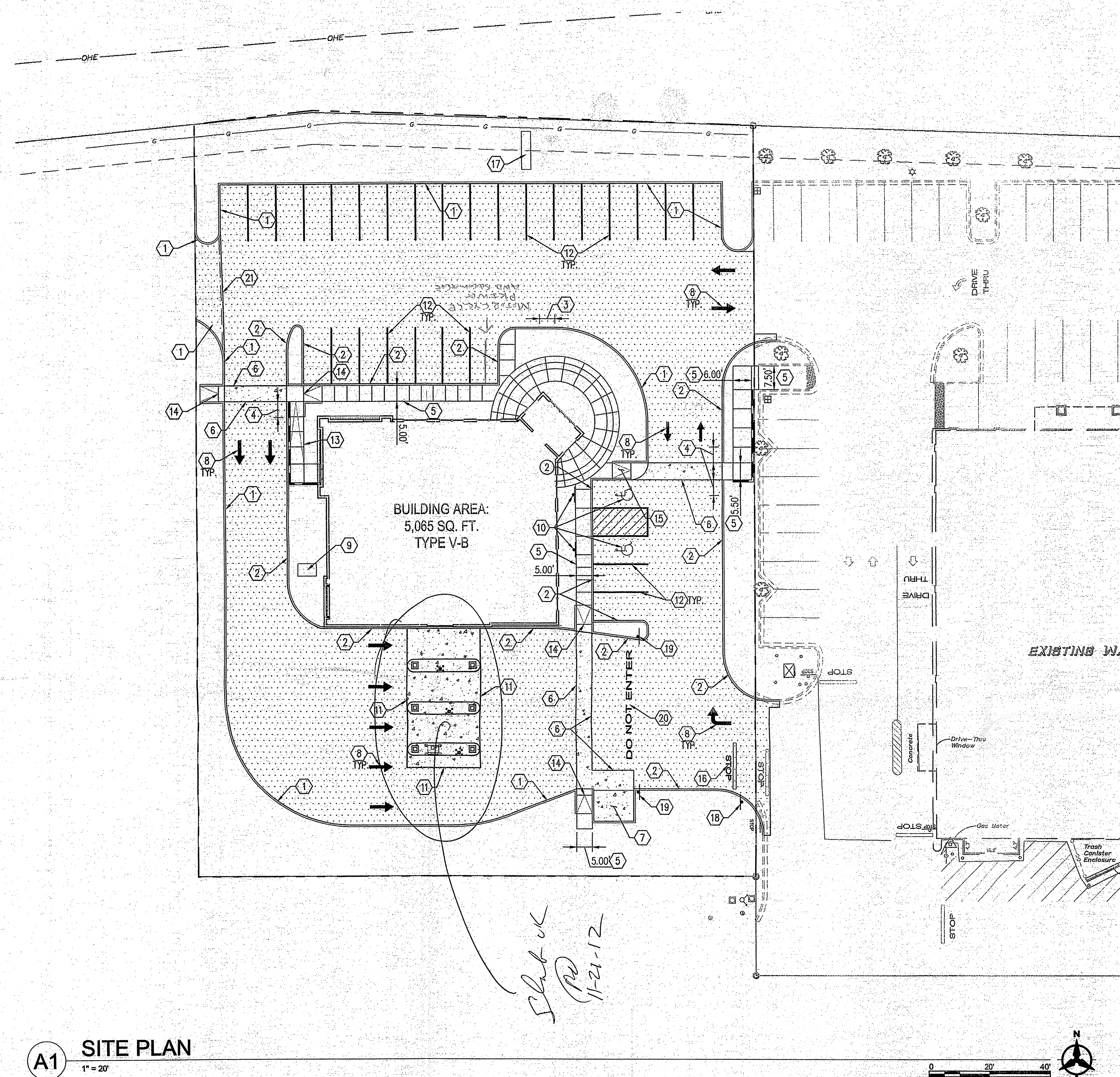




A1 SITE PLAN
1" = 20'

ADMINISTRATIVE AMENDMENT
FILE # 12-10059 PROJECT # 1006602
reduce size of bldg; amend
landscape plan
APPROVED BY Manone DATE 8/10/12

SHEET KEYNOTES

1. INSTALL 6" STANDARD MEDIAN CONCRETE CURB & GUTTER PER COA STD DTL 2415.
2. INSTALL 6" DEPRESSED MEDIAN CONCRETE CURB & GUTTER PER COA STD DTL 2415.
3. 5' TRANSITION FROM 6" STANDARD CURB & GUTTER TO 6" DEPRESSED CURB & GUTTER.
4. 5' TRANSITION FOR 6" CURB & GUTTER (PER PLAN) TERMINATION TO FLUSH CONCRETE.
5. CONCRETE SIDEWALK - WIDTH AS NOTED, PER DETAIL B3, SHEET C-102. SEE ARCHITECTURAL PLAN FOR DECORATIVE PAVING DETAILS.
6. CONCRETE WALK FLUSH WITH ASPHALT, PER DETAIL B2, SHEET C-102.
7. TRASH ENCLOSURE, SEE ARCHITECTURAL PLAN.
8. PAVEMENT MARKING PER LATEST MUTCD.
9. PAD MOUNTED TRANSFORMER FURNISHED & INSTALLED BY OTHERS.
10. HANDICAP PARKING SPACE & SIGN, PER DETAIL A2, SHEET C-102.
11. CONCRETE PAD DRIVE-THRU, SEE ARCHITECTURAL PLAN, FLUSH WITH ASPHALT.
12. PAINTED 4" WIDE SOLID WHITE STRIPE.
13. 6' WIDE WHEEL CHAIR RAMP 1:12 MAX, SEE ARCHITECTURAL PLAN.
14. CONSTRUCT WHEEL CHAIR RAMP 'A', PER DETAIL C1, SHEET C-102.
15. CONSTRUCT WHEEL CHAIR RAMP 'B', PER DETAIL C2, SHEET C-102.
16. INSTALL STOP BAR AND WHITE REFLECTORIZED PAINTED WORDING "STOP" (24" TEXT HEIGHT) PER LATEST MUTCD.
17. MONUMENT SIGN, SEE ARCHITECTURAL PLAN.
18. REMOVE AND RELOCATE EXISTING STOP SIGN, IN KIND.
19. INSTALL "DO NOT ENTER" SIGN PER DETAIL C4, SHEET C-102.
20. INSTALL WHITE REFLECTORIZED PAINTED WORDING "DO NOT ENTER" (24" TEXT HEIGHT)
21. INSTALL TEMPORARY ASPHALT CURB PER COA STD DTL 2415.

