December 27, 2007

Mr. Russell Brito
City of Albuquerque, Planning Department
600 Second Street NW
Albuquerque, New Mexico 87102

SMPC
ARCHITECTS

Michael Ligon Dickson AIA
Glenn H. Fellows AIA
J. Chris Willadsen AIA

Allison Abraham AIA,ASLA
David A. Cook AIA
Patricia H. Hancock AIA
David M. Hassard AIA
Karl Schindwolf AIA

SMPC, P.A.
115 Amherst Drive SE
Albuquerque
New Mexico 87106
505 255 8668
FAX 268 6665
smpc@smpcarch.com
www.smpcarch.com

Re: Double Eagle II Airport
Airfield Maintenance Facility
Application for Administrative Amendment

Dear Mr. Brito:

The following narrative is a program summary of the Airfield Maintenance Facility at the Double Eagle II Airport. It is provided as background information to supplement the application for an Administrative Amendment to the Airport Master Plan.

As reference, the Airport Layout Plan, which we understand to be part of the Airport Master Plan documents, is attached. The existing maintenance office is identified as Item 2 and the new Airfield Maintenance Facility site is located in the area identified for City of Albuquerque Reserved Operations Support and Potential Police/OPS Building. The facility site is immediately northwest of the new Air Traffic Control Tower, in relatively close proximity the existing facility.

The new Airfield Maintenance Facility serves as a base of operations for several essential services at the Double Eagle II Airport. The 19,500 g.s.f. facility includes an airport administrative component, an airfield ground service maintenance component, and associated support spaces. Although located within the access controlled airside environment at the airport, the administrative component may have limited access by the general public. The ground service maintenance and associated support components are part of the controlled airside environment at the airport.

The 3,880 s.f. Administrative component provides general airport management and operations, field supervision, and is the base for airfield ground service maintenance at the Double Eagle II Airport. It is a fully conditioned space. The Airfield Ground Service Maintenance component includes Sheltered or Enclosed Storage of all vehicles and equipment, a vehicle/equipment wash area and a vehicle/equipment fueling center. Support components include storage for parts and tools, mechanical/electrical/compressor rooms, restrooms, locker area, changing/ shower, and an employee break area. The 7,783 s.f. Enclosed Storage

area will have minimal heating and the 4,160 s.f. Sheltered Storage area will be unheated initially with accommodations for minimal heating in the future.

Provisions for future growth have been incorporated, in terms of vehicles, equipment and staff, to accommodate the two additional runways and the midfield expansion identified in the Double Eagle II Master Plan. There are 3 employees currently working a single day shift, 8:00 a.m. to 5:00 p.m. Each employee works within all parts of the facility and on the airfield. Growth to 10 total employees is factored into the program with the possibility of extended hours of operation and a swing shift. Visitors are sporadic, averaging 5 or 6 per week on average. Conferencing and training for employees will occur at regular intervals for up to 20 persons.

There are several functions accommodated on the Airfield Maintenance Facility site for the proper operation. They include a wash bay, a fueling center, employee & visitor parking, a refuse enclosure, and yard storage for additional ground service equipment, sand, and miscellaneous equipment (barricades, etc.). Ample circulation space is provided in the maintenance yard area. The fueling and wash functions are combined into a single 3,835 s.f. Center. It includes two 1000 gallon, above ground tanks, one for diesel and the other split for gasoline and E85 fuels. Although located within the access controlled airside environment at the airport, the perimeter of the yard portion of the site is secured by a fence, with access through controlled gates. The wash bay, Fuel/Wash Center and yard storage will be located within the fenced portion of the site. The employee & visitor parking should accommodate 20 vehicles minimum. It will be located outside the fenced area which also provides access to the enclosed refuse container.

Once the project is complete, the existing maintenance facility structure, an electrical vault and FAA equipment will be removed or relocated to accommodate the expansion plans of a fixed-base operator.

Sincerely,

David M. Hassard AIA
Principal

SMPC
ARCHITECTS

Michael Ligon Dickson AIA
Glenn H. Fellows AIA
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J/06025/ProjData/Code/C01002rb.doc

CITY OF ALBUQUERQUE

Martin J. Chávez
Mayor

Nicholas S. Bakas
Director of Aviation

P.O. Box 9948

Albuquerque

New Mexico

87119-1048

www.cabq.gov

December 27, 2007

Mr. Russell Brito
City of Albuquerque Planning Department
600 Second Street NW
Albuquerque, New Mexico 87102

RE: Double Eagle II Airport
Airfield Maintenance Facility
Administrative Approval

Dear Mr. Brito:

The construction of a new airfield maintenance facility to house airfield operations and heavy maintenance equipment is an important improvement that has been planned at DEII for many years. The construction of the airfield maintenance facility will provide a long needed expansion of the current facility to house the heavy equipment and provide adequate space for expanding operational and administrative needs at the airport. This letter is transmitted with an application for an administrative approval for the project site plan for this project. The Aviation Department regards this project as an airside project, in terms of use and location, and the Double Eagle II Airport Master Plan, adopted in 2003, includes this development as part of the near term (within five years) capital improvements. The future site is shown on the approved Airport Layout Plan as an attachment to the Master Plan. The Airport Layout Plan serves as the Site Development Plan for Double Eagle II Airport. The Airport Master Plan and Airport Layout Plan were approved by FAA as well as adopted by the Albuquerque City Council (with recommendation for approval by the EPC). We believe that there are not any land issues of interest to the City of Albuquerque Planning Department or the Environmental Planning Commission that were not included in the Master Plan and a formal EPC submission will not be made on this project. A copy of the Airport Layout Plan is attached to this submittal.

Thank you for your assistance in this project. Should you require additional information, please contact me at 244-7805.

Respectfully,

Jim Hinde, Planning Manager

ABQ INTERNATIONAL SUNPORT

CITY OF ALBUQUERQUE

Martin J. Chávez
Mayor

Nicholas S. Bakas
Director of Aviation

December 27, 2007

Mr. Russell Brito
City of Albuquerque, Planning Department
600 2nd St. NW
Albuquerque, NM 87102

RE: **Double Eagle II Airport, Airfield Maintenance Facility, Request for Administrative Approval, Agent Authorization**

Mr. Brito:

The purpose of this letter is to authorize SMPC Architects to act as our agent for the request for administrative approval for the airfield maintenance facility to be constructed at Double Eagle II Airport. The City of Albuquerque Aviation Department is the owner of the property and the proposed facility.

Please contact me at 244.7805 with any questions or concerns.

Respectfully,

Jim Hinde, Planning Manager

P.O. Box 9948

Albuquerque

New Mexico

87119-1048

www.cabq.gov

ABQ INTERNATIONAL SUNPORT

AA

APPLICATION NO. 07AA-10138 | PROJECT NO. 1007009
PROJECT NAME DOUBLE EAGLE II AIRFIELD MAINTENANCE FACILITY
EPC APPLICATION NO.
APPLICANT / AGENT DAVID HASSARD | PHONE NO. 244-7805
ZONE ATLAS PAGE E-6
(SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEV PLAN), (IR), (AA)

ONE STOP COMMENT FORM LOG

HYDROLOGY DEV (505) 924-3986

PLANS DISAPPROVED	DATE	DATE
PLANS APPROVED BLB	DATE 1/2/08	DATE

COMMENTS:

UTILITY DEV (505) 924-3989

PLANS DISAPPROVED	DATE	DATE
PLANS APPROVED [illegible]	DATE 1/3/08	DATE

COMMENTS:

TRANSPORTATION DEV (505) 924-3990

PLANS DISAPPROVED NSF	DATE 01/02/08	DATE
PLANS APPROVED NSF	DATE 01/10/08	DATE

COMMENTS:
See Siteplan marked "Transp." for comments

PARKS AND REC (505) 768-5328

PLANS DISAPPROVED	DATE	DATE
PLANS APPROVED	DATE	DATE

COMMENTS:

Recd 1/11/08

PLANNING (505) 924-3858

PLANS DISAPPROVED	DATE	DATE
PLANS APPROVED RJB	DATE 22 Jan '08	DATE

COMMENTS:
Airport Maintenance Facility.
RJB

Revised 3/3/04 • checked out comments 1/9/07 [illegible]

(Return form with plat / site plan)

City of Albuquerque

DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

SUBDIVISION	S	Z	**ZONING & PLANNING**
___ Major Subdivision action			___ Annexation
___ Minor Subdivision action			___ County Submittal
___ Vacation	V		___ EPC Submittal
___ Variance (Non-Zoning)			___ Zone Map Amendment (Establish or Change Zoning)
SITE DEVELOPMENT PLAN	P		___ Sector Plan (Phase I, II, III)
___ for Subdivision			___ Amendment to Sector, Area, Facility or Comprehensive Plan
___ for Building Permit			
X Administrative Amendment (AA)			___ Text Amendment (Zoning Code/Sub Regs)
___ IP Master Development Plan	D		___ Street Name Change (Local & Collector)
___ Cert. of Appropriateness (LUCC)	L	A	**APPEAL / PROTEST of...**
STORM DRAINAGE (Form D)			___ Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals
___ Storm Drainage Cost Allocation Plan			

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): SMPC Architects (David Hassard) PHONE: 255-8668
ADDRESS: 115 Amherst Drive SE FAX: 268-6665
CITY: Albuquerque STATE NM ZIP 87106 E-MAIL: dmh@smpcarch.com

APPLICANT: City of Albuquerque Aviation Dept. (Jim Hinde) PHONE: 244-7805
ADDRESS: 2200 Sunport Blvd. SE FAX: 244-7793
CITY: Albuquerque STATE N.M. ZIP 87119 E-MAIL: jhinde@cabq.gov
Proprietary interest in site: ___ List all owners: ___

DESCRIPTION OF REQUEST: Relocate the Airfield Maintenance Facility, shown as Item 23 on the Double Eagle II Airport Master Plan, to a site immediately West of the ATCT.

