Bahl via fax at (505) 798-6633 or email: christina.bahl@state.nm.us by completing the attached Traffic Control/ Roadway Work Permit Form at least five (5) days in advance of construction. Upon receipt of an approved Traffic Control Permit you will have permission to enter the NMDOT Right of Way.

Should you find it necessary to deviate from the proposed installation or approved TCP, any such deviation must have written approval by the District Three Office prior to proceeding with construction. All work performed must meet or exceed the NMDOT's Standard Specifications for Highway and Bridge Construction, current Edition.

In addition to the above requirements:

1. The Traffic Control Plan and all traffic control devices used by the owner and contractor must comply with Part VI of the Manual on Uniform Traffic Control Devices (MUTCD) 2009 or most recent edition.
2. The utility owner and contractor shall abide by Section 12.0 through 12.5 of the NMSH&TD Utilities Manual under General Utility Construction Requirements.
3. All above-ground utilities shall be marked in accordance with Section 18.0 of the NMSH&TD Utilities Manual under General Utility Construction Requirements.
4. Should the roadside disturbance in conjunction with this permit application be less than one acre, a National Pollution Discharge Elimination System (NPDES) will not be

required. If the roadside disturbance in conjunction with this permit application is greater than one acre, a National Pollution Discharge Elimination System (NPDES) will be required. The applicant shall maintain the required NPDES measures in accordance with the NMDOT's NPDES Specifications and/or the requirements listed in the NMDOT's Drainage Section's approval letter.

If you have any questions please call me at (505) 798-6655 or you can reach me by email: christina.bahl@state.nm.us

Sincerely,

A handwritten signature in black ink, appearing to read 'C. Bahl'.

Christina Bahl
District Three Permit Agent

xc: Antonio Jaramillo, P.E. —District Three Traffic Engineer

CITY OF ALBUQUERQUE



February 1, 2013

Brian Warren, P.E.
Bohannon Huston, Inc.
7500 Jefferson NE – Courtyard 1
Albuquerque, NM 87109

Re: Mountain America Credit Union, 8021 Ventura St. NE
Request for Permanent C.O. –Accepted
Engineer's Stamp Dated: 5-18-12, (D20/D010A)
Certification Dated: 1-30-13

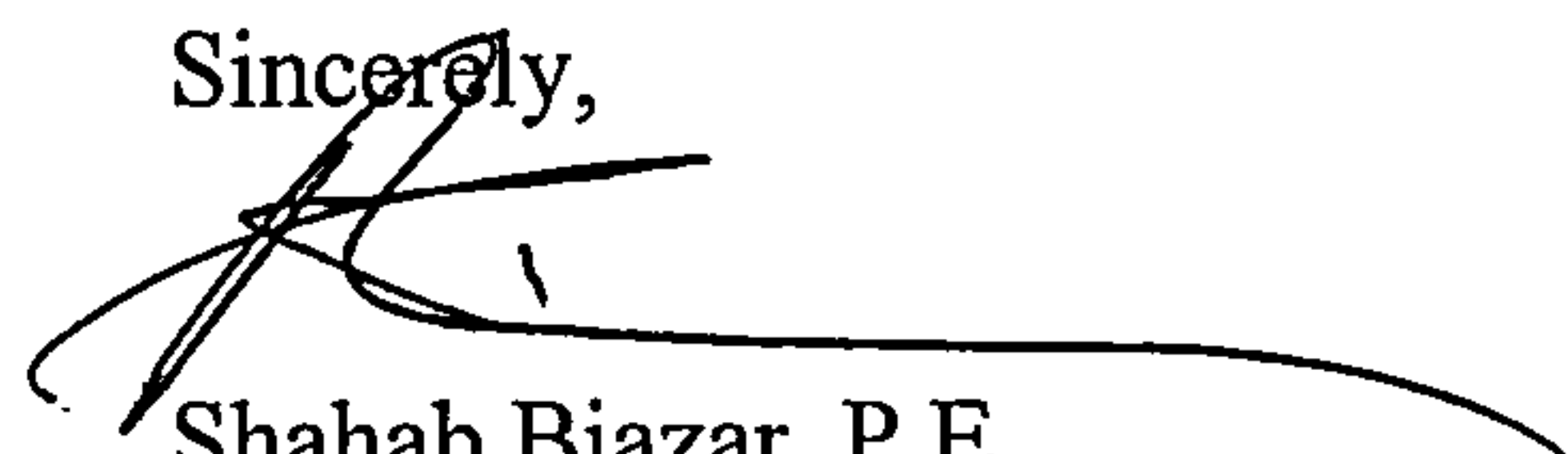
Dear Mr. Warren,

Based on the Certification received 1/30/2013, the site is acceptable for a release of a Permanent Certificate of Occupancy by Hydrology.