3" ASPHALT CONCRETE PAVEMENT
12" SUBGRADE PREPARATION
@ 95% MAXIMUM DENSITY
PER ASTM D-1557 (R=50)

ASPHALT PAVEMENT SECTION
NOT TO SCALE
AUG 17 2012
I.B.C.
Plan Check Section

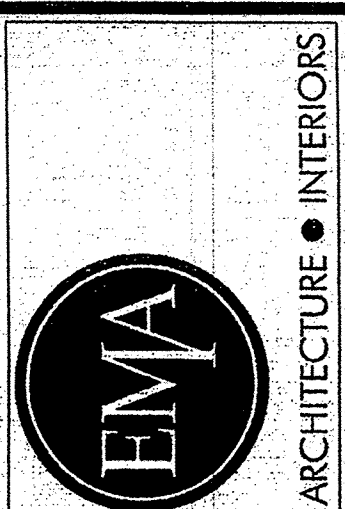
#4 @ 18" O.C. E.W.
6" PORTLAND CEMENT
CONCRETE PAVEMENT
12" SUBGRADE PREPARATION
@ 95% MAXIMUM DENSITY
PER ASTM D-1557 (R=50)

CONCRETE PAVEMENT SECTION
NOT TO SCALE

PAVING LEGEND

ASPHALT CONCRETE PAVEMENT
SEE DETAIL THIS SHEET
CONCRETE PAVEMENT
SEE DETAIL THIS SHEET
PROPOSED RETAINING WALL

RECEIVED
FEB 12 2013
LAND DEVELOPMENT SECTION

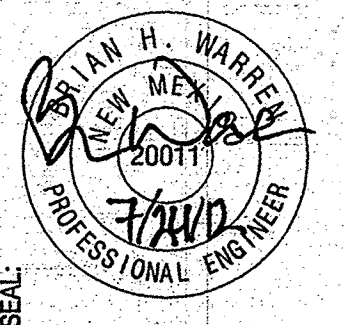


PLANNING • ARCHITECTURE • INTERIORS

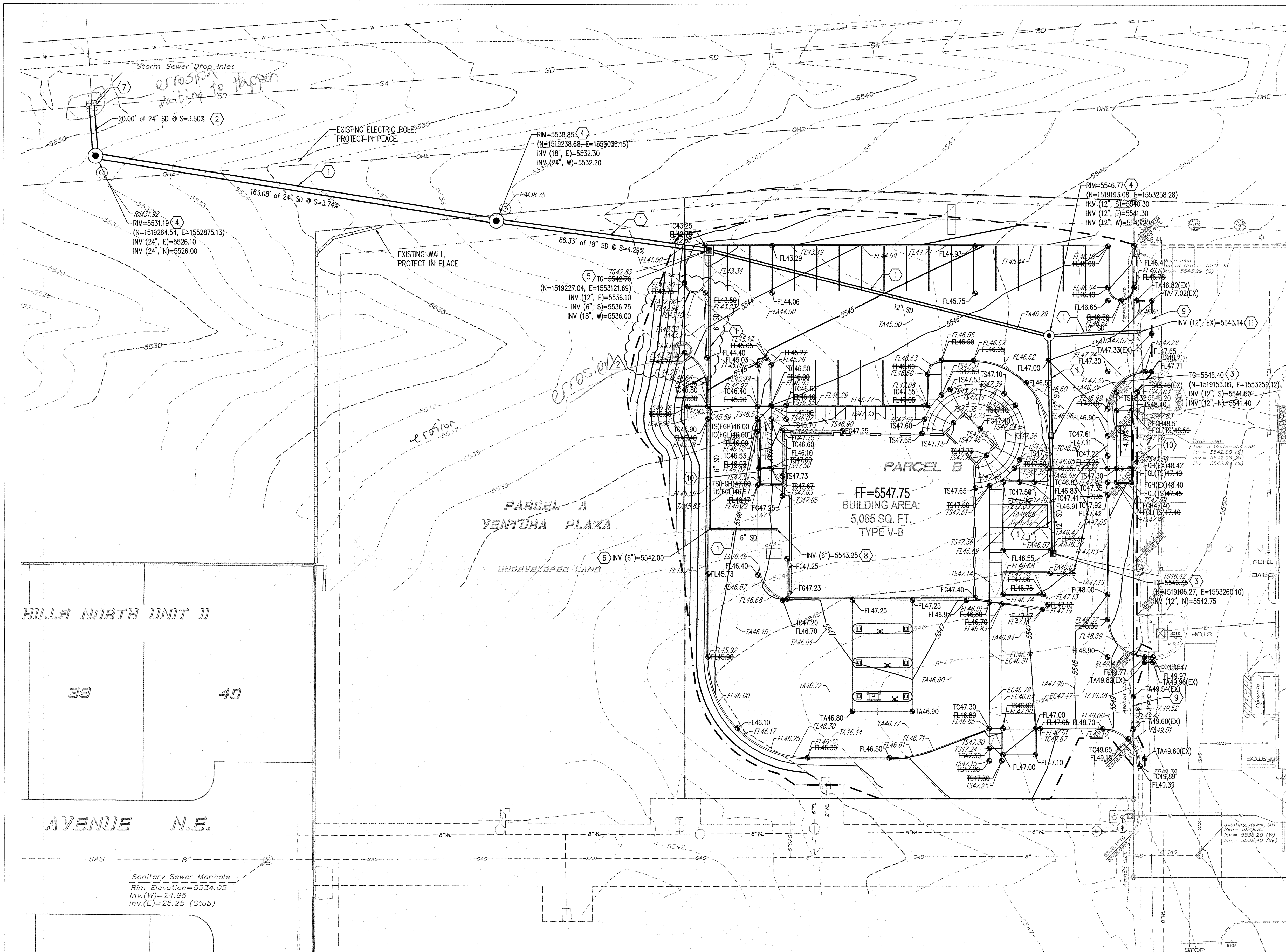
THIS DRAWING IS CLASSIFIED AS
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REV	DATE	DESCRIPTION

PROJECT: MOUNTAIN AMERICA CREDIT UNION
ALBUQUERQUE BRANCH
PASEO DEL NORTE & VENTURA ST. - PARCEL B
ALBUQUERQUE, NM 87109
EMA ARCHITECTS | 2809 WASHINGTON BLVD. - OGDEN, UT 84401 | PH: 801-478-3463



SHEET TITLE: SITE PAVING, STRIPING, & SIGNAGE PLAN
SHEET NUMBER: C-100
SCALE: 1" = 20'
PROJECT: 2013.0048 ORIGINAL ISSUE: 05/10/12



A1 GRADING PLAN

NOTE: AS A CONDITION OF APPROVAL FOR TEMPORARY AND PERMANENT CERTIFICATE OF OCCUPANCY, A GRADING AND DRAINAGE CERTIFICATION MUST BE SUBMITTED TO THE CITY OF ALBUQUERQUE HYDROLOGY DEPARTMENT FOR APPROVAL. THE CONTRACTOR IS RESPONSIBLE TO RETAIN A SURVEYOR LICENSED IN NEW MEXICO TO OBTAIN AS BUILT SURVEY DATA AND RETAIN AN ENGINEER LICENSED IN NEW MEXICO TO PREPARE/CERTIFY AND SUBMIT THE GRADING CERTIFICATION TO THE CITY FOR APPROVAL.