Is the applicant seeking incentives pursuant to the Family Housing Development Program? ___ Yes. X No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. S-2, Aerospace Technology Park Block: ___ Unit: ___
Subdiv/Addn/TBKA: ___
Existing Zoning: SU-1 Proposed zoning: ___ MRGCD Map No ___
Zone Atlas page(s): E-6 UPC Code: 100606027744410145

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_,Z_, V_, S_, etc.): ___

CASE INFORMATION:

Within city limits? X Yes Within 1000FT of a landfill? ___
No. of existing lots: ___ No. of proposed lots: ___ Total area of site (acres): ___
LOCATION OF PROPERTY BY STREETS: On or Near: 7401 Paseo Del Volcan NW, DE II Airport
Between: ___ and ___

Check-off if project was previously reviewed by Sketch Plat/Plan ☐, or Pre-application Review Team ☐. Date of review: ___

SIGNATURE [signature] DATE 12-27-07
(Print) David M. Hassard, Principal, SMPC Architects Applicant: ☐ Agent: X

FOR OFFICIAL USE ONLY Form revised 4/07

☐ INTERNAL ROUTING
☑ All checklists are complete
☑ All fees have been collected
☑ All case #s are assigned
☑ AGIS copy has been sent
☑ Case history #s are listed
☑ Site is within 1000ft of a landfill
☑ F.H.D.P. density bonus
☑ F.H.D.P. fee rebate

Application case numbers	Action	S.F.	Fees
07AA - - 10136	ASBP	P(4)	$ 0
- -			$
- -			$
- -			$
- -			$
			Total $ 0

Hearing date N/A

Sandy Haverlley 12/28/07
Planner signature / date

Project # 1007009

FORM P(4): SITE PLAN REVIEW – ADMINISTRATIVE APPROVAL OR AMENDMENT

☐ **SITE DEVELOPMENT PLAN - BUILDING PERMIT IN THE DOWNTOWN SU-3 ZONE (AA01)**

__ Copy of the pre-application meeting findings (A pre-application meeting is required for Downtown 2010 projects.)
__ Site plan and related drawings (folded to fit into an 8.5" x 14" pocket) **6** copies
__ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
__ Letter briefly describing and justifying the request
__ Letter of authorization from the property owner if application is submitted by an agent
__ Notifying letter and certified mail receipts to owners of adjacent properties if required by pre-application meeting
__ Infrastructure List, if relevant to the site plan
__ Completed Site Plan for Building Permit Checklist
__ Solid Waste Management Department signature on Site Plan if relevant
__ Blue-line copy of Site Plan with Fire Marshal's stamp
__ Copy of the LUCC approval if the site is in an historic overlay zone
__ Fee (see schedule)
__ Any original and/or related file numbers are listed on the cover application

☒ **AMENDMENT TO SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (AA02)**
☐ **AMENDMENT TO SITE DEVELOPMENT PLAN FOR SUBDIVISION (AA03)**
☐ **CONCEALED OR SITE DEVELOPMENT PLAN CONTROLLED WIRELESS TELECOM FACILITY (AA04)**

NOTE: The requirements specified below apply to the previous 3 plan types, unless otherwise noted.

✓ Proposed Site Plan, with changes circled and noted if amended (folded to fit into an 8.5" x 14" pocket) **5** copies
✓ Copy of approved Site Plan being amended if applicable (folded to fit into an 8.5" x 14" pocket) **1** copy
✓ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
✓ Letter briefly describing and justifying the request
✓ Letter of authorization from the property owner if application is submitted by an agent
N/A Copy of EPC or DRB Notice of Decision (not required for WTF)
__ Fee (see schedule)
__ Any original and/or related file numbers are listed on the cover application

NOTE: The next two items are also required <u>if the square footage change is 2% or more of any building's gross floor area</u>

__ Notifying letter & certified mail receipts addressed to owners of adjacent properties
__ Office of Neighborhood Coordination inquiry response, notifying letter, certified mail receipts

NOTE: Only for <u>wireless telecommunications facilities</u> that are <u>concealed</u> and/or <u>subject to site development plan review</u>, the following materials are required for application submittal in addition to **all** those listed above:

__ Co-location evidence as described in *Zoning Code* §14-16-3-17(A)(5)
__ Notarized statement declaring # of antennas accommodated. Refer to §14-16-3-17(A)(10)(d)2
__ Letter of intent regarding shared use. Refer to §14-16-3-17(A)(10)(e)
__ Letter of description as above also addressing concealment issues, if relevant. Refer to §14-16-3-17(A)(12)(a)
__ Distance to nearest existing free standing tower, and its owner's name, if the proposed facility is also a tower
__ Registered Engineer's stamp on the Site Development Plans
__ Office of Community & Neighborhood Coordination inquiry response as above **based on ¼ mile radius**

PLEASE NOTE; If you are applying for approval of a telecom site to be located on City of Albuquerque property, there are several additional requirements. Contact Debbie Stover at 924-3940 for details.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

David M. Hassard
Applicant name (print)

12-27-07
Applicant signature / date

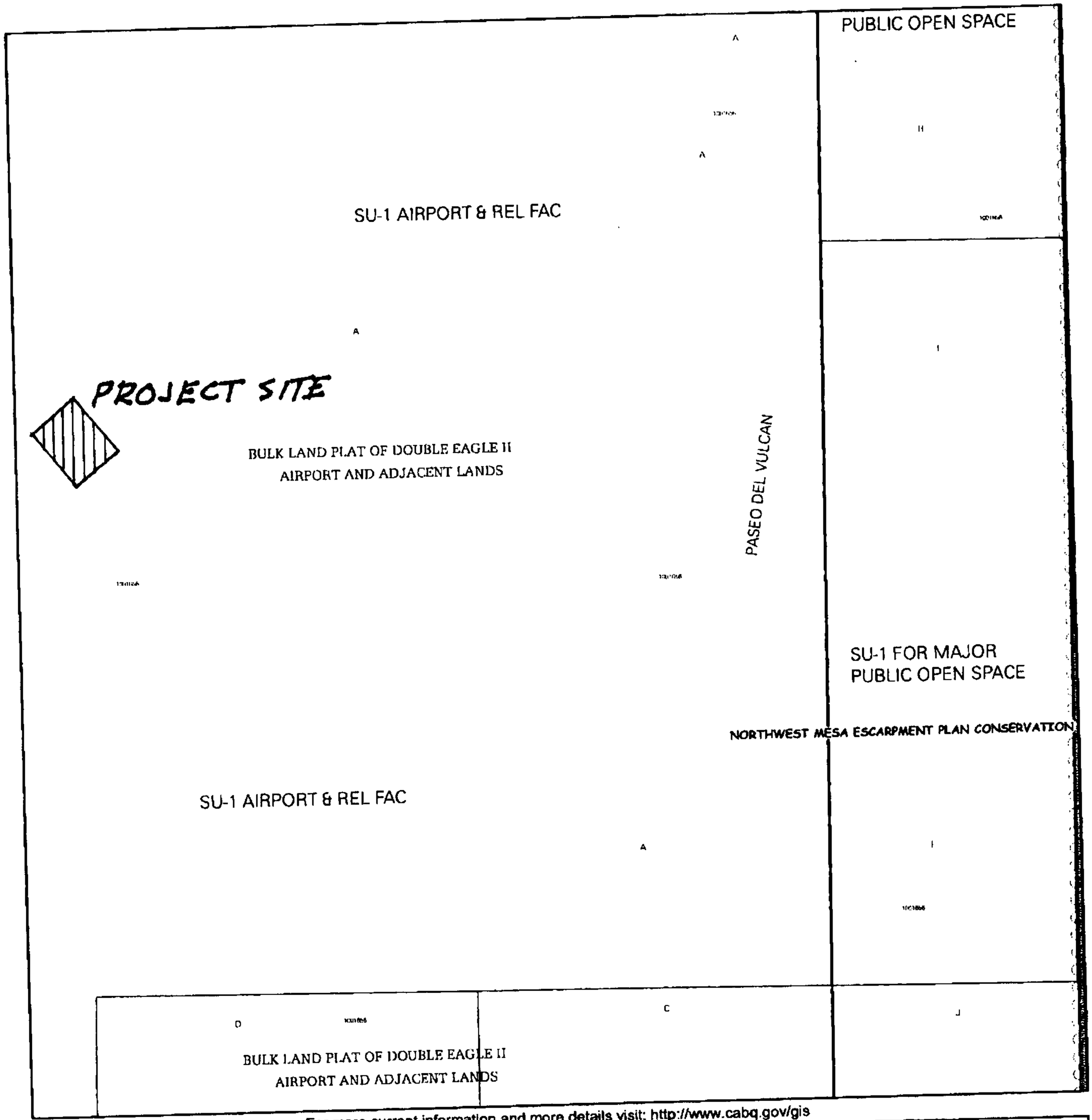
Form revised June 04, **October 2004**

☑ Checklists complete
☑ Fees collected
☑ Case #s assigned
☑ Related #s listed

Application case numbers
07AA - ____ - ____
____ - ____ - ____
____ - ____ - ____

Planner signature / date

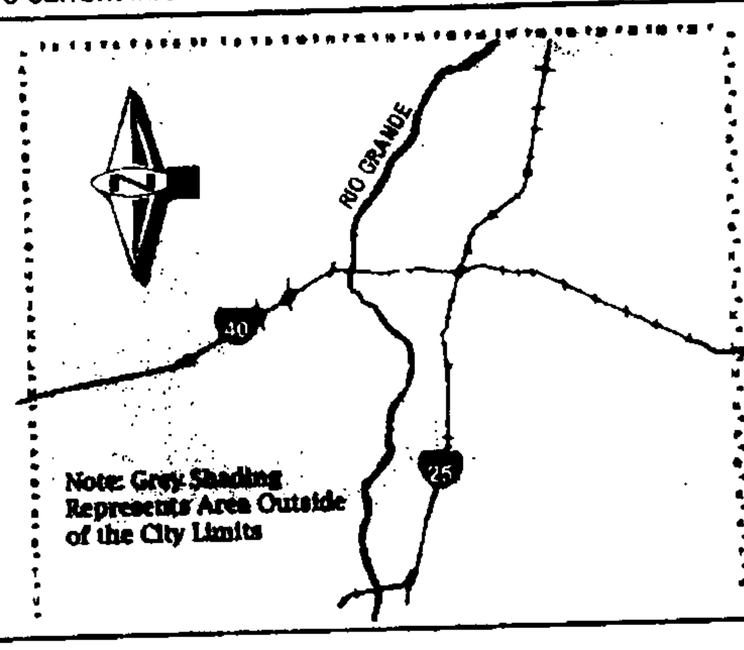
Project # 1007009



For more current information and more details visit: http://www.cabq.gov/gis

AGIS
Albuquerque Geographic Information System

Map amended through: 9/6/2007



Zone Atlas Page:

E-06-Z

Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone

0 750 1,500 Feet

ADMINISTRATIVE AMENDMENT INFORMATION SHEET

The Planning Department is authorized to approve minor changes to approved Site Development Plans. Minor changes may include expansion of building square footage not greater than 10% and/or other changes that will not have a harmful impact on adjacent property or street circulation. Refer to *Zoning Code* Section 14-16-2-22(A)(6).