Hydrology is asking for an electronic copy, in PDF format, of this certification for our records. This PDF file can be e-mailed to me at: sbiazar@cabq.gov.

If you have any questions, you can contact me at 924-3695.

Sincerely,



Shahab Biazar, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: CO Clerk—Katrina Sigala
e-mail

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DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV. 12/2005)

PROJECT TITLE: Mountain America Credit Union ZONE MAP/DRG. FILE #: D20 / D010A
DRB #: _____ EPC#: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: Parcel B Plat of Parcels A, B, & C Ventura Plaza
CITY ADDRESS: SW Corner of Paseo del Norte & Ventura St. - Parcel B

ENGINEERING FIRM: Bohannon Huston, Inc.
ADDRESS: 7500 Jefferson Street NE
CITY, STATE: Albuquerque, NM

CONTACT: Brian Warren, PE
PHONE: (505) 823-1000
ZIP CODE: 87109

OWNER: Mountain America Credit Union
ADDRESS: PO Box 9001
CITY, STATE: West Jordan, UT

CONTACT: _____
PHONE: _____
ZIP CODE: 84084-9001

ARCHITECT: EMA Architects
ADDRESS: 2909 Washington Blvd
CITY, STATE: Ogden, UT

CONTACT: John Wetendorf
PHONE: 801-618-3463
ZIP CODE: 84401

SURVEYOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

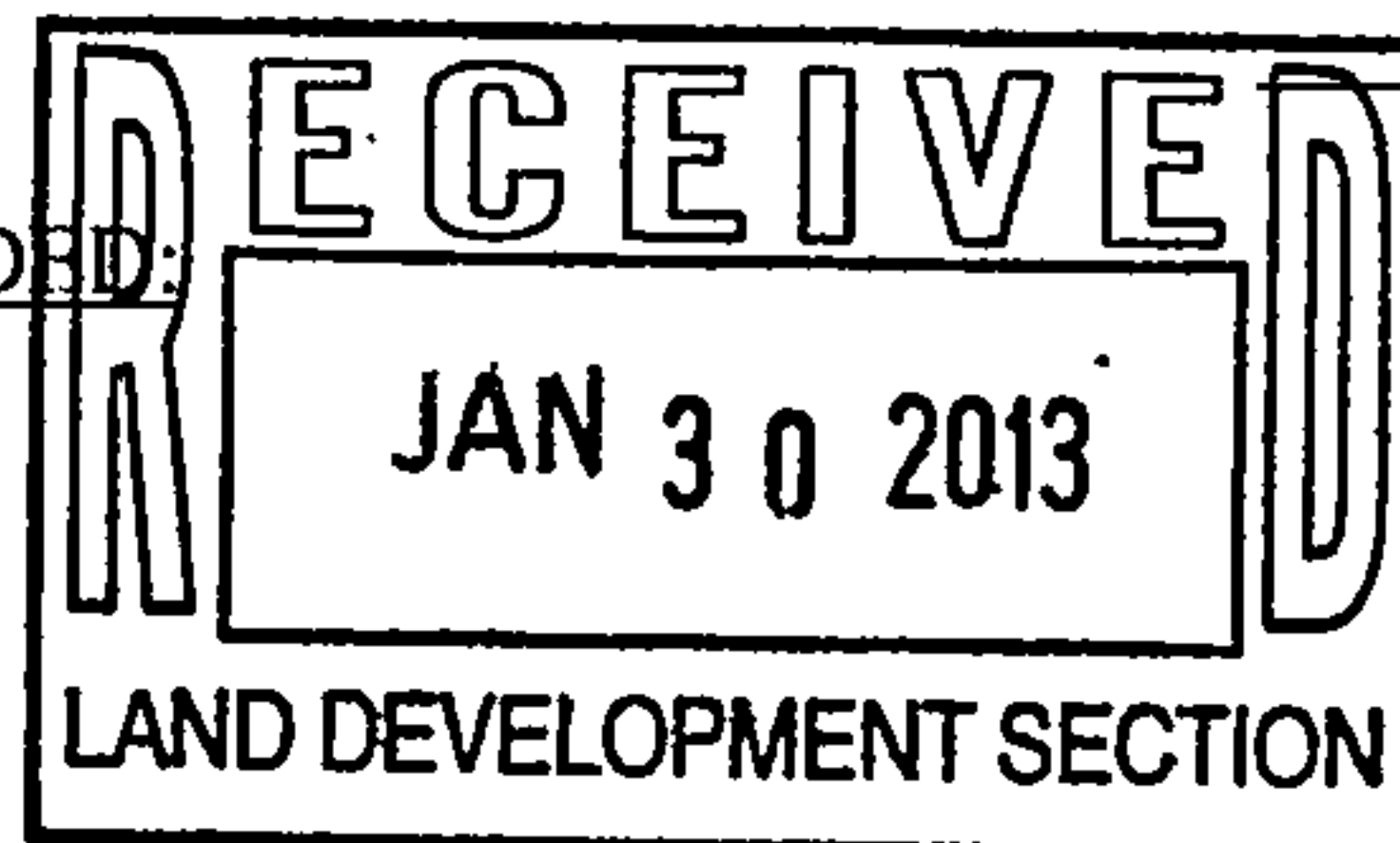
____ DRAINAGE REPORT
____ DRAINAGE PLAN 1ST SUBMITTAL
____ DRAINAGE PLAN RESUBMITTAL
____ GRADING PLAN
____ EROSION CONTROL PLAN
☒ ENGINEER'S CERTIFICATION (HYDROLOGY)
____ CLOMR/LOMR
____ TRAFFIC CIRCULATION LAYOUT (TCL)
____ ENGINEER'S CERTIFICATION (TCL)
____ ENGINEER'S CERTIFICATION (DRB APPR. SITE PLAN)
____ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