DRAINAGE CERTIFICATION

I, BRIAN H. WARREN, NMPE 2011, OF THE FIRM BOHANNAN HUSTON INC., HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 05/18/2012. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY BRIAN MARTINEZ, NMPS 18374, OF THE FIRM CARTESIAN SURVEYS INC. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 01/30/2013 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR PERMANENT CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

BRIAN H. WARREN, NMPE 2011
1/30/13
DATE



B1 VICINITY MAP

N.T.S.

GRADING KEYED NOTES

- INSTALL SD PIPE; HOPE N-12WT OR APPROVED EQUAL, SIZE PER PLAN.
- INSTALL RCP, CLASS III, STORM DRAIN PIPE, SIZE PER PLAN.
- INSTALL 24" NYLOPLAST (OR APPROVED EQUAL) STORM BASIN INLET STRUCTURE W/ STANDARD GRATE (H-25 LOADING).
- INSTALL 6" STORMDRAIN MANHOLE PER COA STD DWG 2102.
- INSTALL WATER QUALITY TYPE "D" SINGLE GRATE INLET, PER DETAIL A1, SHEET C-200, & COA STD DWG 2206.
- INSTALL PRE-FABRICATED, WATER-TIGHT, STORM DRAIN FITTING.
- CONNECT STORM DRAIN LINE TO EXISTING STORM DRAIN BASIN. CONTRACTOR TO VERIFY TOP OF GRATE AND INVERTS AND CONTACT ENGINEER WITH ANY DISCREPANCIES.
- CONNECT TO ROOF DRAIN, SEE PLUMBING PLANS FOR CONTINUATION.
- MATCH TO EXISTING FINISHED GRADE, EXISTING SPOT ELEVATIONS SHOWN ARE APPROXIMATE.
- RETAINING WALL, SEE ARCHITECTURAL PLAN FOR DETAIL.
- CONNECT TO EXISTING 12" STORM DRAIN, INSTALL PRE-FABRICATED, WATER TIGHT, STORM DRAIN FITTING, CAP EXISTING 12" STORM DRAIN ON DOWNSTREAM END. CONTRACTOR SHALL VERIFY LOCATION AND INVERT AND CONTACT ENGINEER WITH ANY DISCREPANCIES.

LEGEND

---	PROPERTY LINE
---	PROJECT LIMITS OF GRADING
---	EXISTING INDEX CONTOUR
---	EXISTING INTERMEDIATE CONTOUR
---	EXISTING GROUND ELEVATION
---	PROPOSED GROUND ELEVATION
---	PROPOSED INDEX CONTOUR
---	PROPOSED INTERMEDIATE CONTOUR
---	PROPOSED CURB & GUTTER
---	PROPOSED RETAINING WALL
---	PROPOSED STORM DRAIN LINE
---	PROPOSED STORM DRAIN MANHOLE
---	PROPOSED STORM DRAIN INLETS

MOUNTAIN AMERICA CREDIT UNION
ALBUQUERQUE BRANCH
PASEO DEL NORTE & VENTURA ST. - PARCEL B
ALBUQUERQUE, NM 87109



GRADING PLAN

SHEET NUMBER:

C-201

SCALE: 1" = 20'