Application Requirements

Administrative Amendment Applications are submitted at the Development and Building Services front counter. Each request is assigned an Application number and a Project number. Applications must include the following:

- ❑ Completed Application Form with fee submittal
- ❑ Letter of Authorization from the Property Owner (if application is submitted by an agent)
- ❑ *Zone Atlas* page clearly denoting the subject site
- ❑ Copy of the most recent Official Notice of Decision pertaining to the subject site
- ❑ A letter describing the project and indicating the percent change in heated square footage (if applicable)
- ❑ 1 copy of the previously approved plan set (typically the DRB-approved set)
- ❑ 5 copies of the revised plan, including all relevant plan sheets. The plans must be clearly dated and labeled as revisions and all proposed changes must be clearly denoted. Changes to parking calculations, landscaping calculations and similar plan elements must be clearly indicated.
- ❑ Materials pertinent to Notification (if applicable, see below)

Notification

Amendments proposing a building expansion of more than 2% of the approved square footage and/or amendments which may substantially aggrieve* any person require notification <u>by the applicant</u>. In such instances, the *Zoning Code* requires notification to 2 officers of all Recognized Neighborhood Associations that bound or are adjacent to the subject site and notification to adjacent property owners. The term "adjacent," as it relates to Administrative Amendments, includes property contiguous to the subject site and property that would be contiguous if not for public rights-of-way. Therefore, properties across an alley or street from the subject site are considered adjacent. When notification is required, the following materials must be submitted with the application:

- ❑ Developer Inquiry Sheet (completed) from the Office of Neighborhood Coordination (924-3914) plus Notifying Letter (copy) and Certified Mail Receipts
- ❑ *Zone Atlas* page highlighting adjacent properties (for which notice has been provided), List of adjacent property owners receiving notice, Notifying Letter (copy) and Certified Mail Receipts

Ownership of adjacent property can be determined by using the Bernalillo County Assessor's web site: <u>www.bernco.gov/assessor</u>. **Notification letters** must clearly describe the project, identify the location of the subject property, provide a phone number for a project contact person, and indicate the phone number for the City Planning Department: 924-3860. The reverse side of this form provides a sample notification letter. Failure to adequately notify may result in delay, denial or forfeiture of approval.

Process / Timeframe

Upon receipt of a complete application, the request is reviewed by Hydrology, Utility Development, and Transportation Planning before final review by the Development Review Division. Oftentimes the Zoning Enforcement office also review the submittal, particularly if the request relates to signage. The entire process typically takes 10 or more business days.

Appeal

There is a 15-day period from the date of the final approval for filing appeals with the Planning Department. Appeals to Administrative Amendments are made to the City Council through the Land Use Hearing Officer.

* *Applicants who have reason to believe that one or more persons may be substantially aggrieved by a proposed Administrative Amendment shall comply with the Notification process specified above. Significant delays will result if the Development Review Division determines that adequate Notification has not been provided.*

Initial Printing: June, 04; revised: Augu

Administrative Amendment Sample Notification Letter

To be sent by the applicant via Certified Mail to Neighborhood Association representatives and by First Class Mail to adjacent property owners

Date
To
Address
City/State/Zip

Dear *Property Owner / Neighborhood Association Representative*:

This letter is to inform you that application for an Administrative Amendment to an approved Site Development Plan will be submitted to the City of Albuquerque Planning Department for review and possible approval. The application will be submitted on or about *date*. **The City's review process will take a minimum of 15 days** (from the postmarked date of this letter), whereupon a final decision will be rendered. A copy of the Planning Department's ***Administrative Amendment Information Sheet*** is enclosed to help you better understand this process.

The specifics of the project are as follows:

- *INDENTIFY THE LOCATION OF REQUEST & SIZE OF THE SITE*
- *PROVIDE THE LEGAL DESCRIPTION OF THE PROPERTY*
- *DESCRIBE THE REQUEST: WHAT IS BEING CHANGED OR EXPANDED AND WHY*
- *INDICATE HOW THE CHANGES WILL COMPLEMENT THE EXISTING (OR APPROVED) DEVELOPMENT*
- *ADDRESS ANY ITEMS THAT MIGHT BE OF CONCERN TO NEARBY OWNERS / RESIDENTS*

If you have questions about this proposal, please call me at _____.

This application can be reviewed at the City Planning Department offices in downtown Albuquerque at the Plaza del Sol building, located at 600 2nd Street NW. It is advised that you call the Planning Department to schedule a visit so that the project file will be available upon your arrival. To arrange a visit to review this application, please contact Fran Tapia, Development Review Division, at 924-3860. Ms. Tapia can also put you in contact with the planner who will be reviewing the project. The planner will be able to explain the Administrative Amendment process and your opportunity for input.

Sincerely,

Name
Title
Company

Revised: Nov 04

Administrative Amendments to Site Development Plans

It is essential to understand the original site plan approval process. The vast majority of AA's (Administrative Amendments) are based on site plans originally approved by the EPC (Environmental Planning Commission). Almost every site development plan approved by the EPC includes conditions of approval that ***must be met***. These conditions are reviewed in the DRB (Development Review Board) process before applicants can proceed to building permit. In reviewing AA's, our office rarely approves changes to site plans that are contrary to the conditions established by the EPC.

- Submittals must include a Notice of Decision from EPC. Sometimes the Notice of Decision cannot be found with a really old approval, say from the 1960's or 1970's. But in most cases, a Notice of Decision is available in our file room.

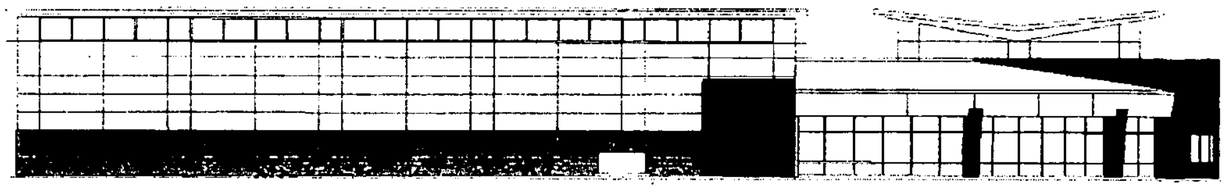
- Applications must be complete at the time of submittal. If there are any questions about what is required, call Russell Brito, 924-3337. In many instances, applications have been submitted for over a week before they are reviewed.

- Submittals must include a copy of the approved site development plan for building permit. The recommendation is for applicants to submit all sheets of the approved plan set.

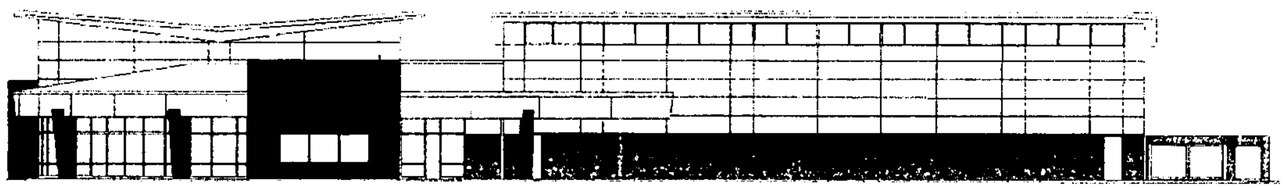
- Submittal of a DRB decision is only useful if the project was first approved by the DRB. This is rarely the case. The EPC has approval authority for most sites for which site plans are required.

NOTICE:

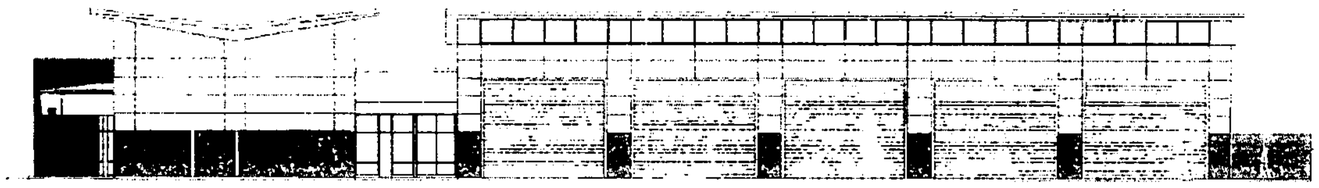
100 7009/07AA-1D38



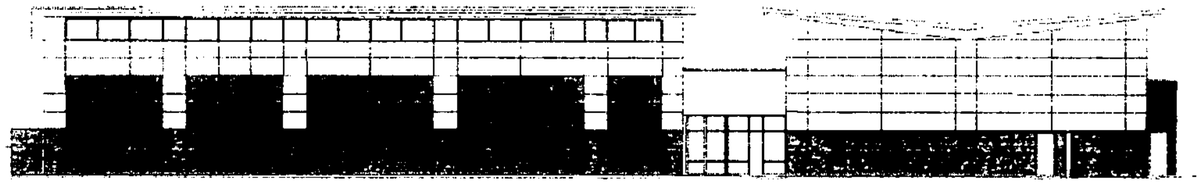
Northeast Elevation



Southwest Elevation

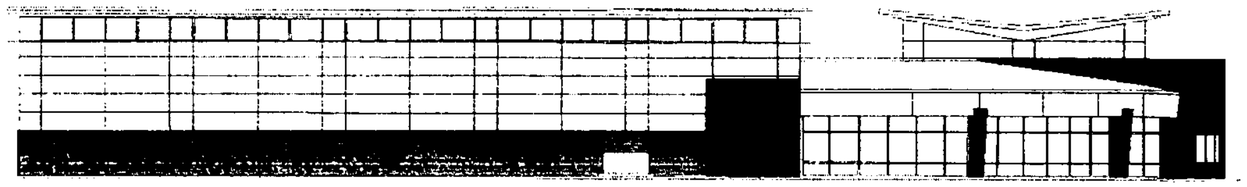


Northwest Elevation

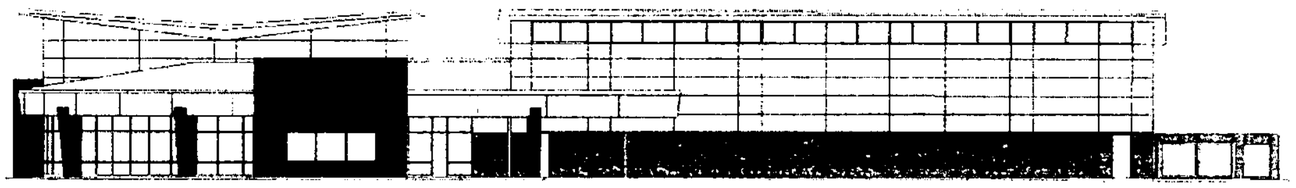


Southeast Elevation

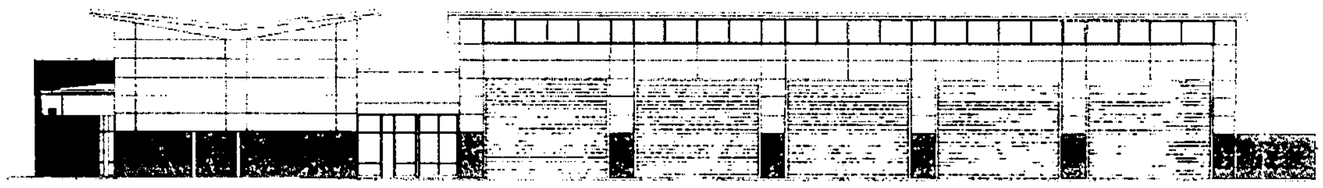
Scheme 1 - dark



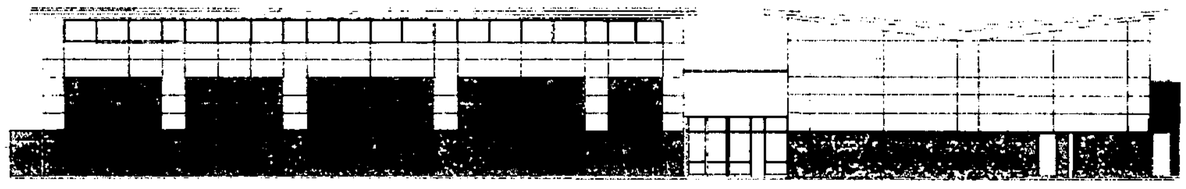
Northeast Elevation



Southwest Elevation

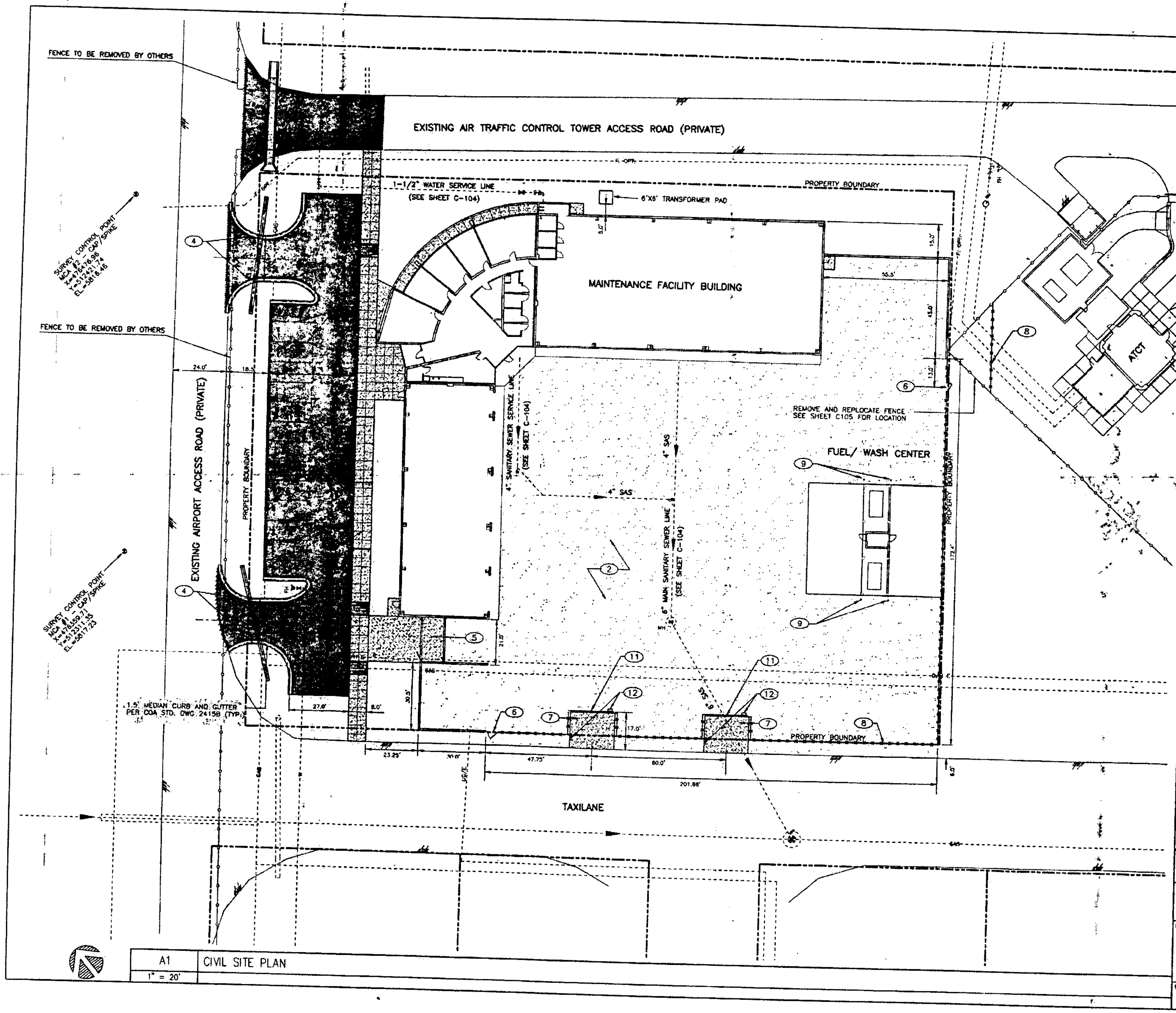


Northwest Elevation



Southeast Elevation

Scheme 1 - dark



KEYED NOTES

1. PARKING LOT PAVEMENT SECTION. SEE SECTION SHEET C501.
2. MAINTENANCE YARD PAVEMENT SECTION. SEE SECTION SHEET C501.
3. 8' SIDEWALK WITH TURN-DOWN FACE. FOR DETAILS SEE SHEET C501
4. STANDARD 18" MEDIAN CURB AS PER COA DWG. 2415B W/ 3' TRANSITIONED ENDS. FOR DETAIL SEE SHEET C501.
5. REFUSE/ RECYCLING ENCLOSURE. FOR DETAILS SEE SHEET C503.
6. MANUAL 4' WIDE SWING GATE AS PER COA DWG. 2252.
7. MANUAL 20' WIDE SLIDE GATE. FOR DETAILS SEE SHEET C502.
8. 6' CHAINLINK FENCE AS PER COA DWG 2252 W/ BARBED WIRE. FOR DETAILS SEE SHEET C502.
9. 6" STATIONARY POST/ BOLLARD AS PER COA DWG. 2250.
10. 4" PAINTED WHITE PARKING LOT MARKING.
11. 16'X20' CONCRETE DRIVE PAD. FOR DETAILS SEE SHEET C501. SAWCUT EXISTING ASPHALT TAXILANE.
12. FUTURE ELECTRONIC GATE CARD READER W/ BOLLARDS AND HYDRAULIC GATE MOTOR.

ADMINISTRATIVE AMENDMENT

File #: 02AA-10120 Project #: 1010209
Airport Maintenance Facility
APPROVED BY [signature] DATE 22 Jan '08

CAUTION:
NOTE THAT ALL EXISTING UTILITIES MAY NOT BE SHOWN. EXISTING SERVICE CONNECTIONS ARE NOT SHOWN. ANY EXISTING UTILITIES THAT ARE SHOWN ARE SHOWN IN APPROXIMATE LOCATION ONLY. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT ALL THE UTILITY OWNERS AND TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS.

NO.	DATE	REMARKS	BY
1	1/9/08	REVISED PARKING LAYOUT	MCA

REVISIONS
DESIGN DATE:

A/E STAMP: JOHN M. PROVINE, NEW MEXICO, 10997

SURVEY INFORMATION — FIELD NOTES: NO. / BY / DATE

BENCH MARKS: AP-1D1: N=1470080.82, E=380590.58, EL=5308.61 (SEE SHEET C101)

AS BUILT INFORMATION: CONTRACTOR / WORK STARTED BY / INSPECTOR'S ACCEPTANCE BY / FIELD VERIFICATION BY / DRAWINGS CORRECTED BY — DATE

MICRO-FILM INFORMATION: RECORDED BY — DATE

SMPC ARCHITECTS
MOLZEN-CORBIN & Associates

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PROJECT #	06025
DWN BY:	CWG
CHK BY:	JMP
DATE:	1/9/08

CITY OF ALBUQUERQUE
AVIATION DEPARTMENT

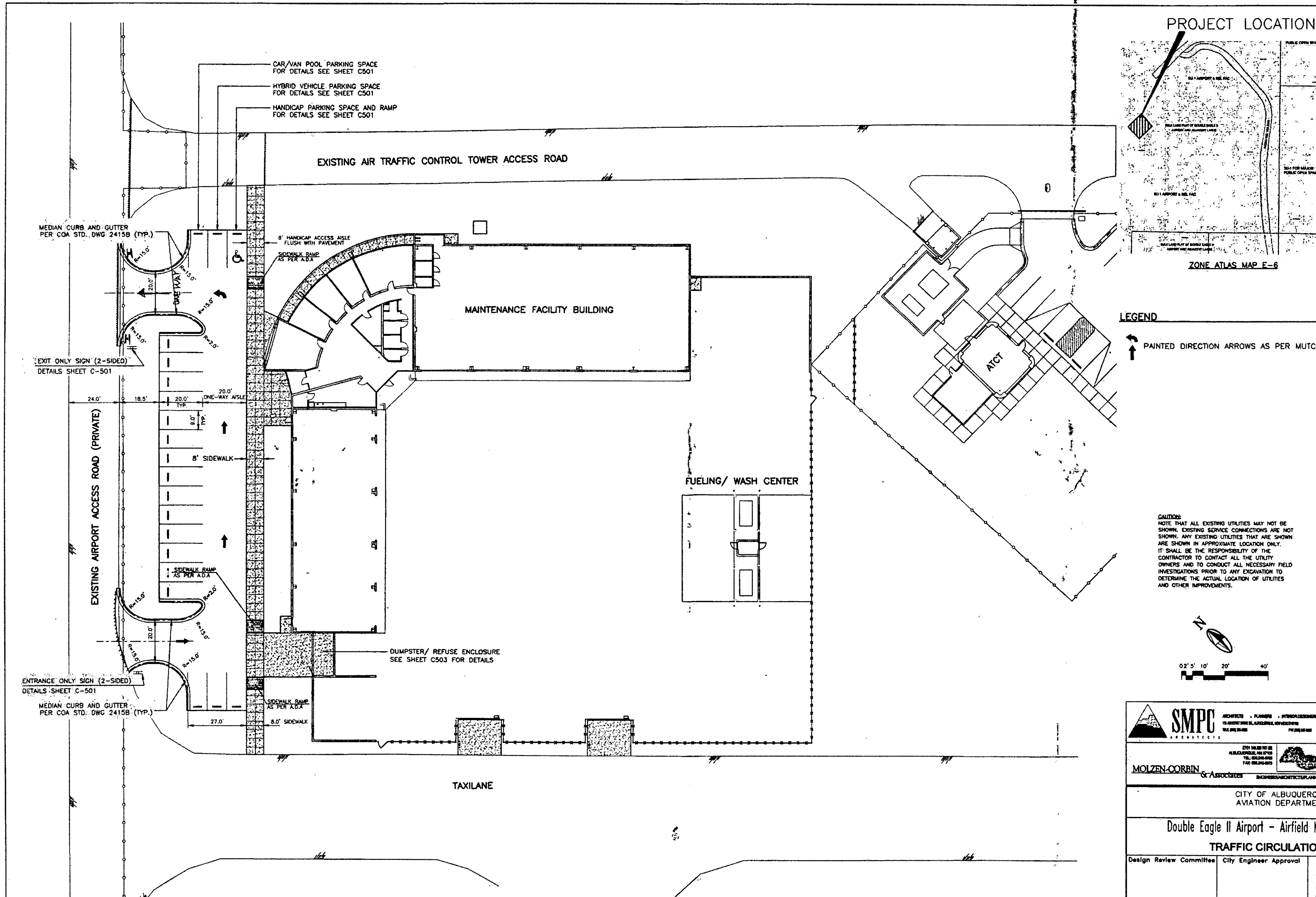
Double Eagle II Airport - Airfield Maintenance Facility