____ SIA / FINANCIAL GUARANTEE RELEASE
____ PRELIMINARY PLAT APPROVAL
____ S. DEV. PLAN FOR SUB'D APPROVAL
____ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
____ SECTOR PLAN APPROVAL
____ FINAL PLAT APPROVAL
____ FOUNDATION PERMIT APPROVAL
____ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (PERM.)
____ CERTIFICATE OF OCCUPANCY (TEMP.)
____ GRADING PERMIT APPROVAL
____ PAVING PERMIT APPROVAL
____ WORK ORDER APPROVAL
____ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED: _____

____ YES
☒ NO
____ COPY PROVIDED



DATE SUBMITTED: 1-30-13 BY: Brian Warren, PE

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE



Planning Department Transportation Development Services Section

February 22, 2013

Daniel W. Cook, RA
Cannady Architect Studio
2909 Washington Blvd
Ogden, UT 84401

Re: **Certification Submittal for Certificate of Occupancy (C.O.)**
Mountain America Credit Union, [D-20/D010A]
8021 Ventura St. NE
Architect's Stamp Dated 02/14/13

Dear Mr. Cook:

Based upon the information provided in your submittal received 02-19-13, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact me at (505)924-3991.

Sincerely,

Kristal D. Metro, P.E.
Principal Engineer
Development and Building Services
Planning Department