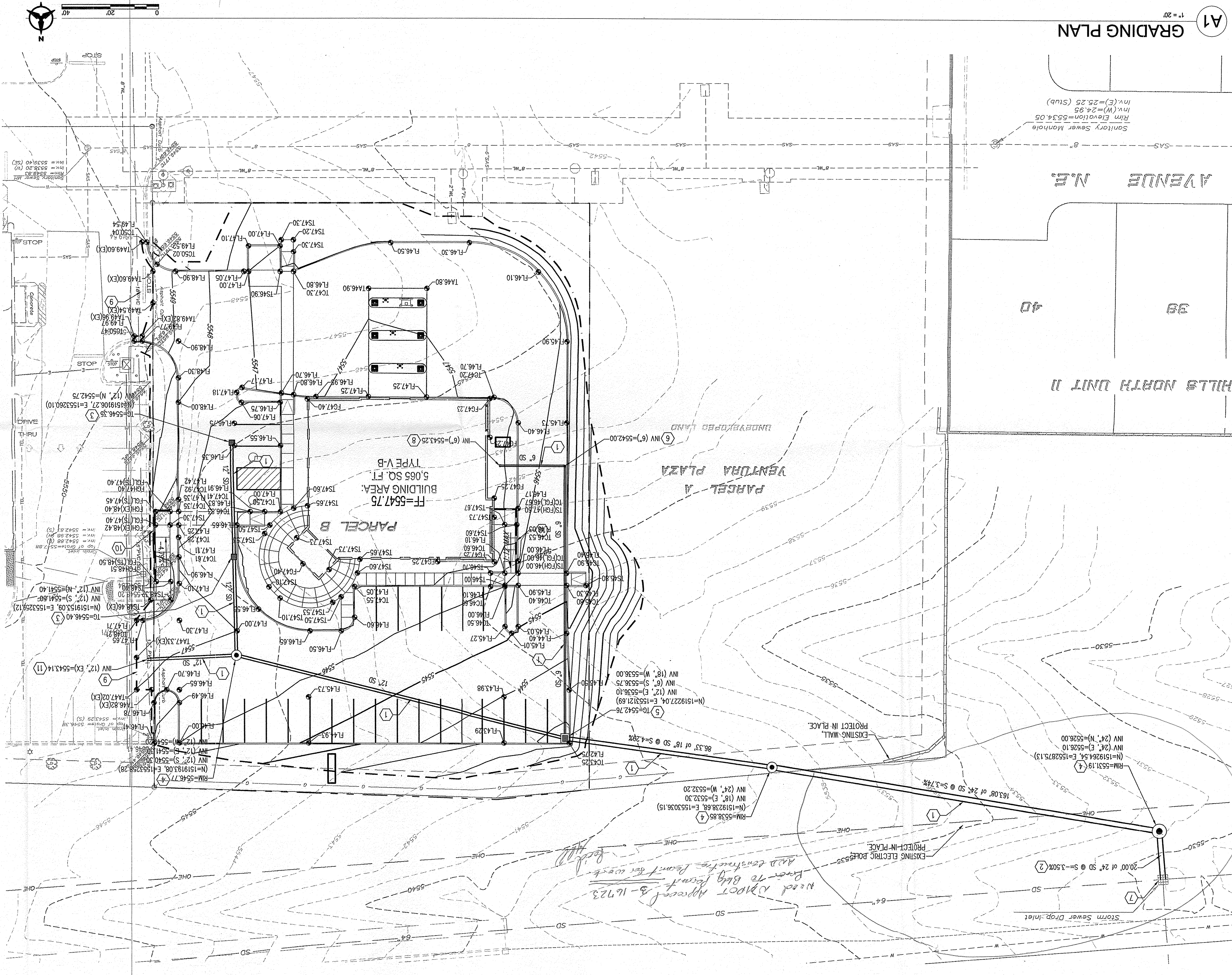
A1 GRADING PLAN

Sanitary Sewer Manhole
Rim Elevation=5534.05
Inv.(W)=24.95
Inv.(E)=25.25 (Sub)

AVENUE N.E.

HILLS NORTH UNIT II

39 40



LEGEND

- PROPOSED GROUND ELEVATION
- EXISTING GROUND ELEVATION
- EXISTING INDEX CONTOUR
- EXISTING INTERMEDIATE CONTOUR
- PROPOSED INDEX CONTOUR
- PROPOSED INTERMEDIATE CONTOUR
- PROPOSED RETAINING WALL
- PROPOSED STORM DRAIN LINE
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED STORM DRAIN INLETS
- PROPERTY LINE
- PROJECT LIMITS OF GRADING
- EXISTING INDEX CONTOUR
- EXISTING INTERMEDIATE CONTOUR
- EXISTING GROUND ELEVATION
- PROPOSED GROUND ELEVATION
- PROPOSED FLOW LINE, TC=TOP OF CURB
- TS=TOP OF SIDEWALK, TO=TOP OF GRATE
- FGH=FINISH GROUND HIGH SIDE
- FGI=FINISH GROUND LOW SIDE
- DIRECTION OF FLOW
- GRADE BREAK/WATER BLOCK
- PROPOSED INDEX CONTOUR
- PROPOSED INTERMEDIATE CONTOUR
- PROPOSED RETAINING WALL
- PROPOSED STORM DRAIN LINE
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED STORM DRAIN INLETS

GRADING KEYED NOTES

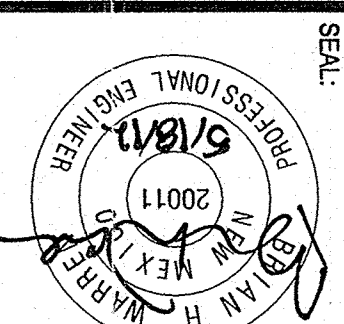
1. INSTALL SD PIPE, CLASS III, STORM DRAIN PIPE, SIZE PER PLAN.
2. INSTALL 24" NYLOPLAST (OR APPROVED EQUAL) STORM BASIN INLET STRUCTURE W/ STANDARD GRATE (H=25" LOADING).
3. INSTALL 6" STORM DRAIN MANHOLE PER COA STD DWG 2102.
4. SHEET C-200, & COA STD DWG 2206.
5. INSTALL PRE-FABRICATED, WATER-TIGHT, STORM DRAIN FITTING.
6. CONNECT STORM DRAIN LINE TO EXISTING STORM DRAIN BASIN, CONTRACTOR TO VERIFY TOP OF GRATE AND INVERTS AND CONTACT ENGINEER WITH ANY DISCREPANCIES.
7. CONNECT TO ROOF DRAIN, SEE PLUMBING PLANS FOR CONTINUATION.
8. MATCH TO EXISTING FINISHED GRADE, EXISTING SPOT ELEVATIONS SHOWN ARE APPROXIMATE.
9. RETAINING WALL, SEE ARCHITECTURAL PLAN FOR DETAIL.
10. CONNECT TO EXISTING 12" STORM DRAIN, INSTALL PRE-FABRICATED, WATER TIGHT, STORM DRAIN FITTING, CAP EXISTING 12" STORM DRAIN ON DOWNSIDE END, CONTRACTOR SHALL VERIFY LOCATION AND INVERT AND CONTACT ENGINEER WITH ANY DISCREPANCIES.
11. AT INLET FOR BMP

C-201

SCALE: 1"=20'