CIVIL SITE PLAN

Design Review Committee	City Engineer Approval	Last Design Update

City Project No.	Zone Map No.	Sheet	of	
7773.03	E8	3	92	C101

Jan 10, 2008 - 10:04am
I:\SMPC\SMP11H-11 Maintenance Building\DWGS\CAB-102.dwg



CAUTION:
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LEGEND

PAINTED DIRECTION ARROWS AS PER MUTCD

0' 2.5' 10' 20' 40'

A1 TRAFFIC CIRCULATION PLAN
1" = 20'

AS BUILT INFORMATION
CONTRACTOR
WORK STAKED BY — DATE
INSPECTOR'S ACCEPTANCE BY — DATE
FIELD VERIFICATION BY — DATE
DRAWINGS CORRECTED BY — DATE
MICRO-FILM INFORMATION
RECORDED BY — DATE

BENCH MARKS
AP-101: N=470980.62, E=388996.56, EL.=5308.61
(SEE SHEET C101)

SURVEY INFORMATION
FIELD NOTES

NO.	BY	DATE

A/E STAMP
JOHN M. PROVINE — NEW MEXICO — 10997

NO.	DATE	REMARKS	BY
1	1/9/08	REVISED PARKING LAYOUT	MCA

REVISIONS
DESIGN DATE:
DATE:
DATE:

SMPC ARCHITECTS
MOLZEN-CORBIN & Associates

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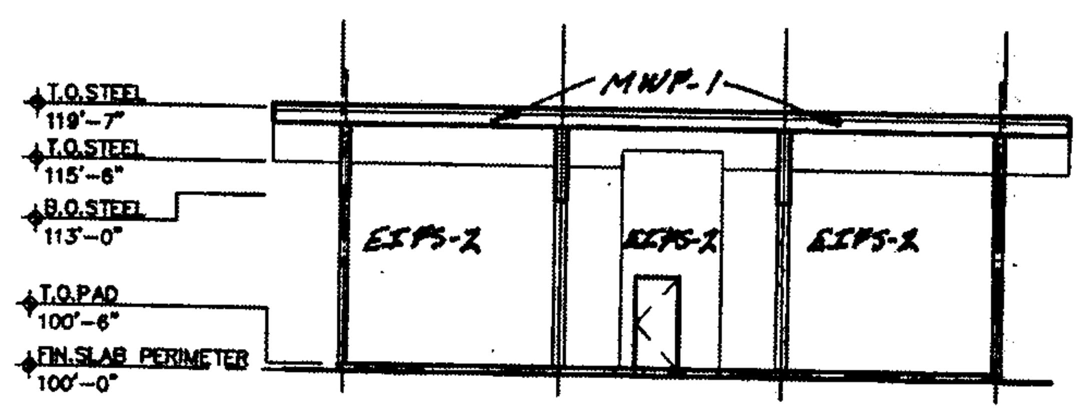
PROJECT #: 06025
DWN BY: CWG
CHK BY: JMP
DATE: 1/9/08

CITY OF ALBUQUERQUE
AVIATION DEPARTMENT

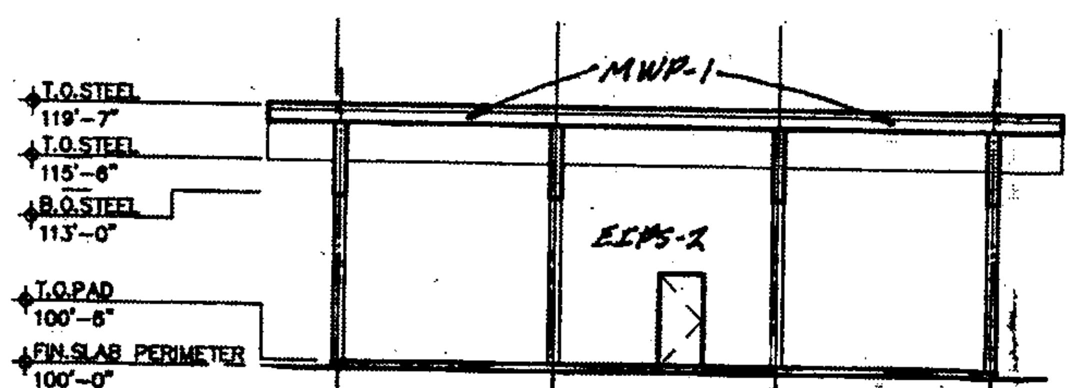
Double Eagle II Airport - Airfield Maintenance Facility
TRAFFIC CIRCULATION PLAN

Design Review Committee	City Engineer Approval	Last Design Update	MO./DAY/YR.	MO./DAY/YR.

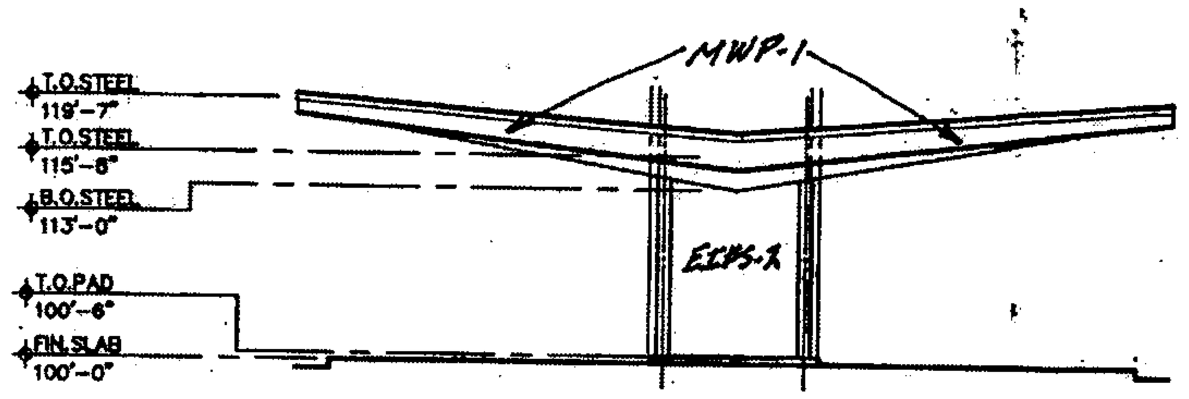
City Project No.	Zone Map No.	Sheet	Of	
7773.03	E6	4	92	C102



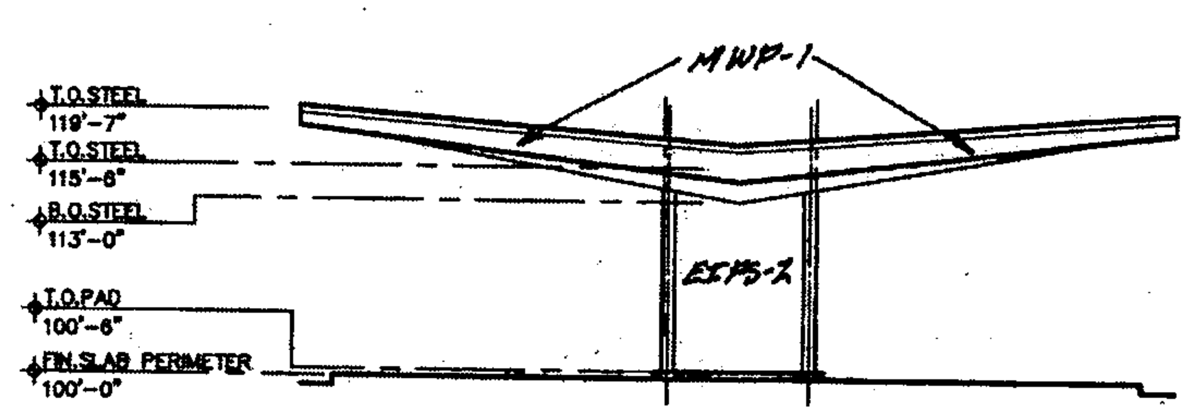
J2	NORTHWEST ELEVATION
3/32"= 1'	



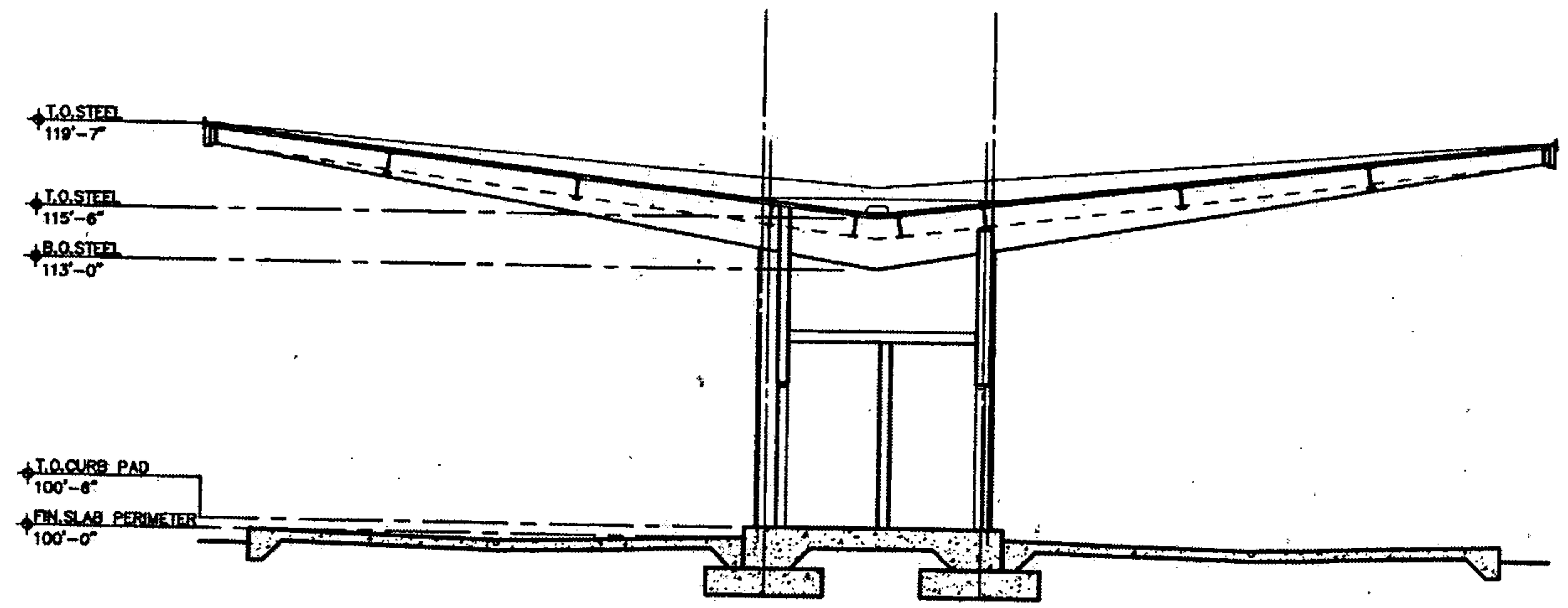
G2	SOUTHEAST ELEVATION
3/32"= 1'	