c: Engineer
Hydrology file
CO Clerk

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov



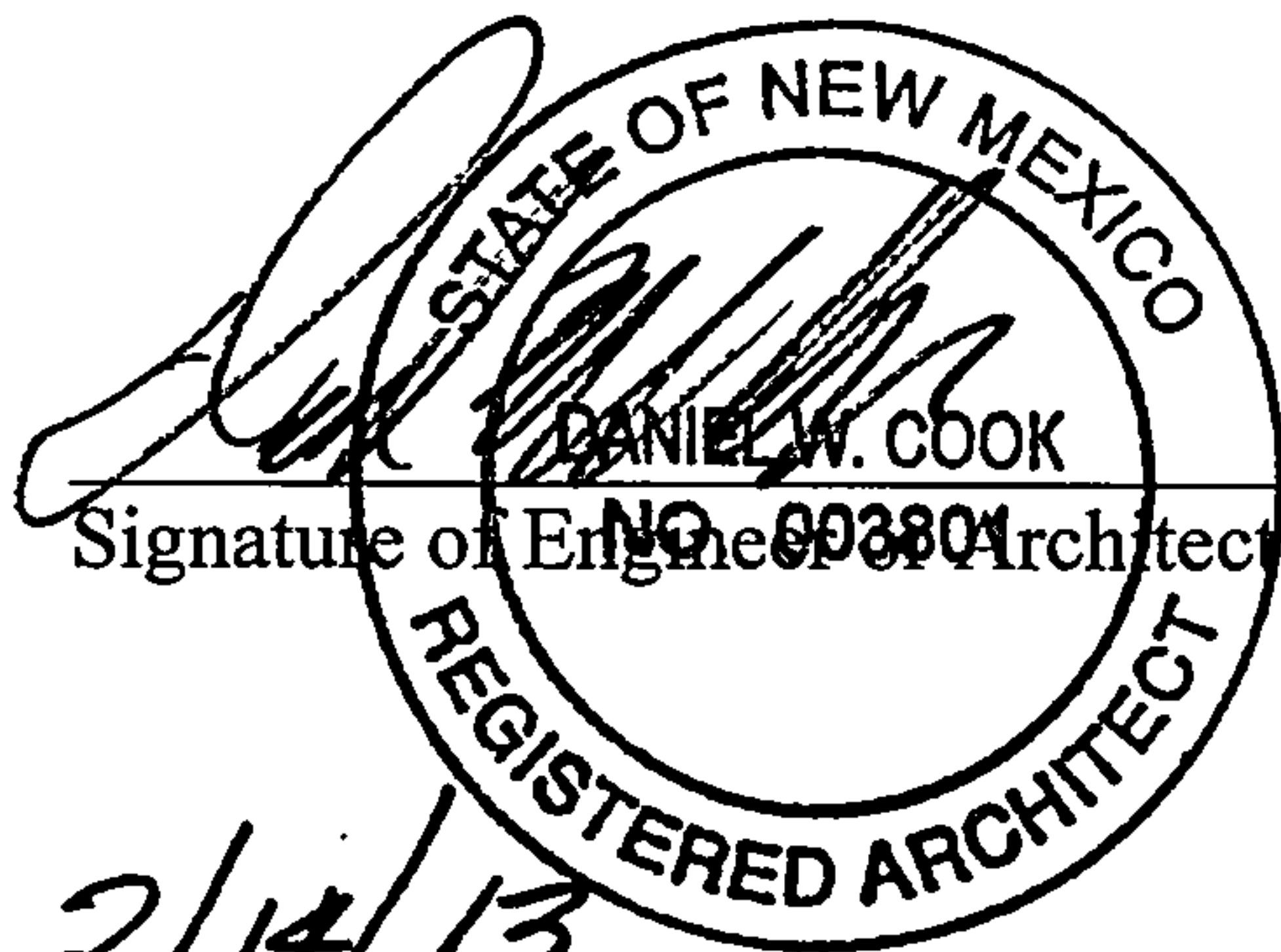
PLANNING • ARCHITECTURE • INTERIORS

February 14, 2013

Dan Cook
EMA Architects
2909 Washington Blvd.
Ogden, UT 84401

I, Dan Cook, a licensed architect within the state of New Mexico, of the firm EMA Architects hereby certify that this project is in substantial design compliance with and in accordance with the design intent of the approved administrative amendment dated 8/10/12. The record information edited onto the original design document has been obtained by the architect of record. I further certify that an architect in training under my direction has personally visited the project site on 2/6/2013 and has determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for permanent certificate of occupancy.