SHEET NUMBER: GRADING PLAN

PROJECT: 20130048 ORIGINAL ISSUE: 05/02/2012



PROJECT: MOUNTAIN AMERICA CREDIT UNION
ALBUQUERQUE BRANCH
PASO DEL NORTE & VENTURA ST. - PARCEL B
ALBUQUERQUE, NM 87109

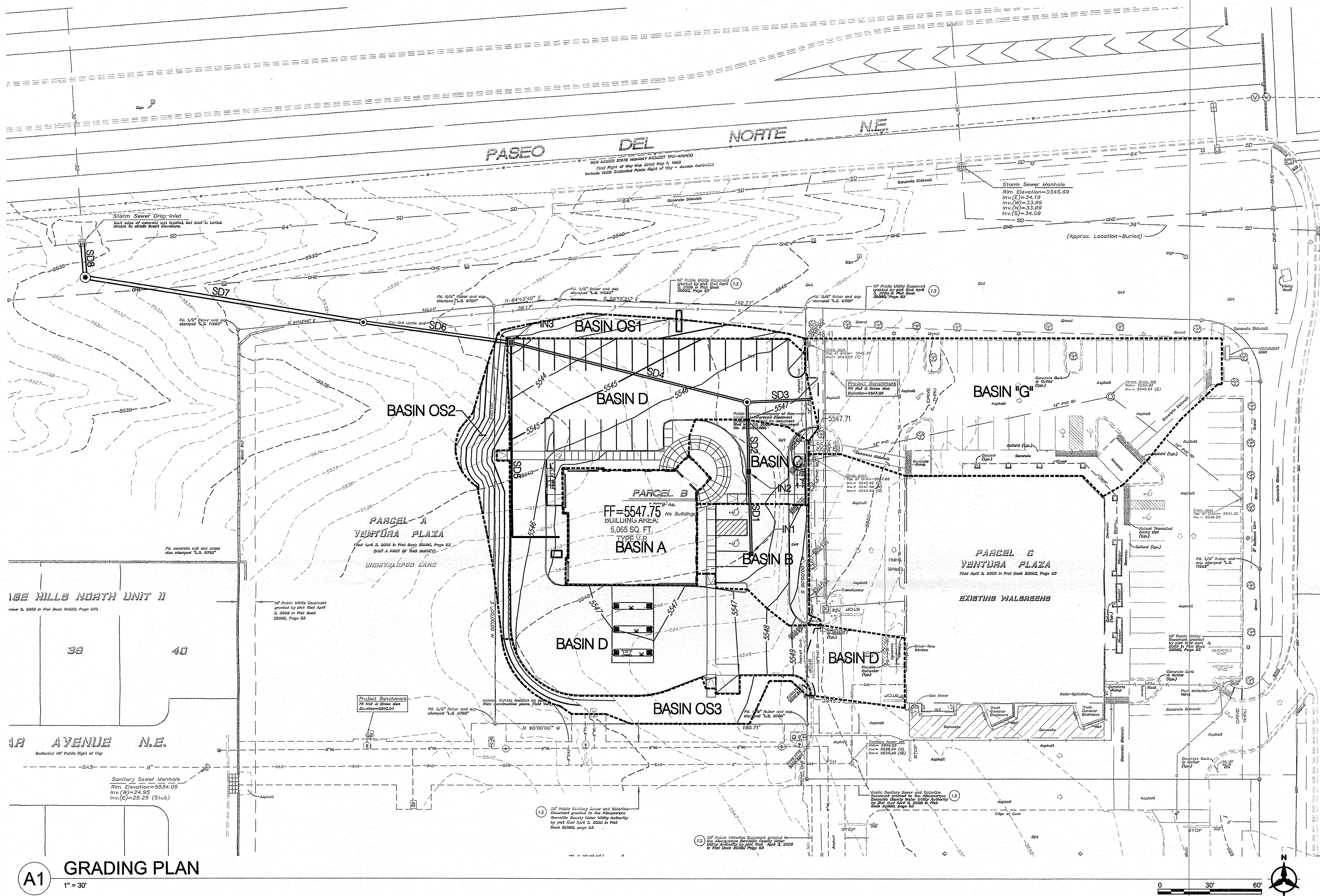
EMA ARCHITECTS | 2809 WASHINGTON BLVD. - CORDEN, UT 84401 | PH: 801-618-9343

REV	DATE	DESCRIPTION

THE DRAWING IS CONSIDERED AS A FINAL DESIGN AND SHALL BE USED FOR CONSTRUCTION OF THE PROJECT. ANY CHANGES TO THE DESIGN SHALL BE MADE BY THE ARCHITECT AND SHALL BE INDICATED BY A REVISION TO THE DRAWING. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE DESIGN AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONSTRUCTION. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE DESIGN AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONSTRUCTION.

PLANNING • ARCHITECTURE • INTERIORS

EMA



Mountain America Credit Union										
Proposed Developed Conditions Basin Data Table										
This table is based on the DPM Section 22.2, Zone: 3										
Basin	Area	Area	Land Treatment Percentages				Q(100yr)	Q(100yr)	V(100yr)	V(100yr-6hr)
ID	(SQ. FT)	(AC.)	A	B	C	D	(cfs/ac.)	(CFS)	(inches)	(CF)
CURRENT BASINS										
A	5204	0.12	0.0%	0.0%	0.0%	100.0%	5.02	0.60	2.36	1023
B	3612	0.08	0.0%	0.0%	10.0%	90.0%	4.86	0.40	2.25	678
C	3008	0.07	0.0%	0.0%	10.0%	90.0%	4.86	0.34	2.25	655
D	25183	0.58	0.0%	0.0%	5.0%	95.0%	4.94	2.86	2.31	4840
"G"	17095	0.39	0.0%	0.0%	5.0%	95.0%	4.94	1.94	2.31	3286
OS1	1692	0.04	0.0%	0.0%	100.0%	0.0%	3.45	0.13	1.29	182
OS2	2689	0.06	0.0%	0.0%	100.0%	0.0%	3.45	0.21	1.29	289
OS3	2442	0.06	0.0%	0.0%	100.0%	0.0%	3.45	0.19	1.29	262
TOTAL	60925	1.40	-	-	-	-	6.68	-	-	11126

INLET TABLE					
Inlet #	Inlet Type	Basin	Actual Flow	Avail Head ft	Capacity** CFS
IN1	24" NYLOPLAST*	BASIN B	0.40	0.48	5.00
IN2	24" NYLOPLAST*	BASIN C	0.34	0.25	2.20
IN3	COA TYPE D* (WATER QUALITY)	BASIN D	2.86	0.50	7.50
*INLET IN SUMP CONDITION					

STORM DRAIN PIPE TABLE					
PIPE #	INLET/SD/BASIN	Size in.	Slope	Capacity* cfs	ACTUAL FLOW cfs
SD1	IN1	12	2.67%	5.82	0.40
SD2	SD1, IN2	12	2.75%	5.91	0.74
SD3	BASIN "G"	12	5.00%	7.97	1.94
SD4	SD2, SD3	12	2.92%	6.09	2.68
SD5	BASIN A	6	4.60%	1.20	0.60
SD6	SD4, SD5, IN3	18	4.30%	21.78	6.13
SD7	SD5	24	3.75%	43.81	6.13
SD8	SD6	24	3.50%	42.32	6.13
Capacity Based on Manning's Eq w/ N=0.013					

SITE LOCATION AND BACKGROUND INFORMATION

THE PURPOSE OF THIS SUBMITTAL IS TO PRESENT A DRAINAGE AND GRADING PLAN FOR A PROPOSED CREDIT UNION WITHIN THE PASEO DEL NORTE AND VENTURA BLVD DEVELOPMENT, VENTURA PLAZA. THE SITE IS BOUND TO THE NORTH BY PASEO DEL NORTE, WALGREENS IS TO THE EAST, AND VACANT LAND TO THE WEST AND SOUTH. THIS SUBMITTAL IS IN SUPPORT OF BUILDING PERMIT APPROVAL.

EXISTING CONDITIONS

THE SITE IS APPROXIMATELY ONE ACRE AND SLOPES EAST TO WEST WITH THE MAJORITY OF DRAINAGE DISCHARGING INTO PASEO DEL NORTE RIGHT-OF-WAY.