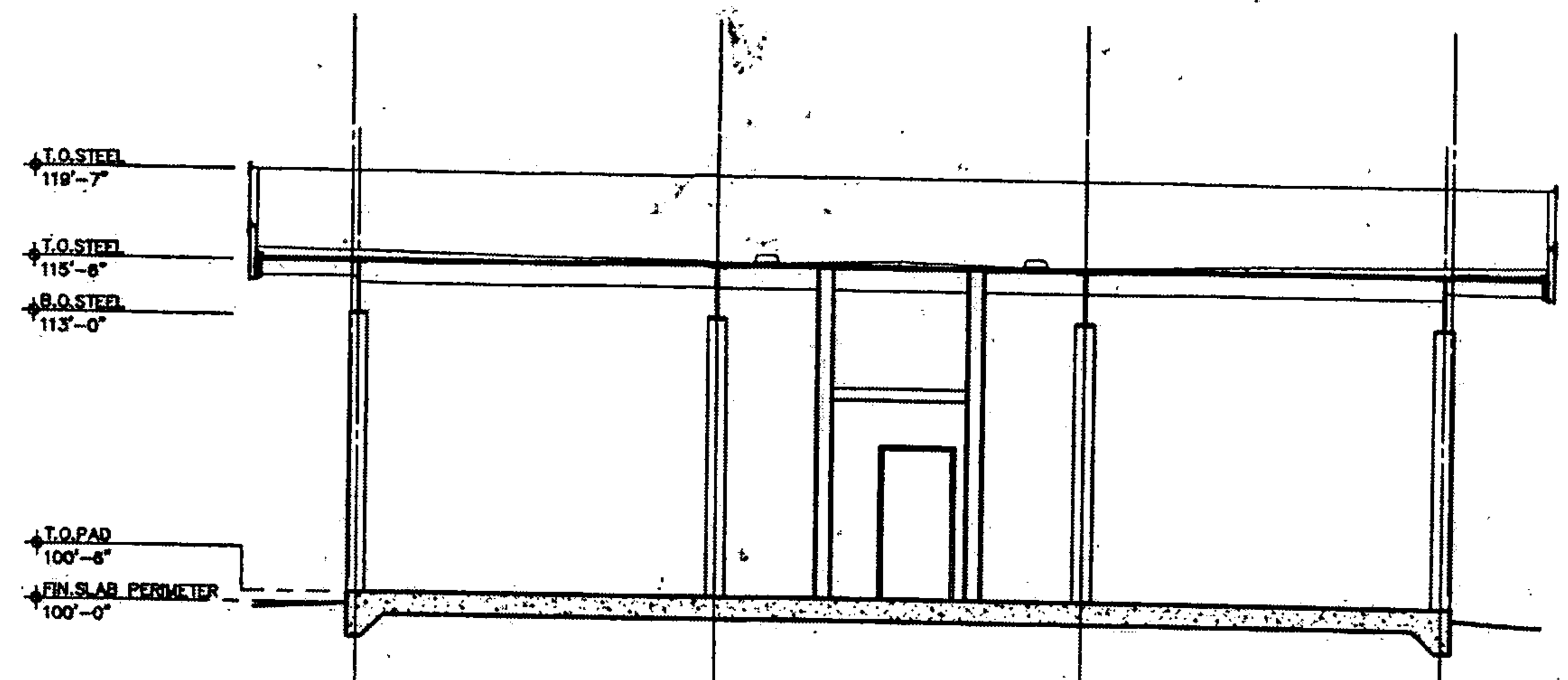
D2	NORTHEAST ELEVATION
3/32"= 1'	



A2	SOUTHWEST ELEVATION
3/32"= 1'	



J7	SECTION
3/16"= 1'	



D7	SECTION
3/16"= 1'	

MATERIAL KEYING LEGEND

Exterior Insulation and Finish System
- EIFS-1 Gray
- EIFS-2 Tan
- EIFS-3 Teal

Metal Roof Panels, Standing Seam
- MRP-1 Off White

Metal Wall Panels, Flat Lock
- MWP-1 Off White

Anodized Aluminum Storefront System
- AAS-1 Clear Aluminum, Green Glass

Anodized Aluminum Window System
- AWS-1 Clear Aluminum, Green Glass

Ceiling Doors
- CD-1 Gray

GENERAL NOTES

1. DIMENSIONS ARE FROM EXTERIOR STUDS/MASONRY/CONCRETE, DOOR AND WINDOW FRAMES TO COLUMN CENTER LINES AND TO CENTER LINES OF INTERIOR STUD PARTITIONS OR FACE OF INTERIOR MASONRY WALLS, UNLESS OTHERWISE NOTED.

AS BUILT INFORMATION

	DATE
CONTRACTOR	DATE
WORK STAKED BY	
INSPECTOR'S ACCEPTANCE BY	DATE
FIELD VERIFICATION BY	DATE
DRAWINGS CORRECTED BY	DATE

MICRO-FILM INFORMATION

RECORDED BY	DATE

BENCH MARKS

SURVEY INFORMATION

FIELD NOTES

NO.	BY	DATE

A/E STAMP

	BY
REMARKS	
REVISIONS	
DESIGN	
BUILDING PERMIT/REVIEW COMMENTS	DATE: 7/29/04
	DATE:
	DATE:

SMPC ARCHITECTS
ARCHITECTS • PLANNERS • INTERIOR DESIGNERS
115 AMHERST DRIVE SE, ALBUQUERQUE, NEW MEXICO 87106
TEL. (505) 255-0680 FAX (505) 266-6866

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PROJECT # 06025
DWN BY: TPW
CHK BY: DMH
DATE: 12/14/2007

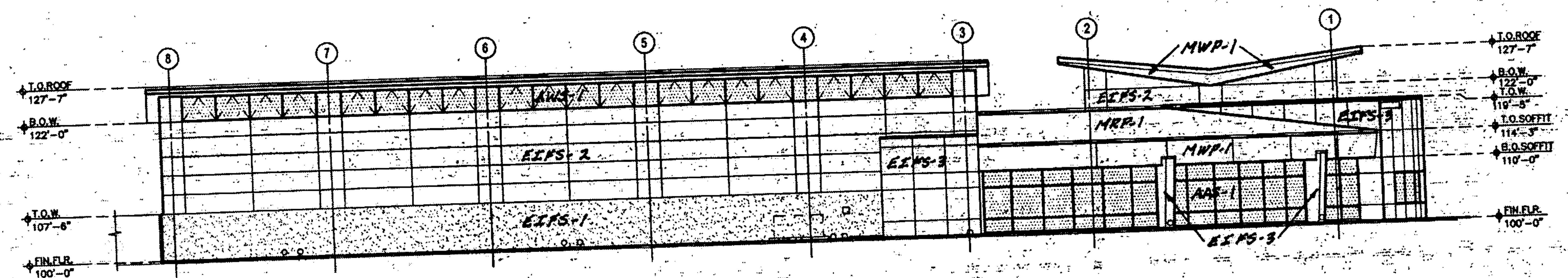
CITY OF ALBUQUERQUE
AVIATION DEPARTMENT

DOUBLE EAGLE II AIRPORT AIRFIELD MAINTENANCE FACILITY

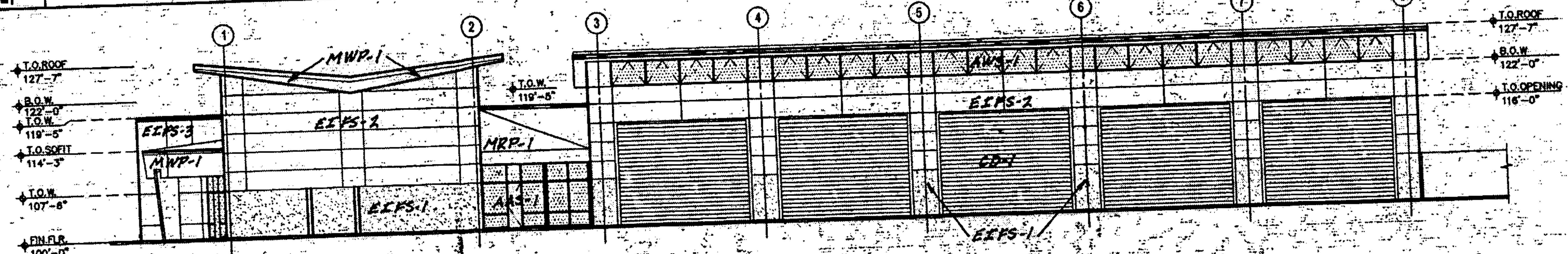
FUEL/WASH CENTER- ELEVATIONS & SECTIONS

Design Review Committee	City Engineer Approval	Last Design Update

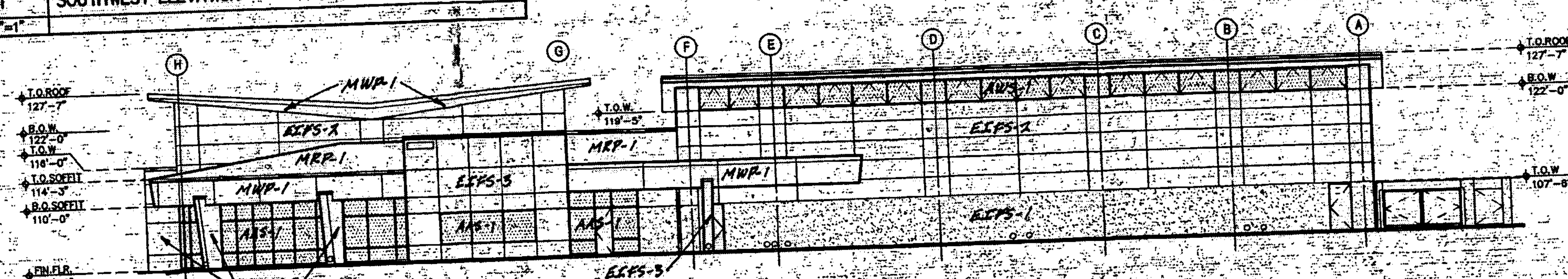
City Project No.	Zone Map No.	Sheet	Of	
7773.03	N-15-Z	52	92	A203



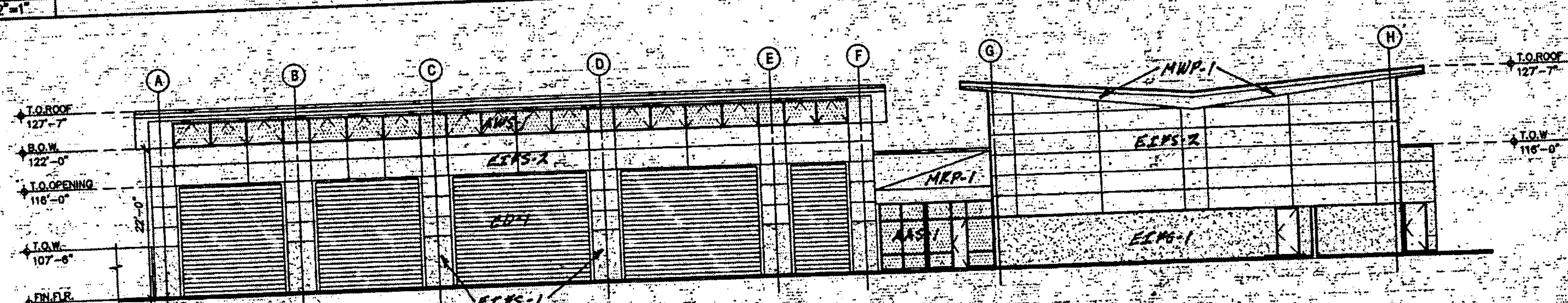
J1	NORTHEAST ELEVATION
3/32"=1'	