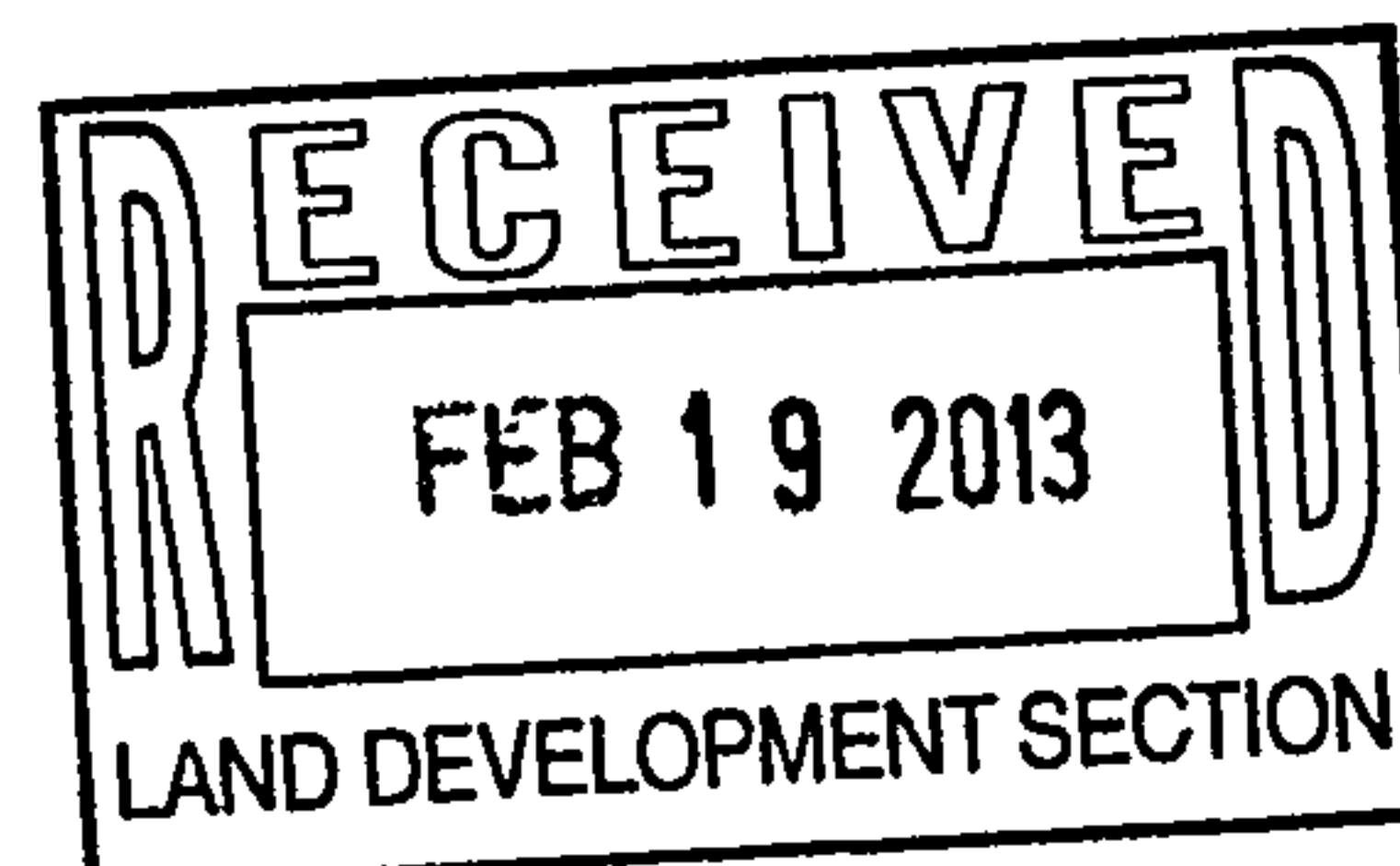
The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.