PROPOSED CONDITIONS

THE DRAINAGE PLAN FOR THIS SITE FOLLOWS THE GUIDELINES AND FRAMEWORK OF THE APPROVED OVERALL DRAINAGE MANAGEMENT PLAN FOR THE AREA, STAMP DATE 11-9-2011 (COA HYDRO FILE D20/D010).

THIS SITE WAS DIVIDED INTO SEVEN BASINS, FOUR ON-SITE & THREE OFF-SITE. THESE BASINS SURFACE FLOW TO A STORM DRAINAGE SYSTEM THAT CONNECTS TO THE STORM DRAIN WITHIN PASEO DEL NORTE.

THE ENTIRE SITE WAS ANALYZED UNDER DEVELOPED "COMMERCIAL" CONDITIONS (SEE PROPOSED DEVELOPED CONDITIONS TABLE, THIS SHEET) AND THE LOCALIZED STORM DRAIN SYSTEM, SD1-SD5, WAS SIZED TO CONVEY THE DEVELOPED DRAINAGE INCLUDING BASIN G AS SPECIFIED IN THE OVERALL DRAINAGE MANAGEMENT PLAN, APPROXIMATELY 6.2 CFS. STORM DRAIN PIPE SD5 & SD6 WERE SIZED TO CONVEY APPROXIMATELY 17 CFS IN ACCORDANCE WITH THE APPROVED OVERALL DRAINAGE MANAGEMENT PLAN.

THE DRAINAGE THAT DISCHARGES FROM THE SITE WILL PASS THROUGH A WATER QUALITY INLET IN THE NORTHWEST CORNER OF THE PARKING LOT BEFORE ENTERING INTO THE PUBLIC STORM DRAIN SYSTEM IN PASEO DEL NORTE.

FLOOD PLAIN

IN ACCORDANCE WITH FEMA COMMUNITY MAP PANEL #35001C0141F, THE SITE IS NOT LOCATED WITHIN A FLOOD PLAIN.

OFFSITE FLOWS

THERE ARE NO SIGNIFICANT UPSTREAM OFFSITE FLOWS WHICH WILL IMPACT THIS SITE. THE DISCHARGE FROM THE THREE OFF-SITE BASINS, OS1-OS3, WILL NOT HAVE A NEGATIVE IMPACT ANY DOWNSTREAM STRUCTURES, AND PREVIOUSLY ACCOUNTED FOR IN THE OVERALL DMP AND WALGREENS DMP.

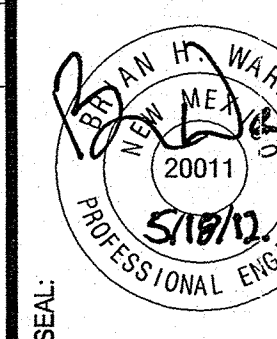
CONCLUSIONS

THIS DRAINAGE SUBMITTAL HAS BEEN PREPARED IN ACCORDANCE WITH THE APPROVED DRAINAGE PLAN FOR THE AREA AND WITH THE CITY OF ALBUQUERQUE REQUIREMENTS. THIS PLAN CLEARLY DEMONSTRATES THE PROPOSED, GRADING AND DRAINAGE PLAN. THE IMPLEMENTATION OF THIS DESIGN WILL RESULT IN THE SAFE PASSAGE OF THE 100 YEAR STORM EVENT. WITH THIS SUBMITTAL WE REQUEST HYDROLOGY DEPARTMENT APPROVAL OF THIS GRADING AND DRAINAGE PLAN FOR BUILDING PERMIT APPROVAL OF THE CREDIT UNION SITE.

LEGEND

- PROPERTY LINE
- PROJECT LIMITS OF GRADING
- EXISTING INDEX CONTOUR
- EXISTING INTERMEDIATE CONTOUR
- EXISTING GROUND ELEVATION
- PROPOSED GROUND ELEVATION
- FL=FLOW LINE, TC=TOP OF CURB
- TS=TOP OF SIDEWALK, TG=TOP OF GRATE,
- FGH=FINISH GROUND HIGH SIDE,
- FGL=FINISH GROUND LOW SIDE
- DIRECTION OF FLOW
- GRADE BREAK/WATER BLOCK
- PROPOSED INDEX CONTOUR
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- PROPOSED STORM DRAIN MANHOLE
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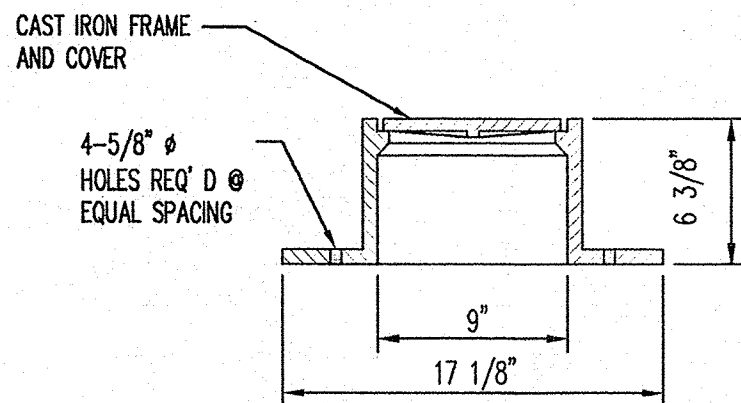
MOUNTAIN AMERICA CREDIT UNION
ALBUQUERQUE BRANCH
PASEO DEL NORTE & VENTURA ST. - PARCEL B
ALBUQUERQUE, NM 87109