G1	SOUTHWEST ELEVATION
3/32"=1'	



D1	NORTHWEST ELEVATION
3/32"=1'	



A1	SOUTHEAST ELEVATION
3/32"=1'	

MATERIAL KEYING LEGEND

Exterior Insulation and Finish System
- EIFS-1 Grey
- EIFS-2 Tan
- EIFS-3 Teal

Metal Roof Panels, Standing Seam
- MRP-1 Off White

Metal Wall Panels, Flat Lock
- MWP-1 Off White

Anodized Aluminum Storefront System
- AAS-1 Clear Aluminum, Green Glass

Anodized Aluminum Window System
- AWS-1 Clear Aluminum, Green Glass

Coiling Doors
- CD-1 Grey

GENERAL NOTES

1. DIMENSIONS ARE FROM EXTERIOR STUDS/MASONRY/CONCRETE, DOOR AND WINDOW FRAMES TO COLUMN CENTER LINES AND TO CENTER LINES OF INTERIOR STUD PARTITIONS OR FACE OF INTERIOR MASONRY WALLS, UNLESS OTHERWISE NOTED.
2. REFER TO DETAIL F5/A510 & J5/A510 FOR V-GROOVE ON EIFS.
3. REFER TO DIMENSION DETAIL F7/A510 FOR V-GROOVE ON EIFS.

AS BUILT INFORMATION

CONTRACTOR — DATE

WORK STAKED BY — DATE

INSPECTOR'S ACCEPTANCE BY — DATE

FIELD VERIFICATION BY — DATE

DRAWINGS CORRECTED BY — DATE

MICRO-FILM INFORMATION

RECORDED BY — DATE

BENCH MARKS

SURVEY INFORMATION

FIELD NOTES

NO.	BY	DATE

A/E STAMP

REMARKS	BY
REVISIONS	
DESIGN	DATE:
BUILDING PERMIT/REVIEW COMMENTS	DATE: 7/29/08
	DATE:

SMPC ARCHITECTS

ARCHITECTS • PLANNERS • INTERIOR DESIGNERS
115 AMHERST DRIVE SE, ALBUQUERQUE, NEW MEXICO 87106
TELE. (505) 255-8668 FAX (505) 268-6665

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PROJECT #: 06025

DWN BY: TPW

CHK BY: DMH

DATE: 12/14/2007

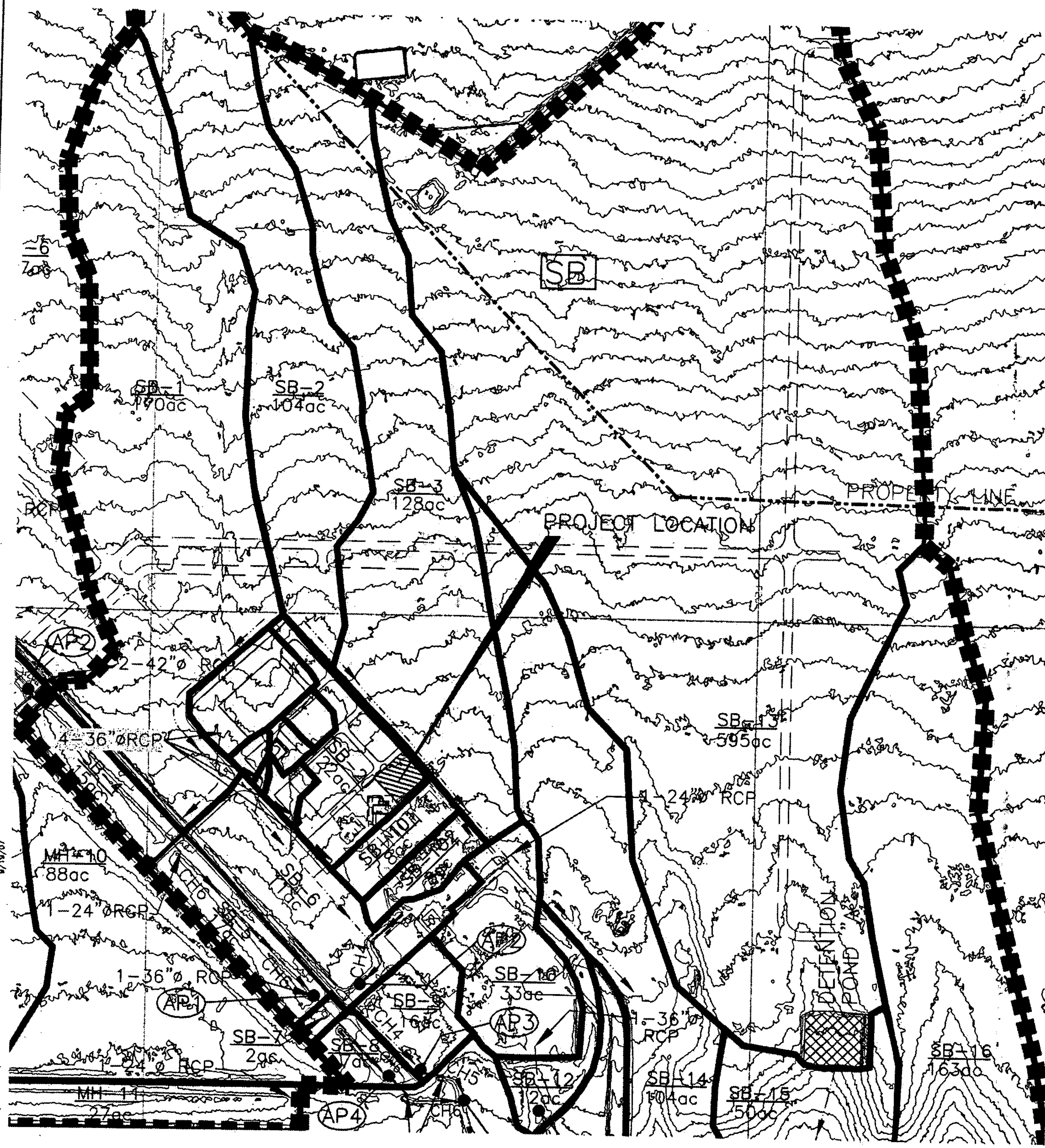
CITY OF ALBUQUERQUE
AVIATION DEPARTMENT

DOUBLE EAGLE II AIRPORT AIRFIELD MAINTENANCE FACILITY

EXTERIOR ELEVATIONS

Design Review Committee	City Engineer Approval	Last Design Update

City Project No.	Zone Map No.	Sheet	Of	
7773.03	N-15-Z	50	92	A201



LEGEND

5927 (contour symbol)	EXISTING CONTOUR (1' CONTOUR INTERVAL)
(dashed heavy line)	EXISITNG BASIN BOUNDARY
(heavy line)	EXISTING SUB-BASIN BOUNDARY
(arrow line)	DRAINAGE FLOW DIRECTION

NOTES

PROJECT IS LOCATED ON CITY OF ALBUQUERQUE AVIATION PROPERTY, LANDS OF DEII AIRPORT. AS SHOWN ON THE VICINITY MAP, THE SITE IS LOCATED WEST OF ALBUQUERQUE AND CAN BE ACCESSED BY EXSITING WEST BOUND I-25 AT THE PASEO DEL VOLCAN OFFRAMP AND CONTINUING NORTH ON PASEO DEL VOLCAN TO THE INTERSECTION OF DOUBLE EAGLE II AIRPORT ACCESS ROAD. FROM THE INTERSECTION THE SITE IS APPROXIMATLEY 2000' SOUTHWEST.

THE GRADING PLAN SHOWS: 1) EXISTING GRADES INDICATED BY CONTOURS AT 1.0' INTERVAL AS SHOWN FROM THE TOPOGRAPHIC SURVEY PROVIDED BY BERNALILLO COUNTY. 2) PROPOSED GRADES ARE INDICATED BY SPOT ELEVATIONS AND CONTOURS AT 1.0' INTERVALS. FOR CONTOURS SEE SHEET C-104. 3) THE LIMIT AND CHARACTER OF THE EXISTING IMPROVEMENTS. 4) THE LIMIT AND CHARACTER OF PROPOSED IMPROVEMENTS SEE SHEET C-104AND 5) CONTINUITY BETWEEN EXISTING AND PROPOSED GRADES. SEE SHEET C-104 FOR SITE GRADING.

THE PROPOSED DEVELOPMENT CONSISTS OF THE CONSTRUCTION OF APPROXIMATELY 86,000' SF MAINTENANCE AND ADMINSTRATION FACILITY INCLUDING A PAVED EMPLOYEE PARKING AREA, UN-PAVED MAINTENACE YARD AND LANDSCAPING. BUILDING AREA = 15,825' SF.

EXISITNG CONDITONS HAVE BEEN IMPROVED DUE TO THE CONSTRUCTION OF THE DEII MIDFIELD DEVELOPMENT PHASE 2 PROJECT IN THE WINTER ON 2005. THE EXISITNG CONDITONS SHOWN ON THIS SHEET REFLECT THIS PROJECT AT ITS CURRENT CONDITIONS. THESE IMPROVEMENTS ARE CONSISTANT WITH THE DOUBLE EAGLE II STORM DRAINAGE MASTERPLAN (DECEMBER 2003).

PROPOSED DEVELOPMENT GRADING WILL CONTINUE TO ALLOW THE SITE TO DRAIN FROM WEST TO EAST AND SOUTH VIA SWALE AND DITCHES SURROUNDING THE SITE. ALL DITCHES THEN DISCHARGED INTO EXISITNG DRAINAGE DITCHES AND PONDS AS PER DRAINAGE MASTER PLAN. THE CALCULATIONS SHOWN FOR BOTH EXISTING AND FUTURE CONDITIONS ANALYZE THE 100yr-6hr STORM EVENT. THE PROCEDURE FOR 40-ACRE AND SMALLER BASINS, AS SET FORTH IN THE REVISION OF SECTION 22.2, HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL, VOLUME 2, DESIGN CRITERIA, DATED JANUARY, 1993, IN CONJUNCTION WITH THE ARID-LANDS HYDROLOGIC MODEL "AHYMO-97" COMPUTER PROGRAM, HAS BEEN USED TO QUANTIFY THE PEAK RATE OF DISCHARGE AND THE VOLUME OF RUNOFF GENERATED BY THIS DEVELOPMENT. PROPOSED CONDITIONS ARE ALSO CONSISTANT WITH THE DEII STORM DRAINAGE MASTERPLAN (DECEMBER 2003) ULTIMATE CONDITIONS.