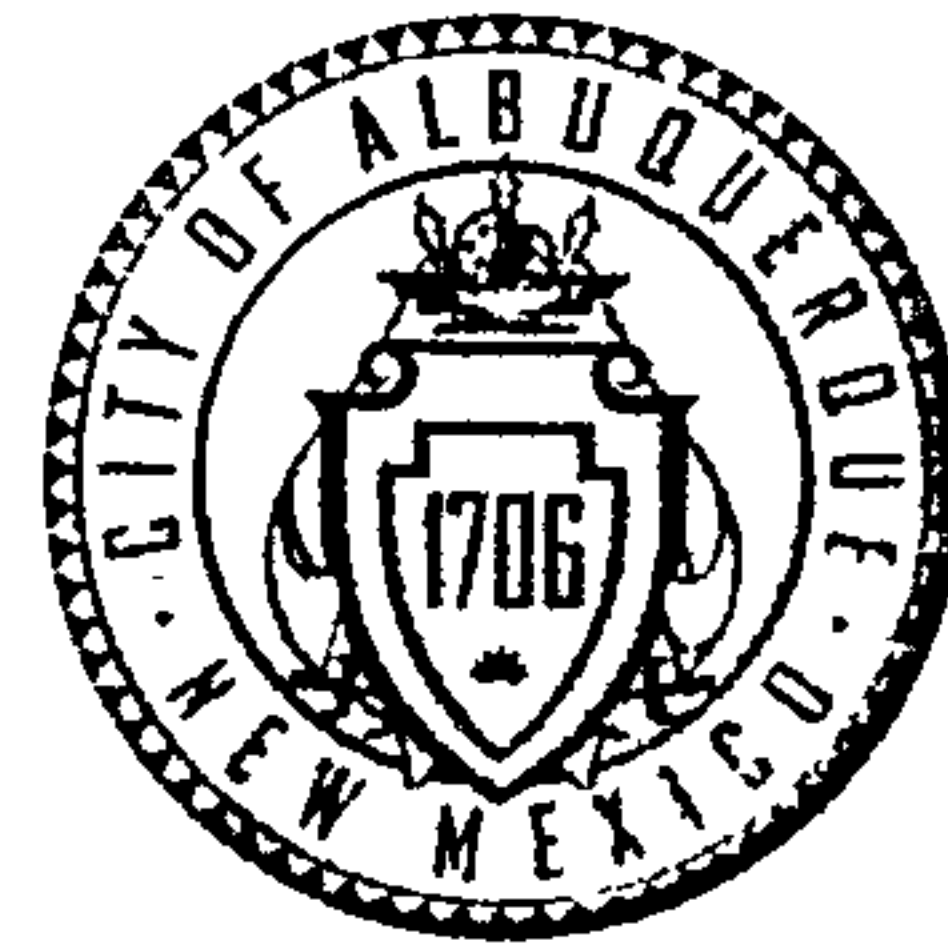
ARCHITECT'S STAMP

Signature of Engineer or Architect

2/14/13
Date



CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

February 14, 2013

Daniel W. Cook, RA.
Cannady Architect Studio
2909 Washington Blvd
Ogden, UT 84401

Re: **Certification Submittal for Certificate of Occupancy (C.O.)**
Mountain America Credit Union, [D-20/D010A]
8021 Ventura St. NE
Architect's Stamp Dated 02/11/13

Dear Mr. Cook:

Based upon the information provided in your submittal received 02-12-13, the submittal is **not sufficient for acceptance** by Transportation Development Section for a Permanent Certificate of Occupancy. The following items need to be addressed :

- Reference AA Site Plan as part of the certification (see attachment).
- Need to provide the original letter of Certification as part of the submittal.

A **30-temporary C.O.** "green tag" is being issued at the present time until the above items have been addressed and resubmitted for review/approval. This letter serves as a "green tag" from Transportation Development for a **30-day Temporary C.O.** to be issued by the Building and Safety Division

If you have any questions, please contact me at (505)924-3630.

Sincerely,

Nilo E. Santiago-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c: Engineer
Hydrology file
CO Clerk