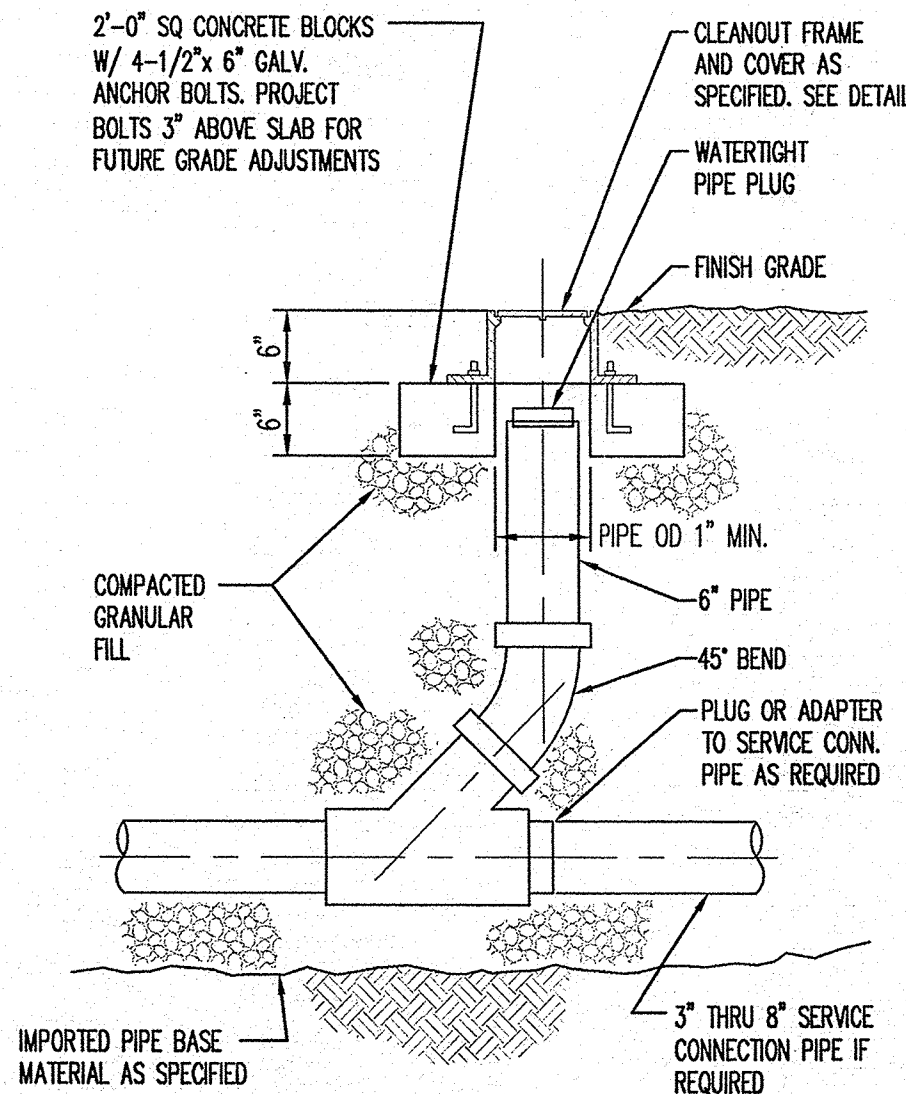
DRAINAGE
MANAGEMENT PLAN
SHEET NUMBER:

DMP-01

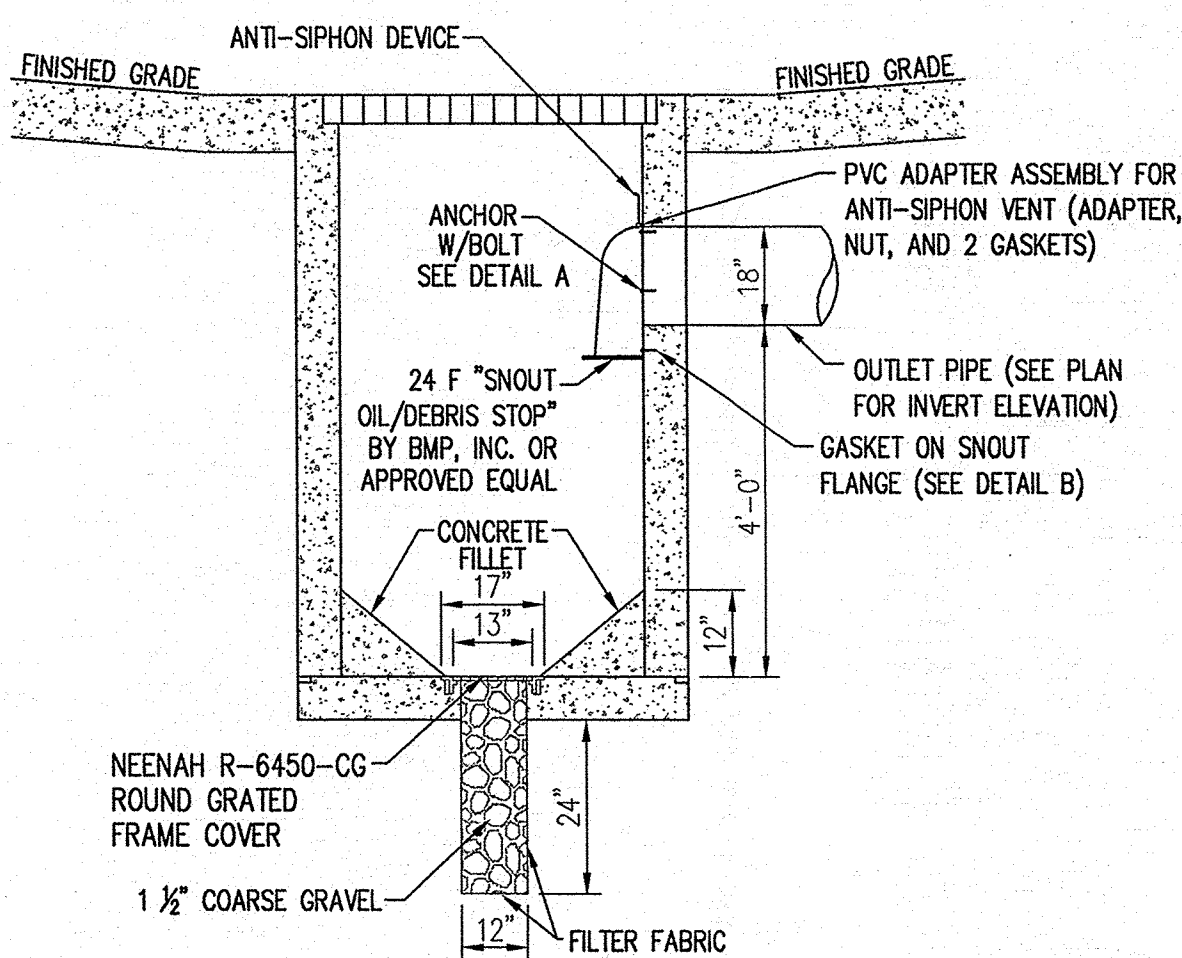
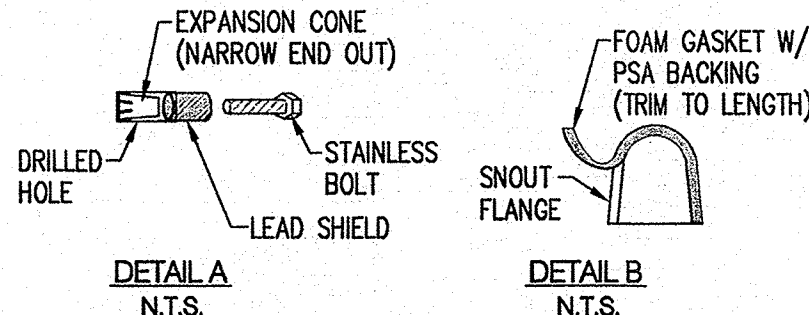
SCALE: 1" = 20'



CLEANOUT FRAME & COVER
N.T.S.