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov



PLANNING • ARCHITECTURE • INTERIORS

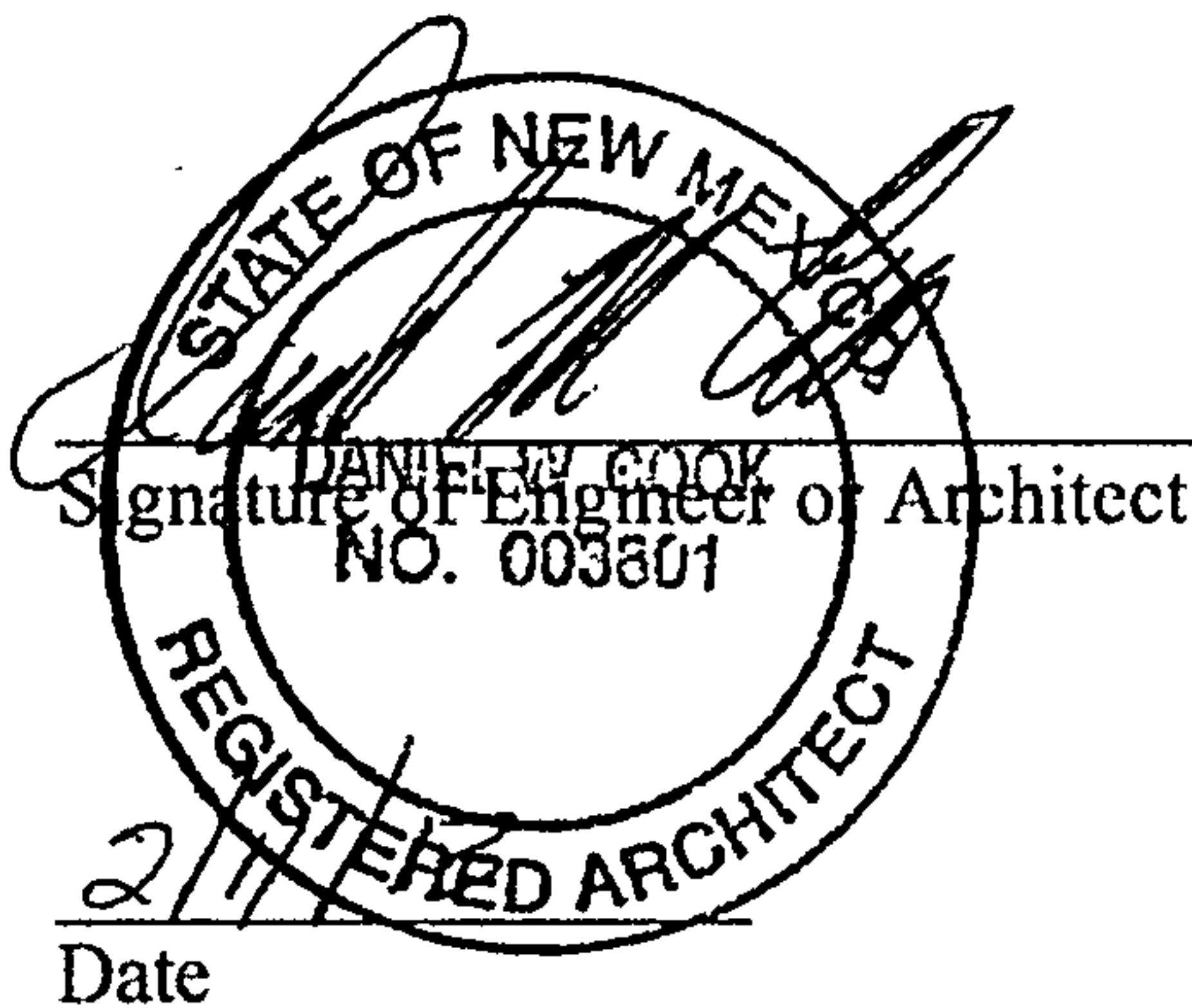
February 11, 2013

Dan Cook
EMA Architects
2909 Washington Blvd.
Ogden, UT 84401

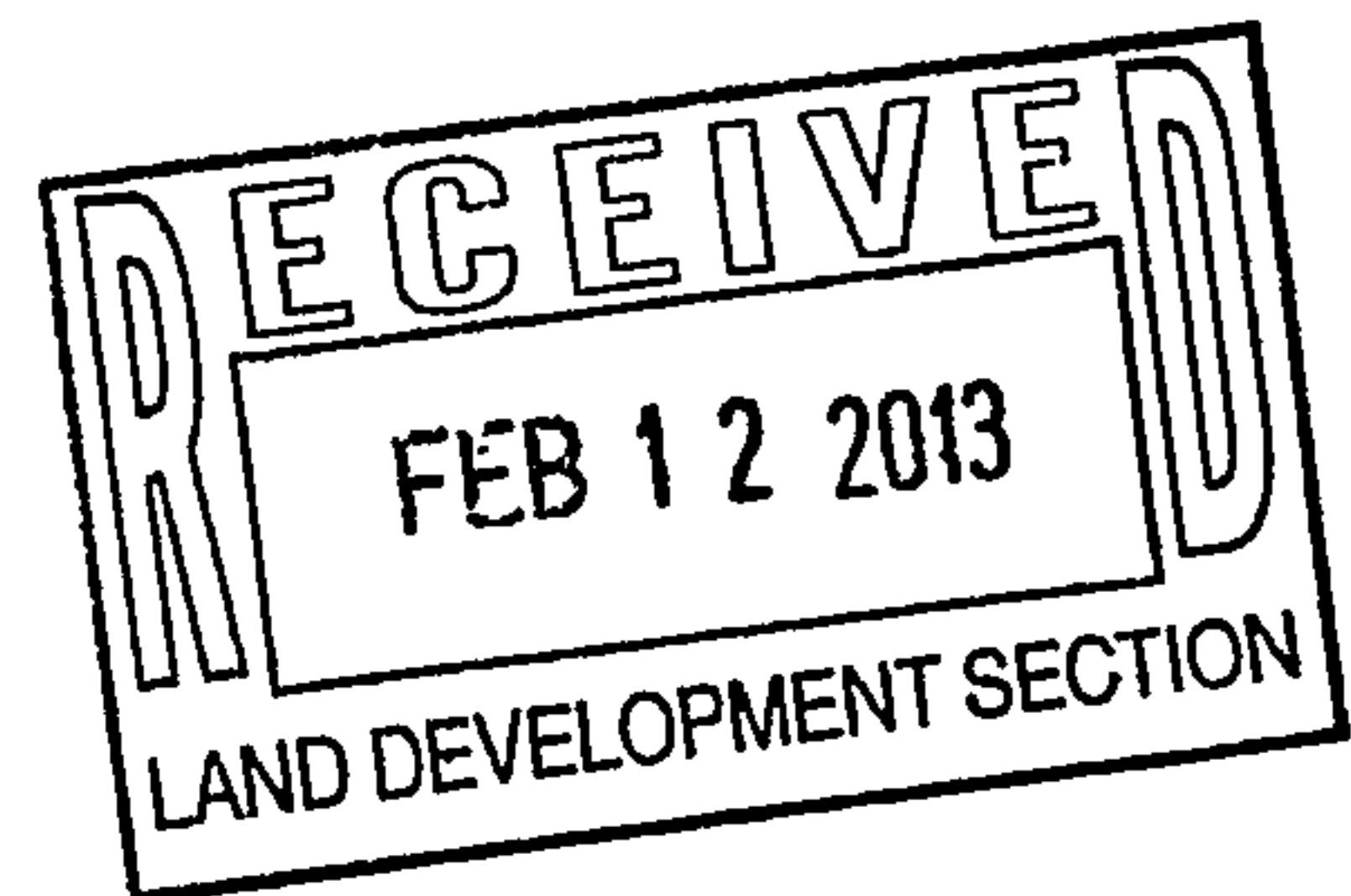
AA SITE PLAN

I, Dan Cook, a licensed architect within the state of New Mexico, of the firm EMA Architects hereby certify that this project is in substantial design compliance with and in accordance with the design intent of the approved sheet C-100 dated 7/24/12. The record information edited onto the original design document has been obtained by the architect of record. I further certify that an architect in training under my direction has personally visited the project site on 2/6/2013 and has determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for permanent certificate of occupancy.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.



ARCHITECT'S STAMP



COPY - will need original
FOR PERMANENT CO.

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DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV 02/2012)

PROJECT TITLE: MACU Ventura ZONE MAP: D-20 / DUBA
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: Parcel B of the Plat of Parcels A B & C Ventura Plaza
CITY ADDRESS: 8021 Ventura NE

ENGINEERING FIRM: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____
EMAIL: _____

OWNER: MACU CONTACT: _____
ADDRESS: 7181 South Campus View Dr PHONE: _____
CITY, STATE: West Jordan UT ZIP CODE: 84024

ARCHITECT: EMA Architecture CONTACT: Dan Cook
ADDRESS: 2909 Washington Blvd PHONE: _____
CITY, STATE: Ogden Utah ZIP CODE: 84401
EMAIL: _____

SURVEYOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: Wilger Enterprises, Inc CONTACT: John
ADDRESS: 425 Edmon NE PHONE: _____
CITY, STATE: Albuquerque NM ZIP CODE: 87107

TYPE OF SUBMITTAL:
____ DRAINAGE REPORT
____ DRAINAGE PLAN 1st SUBMITTAL
____ DRAINAGE PLAN RESUBMITTAL
____ CONCEPTUAL G & D PLAN
____ GRADING PLAN
____ EROSION CONTROL PLAN
____ ENGINEER'S CERT (HYDROLOGY)
____ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT
____ ENGINEER'S CERT (TCL)
____ ENGINEER'S CERT (DRB SITE PLAN)
____ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:
____ SIA/FINANCIAL GUARANTEE RELEASE
____ PRELIMINARY PLAT APPROVAL
____ S. DEV. PLAN FOR SUB'D APPROVAL
____ S. DEV. FOR BLDG. PERMIT APPROVAL
____ SECTOR PLAN APPROVAL
____ FINAL PLAT APPROVAL
____ FOUNDATION PERMIT APPROVAL
____ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (PERM)
____ CERTIFICATE OF OCCUPANCY (TEMP)
____ GRADING PERMIT APPROVAL
____ PAVING PERMIT APPROVAL
____ WORK ORDER APPROVAL
____ GRADING CERTIFICATION
____ OTHER (SPECIFY) SO-19

WAS A PRE-DESIGN CONFERENCE ATTENDED:
____ YES
____ NO
____ COPY PROVIDED

DATE SUBMITTED: 2.12.13 BY: [Signature]



Requests for approvals of Site Development Plans and/or Subdivision Plans shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
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