A2 PVC SANITARY SEWER CLEANOUT DETAIL
N.T.S.



A1 WATER QUALITY INLET
N.T.S.

GENERAL NOTES

1. ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT GEOTECHNICAL REPORT, WHERE APPLICABLE, CITY OF ALBUQUERQUE PUBLIC WORKS STANDARDS AND SPECIFICATIONS SHALL APPLY.
2. THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.
3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS INCLUDING ALL UNDERGROUND UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION OBSERVER OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
4. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
5. ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
6. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
7. CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
8. OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
9. THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E., BARRICADING, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, EPA STORM WATER PERMITS, ETC.).
10. ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
11. THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE CITY OF ALBUQUERQUE, TRAFFIC ENGINEERING DEPARTMENT, PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
12. ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
13. THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADES AT THE END AND BEGINNING OF EACH DAY.
14. THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH EPA REQUIREMENTS, INCLUDING COMPLIANCE WITH NPDES PHASE 2 REQUIREMENTS.

GRADING NOTES

1. EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
2. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
3. ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION," AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, (FIRST PRIORITY) SPECIFICATIONS, THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY), AND/OR UNIVERSITY OF NEW MEXICO STANDARD SPECIFICATIONS (THIRD PRIORITY).
4. EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
5. IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
6. THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERM OR SILT FENCE AT THE PROPERTY LINES AND WETTING THE SOIL TO PROTECT IT FROM WIND EROSION.
7. A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAUL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
8. PAVING AND ROADWAY GRADES SHALL BE +/- 0.1' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
9. ALL PROPOSED CONTOURS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR MEDIANS AND ISLANDS.
10. VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION PRIOR TO BEGINNING CONSTRUCTION.

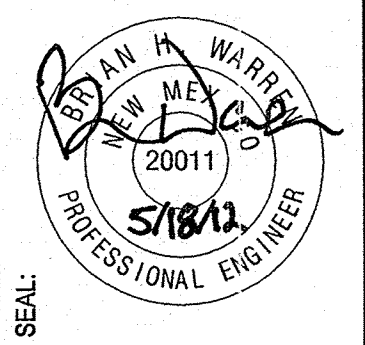
UTILITY NOTES

1. THIS CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE INSTALLATION OF ALL WORK RELATED TO MECHANICAL UTILITIES AS SHOWN ON THIS PLAN INCLUDING: TRENCHING, BACKFILL, SUPPORTS, CLEANOUT PADS, SERVICE STOPS AND BOXES, SERVICE LINES, TESTING, CLEANING, AND STERILIZING. ANY WORK NOT ACCEPTED BY THE ARCHITECT OR ENGINEER DUE TO IMPROPER WORKMANSHIP OR LACK OF PROPER COORDINATION SHALL BE REMOVED AND CORRECTLY INSTALLED AT THE CONTRACTOR'S EXPENSE, AS DIRECTED.
2. MINIMUM DEPTHS OF COVER SHALL BE: 36" FOR WATERLINES AND 48" FOR SEWER, EXCEPT AT BUILDING CONNECTION.
3. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED OF HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE UNIFORM PLUMBING CODE & NFPA 24, LATEST EDITION.
4. UTILITY LINES SHALL BE INSTALLED PRIOR TO PAVEMENT, CURB AND GUTTER, AND/OR SIDEWALK, AS APPLICABLE.
5. ROUGH GRADING OF SITE (+/-0.5') SHALL BE COMPLETED PRIOR TO INSTALLATION OF UTILITY LINES.
6. CONTRACTOR WILL BE RESPONSIBLE FOR CONNECTIONS TO BUILDING DRAIN LINES AND ALL NECESSARY FITTINGS.
7. ALL VALVES CONSTRUCTED ON AN EXISTING LINE SHALL BE ANCHORED PER COA STANDARD DWG. 2333.
8. FIRE LINES SHALL USE PIPE MATERIALS UNDERWRITERS LABORATORIES LISTED AND APPROVED FOR FIRE SERVICE.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WATER METER, FIRE LINE, AND SEWER HOOKUP FEES FOR INSTALLATIONS. OWNER SHALL BE RESPONSIBLE FOR UTILITY EXPANSION CHARGES, PRORATA AND OTHER SPECIAL ASSESSMENTS.
10. CONTRACTOR SHALL VERIFY INVERTS AND LOCATIONS OF EXISTING UTILITY LINES PRIOR TO BEGINNING WORK. ALL CONFLICTS SHALL BE BROUGHT TO ATTENTION OF THE ENGINEER AND RESOLVED PRIOR TO BEGINNING WORK.
11. CONTRACTOR SHALL NOTIFY THE AUTHORITY HAVING JURISDICTION PRIOR TO INSTALLATION OF FIRE SERVICE LINES, AND PRIOR TO TESTING OF ALL WATERLINES. CONTRACTOR SHALL COMPLETE, SIGN, AND SUBMIT THE "CONTRACTOR'S MATERIAL & TEST CERTIFICATE FOR UNDERGROUND PIPING" IN ACCORDANCE WITH NFPA 24.
12. AT UTILITY CROSSINGS WHERE LESS THEN EIGHTEEN (18) INCHES OF CLEARANCE BETWEEN TOP AND BOTTOM OF PIPES IS PRESENT, LEAN FILL IS TO BE USED FOR A DISTANCE OF 3 FEET ON EITHER SIDE OF THE LARGEST DIAMETER PIPE AND FROM THE C OF THE LOWER PIPE TO THE C OF THE UPPER CROSSING PIPE.
13. PROVIDE BOLLARDS TO PROTECT METER, AS PER PWM & UPC REQUIREMENTS.
14. UTILITY EASEMENTS SHOWN ON CONSTRUCTION DOCUMENTS ARE A GRAPHICAL REPRESENTATION ONLY, NOT NECESSARILY RECORDED EASEMENTS. SEE RECORDED DOCUMENTS FOR EXACT EASEMENT GEOMETRY.



REV	DATE	DESCRIPTION

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