EXISTING SITE CHARACTERISTICS

(FROM DOUBLE EAGLE II AIRPORT DRAINAGE MANAGMENT PLAN)

*100 YEAR RAINFALL TABLE
- 100yr - 1hr = 1.87in
- 100yr - 6hr = 2.20in
- 100yr - 24hr = 2.66in

*SUB-BASIN SB-2J
- AREA = 22ac
- LAND TREATMENT:
- A = 0.0%
- B = 0.0%
- C = 80.0%
- D = 20.0%
- REACH = 2045ft
- HIGH EL. = 5827.00ft
- LOW EL. = 5810.00ft

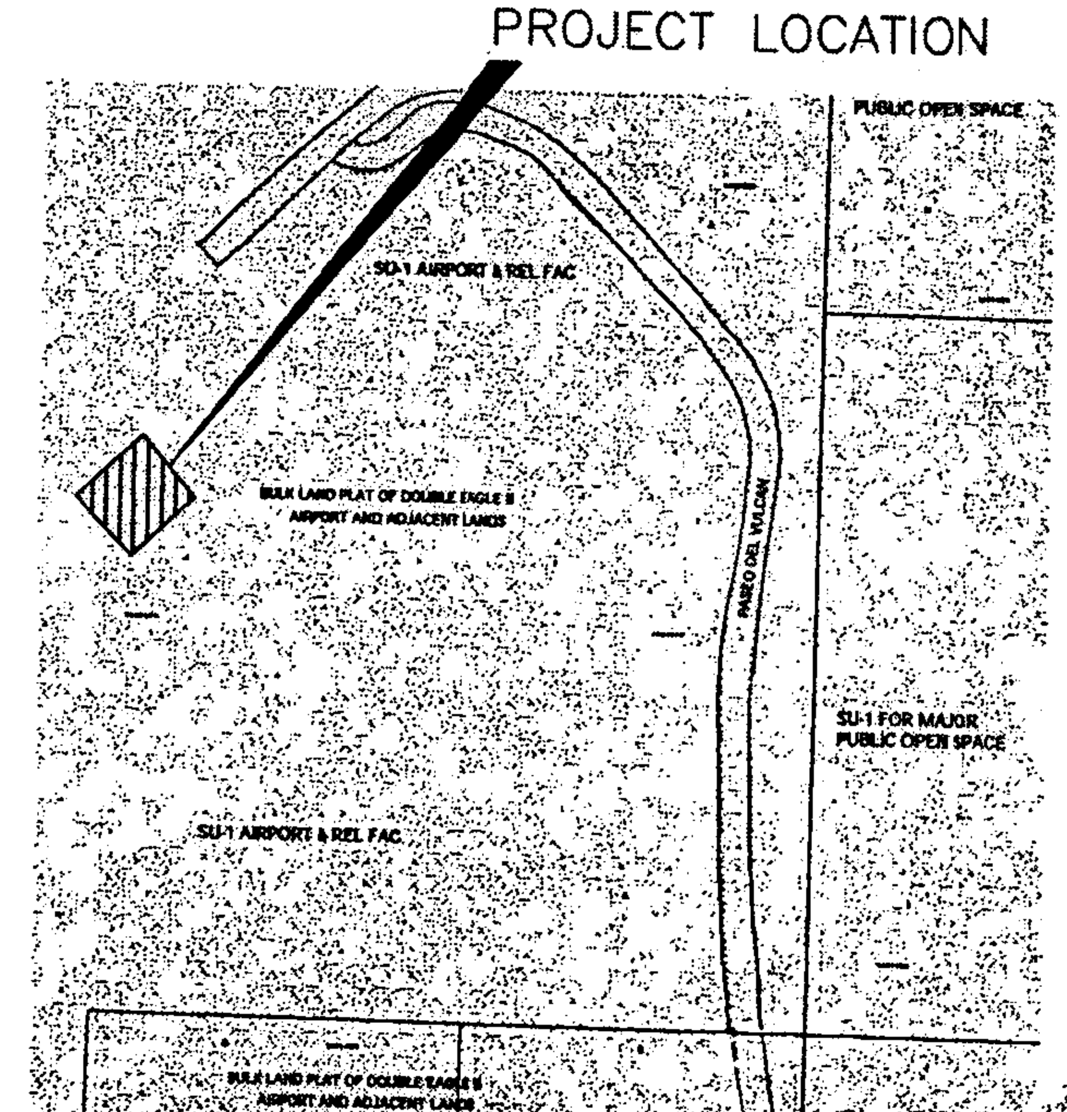
*SUB-BASIN SB-101
- AREA = 8ac
- LAND TREATMENT:
- A = 90.0%
- B = 0.0%
- C = 0.0%
- D = 10.0%
- REACH = 1155ft
- HIGH EL. = 5819ft
- LOW EL. = 5817ft

CALCULATIONS

*SUB-BASIN SB-2J
- Q(100yr-6yr) = 32.43cfs
- RUNOFF Vol.(100yr-6hr) = 1.188ac-ft
- TP(100yr-6hr) = 0.40hr

*SUB-BASIN SB-101
- Q(100yr-6yr) = 3.19cfs
- RUNOFF Vol.(100yr-6hr) = 0.395ac-ft
- TP(100yr-6hr) = 0.73hr

PROJECT LOCATION



ZONE ATLAS MAP E-6

N

0 250' 500' 1000'

SMPC ARCHITECTS

MOLZEN-CORBIN & Associates

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PROJECT # 06025
DWN BY:
CHK BY:
DATE:

CITY OF ALBUQUERQUE
AVIATION DEPARTMENT

Double Eagle II Airport - Airfield Maintenance Facility

GRADING AND DRAINAGE PLAN - EXISTING CONDITIONS

Design Review Committee	City Engineer Approval	Last Design Update	MO./DAY/YR.	MO./DAY/YR.

City Project No.	Zone Map No.	Sheet	Of	
7773.03	E6			C-101D

REMARKS	BY
REVISIONS	
DESIGN	
DATE:	
DATE:	
DATE:	

A/E STAMP

JOHN M. PROVINE, NEW MEXICO, 10987, REGISTERED PROFESSIONAL ENGINEER
12/21/07

SURVEY INFORMATION		
FIELD NOTES		
NO.	BY	DATE

BENCH MARKS

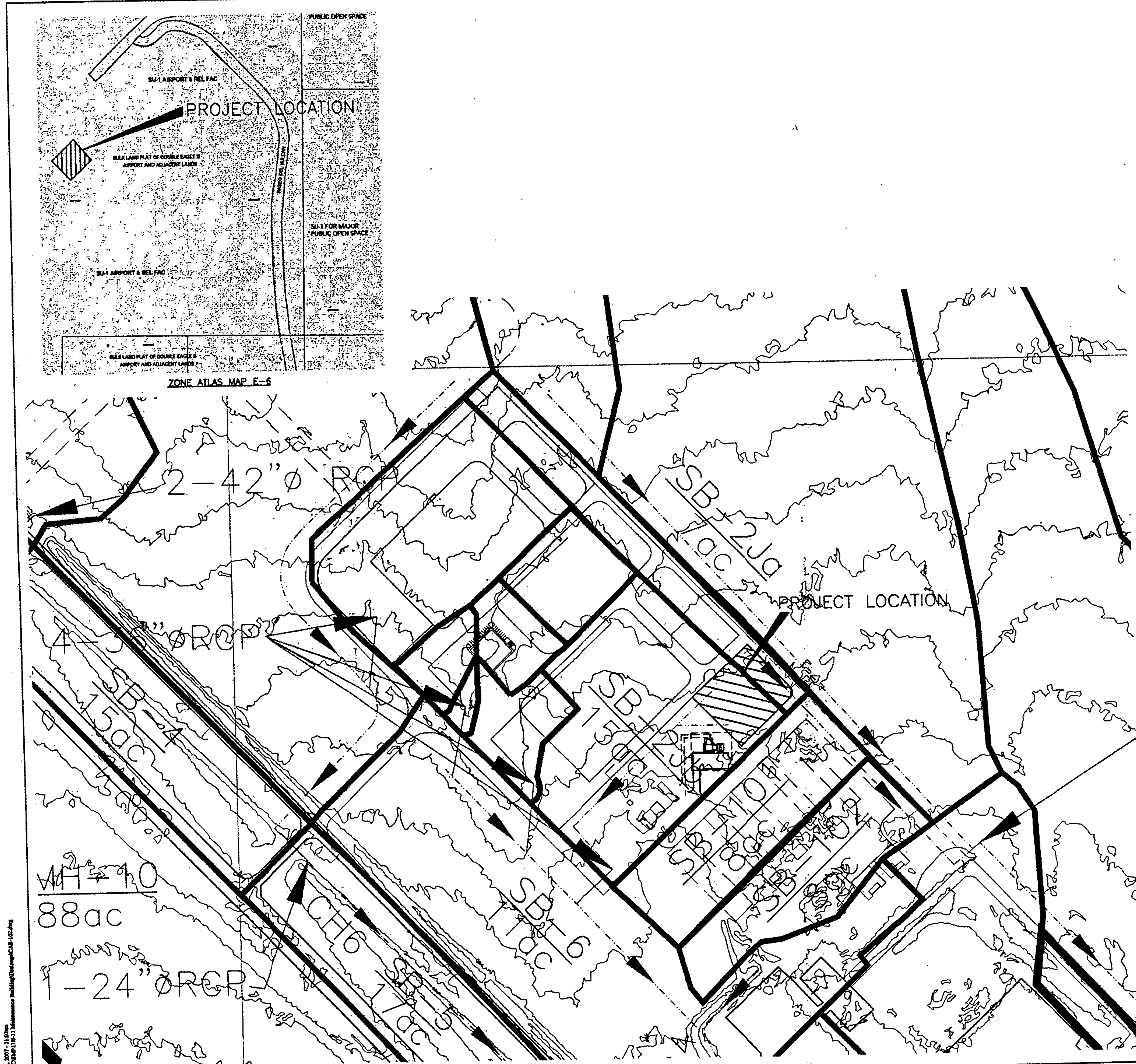
AP-101: N=470980.62, E=386996.56, EL.=5308.61
(SEE SHEET C101)

AS BUILT INFORMATION

CONTRACTOR	
WORK STAKED BY	DATE
INSPECTOR'S ACCEPTANCE BY	DATE
FIELD VERIFICATION BY	DATE
DRAWINGS CORRECTED BY	DATE

MICRO-FILM INFORMATION

RECORDED BY	DATE



LEGEND

5192 (contour line)	EXISTING CONTOUR (1' CONTOUR INTERVAL)
(dotted line)	LIMITS OF FUTURE DISTURBED AREA
(heavy line)	EXISTING SUB-BASIN BOUNDARY
(arrows)	DRAINAGE FLOW DIRECTION

FUTURE SITE CHARACTERISTICS

*100 YEAR RAINFALL TABLE (ZONE 1)
100yr - 1hr = 1.87in
100yr - 6hr = 2.20in
100yr - 24hr = 2.66in

*SUB-BASIN SB-2Ja
AREA = 7ac
LAND TREATMENT:
A = 0.0%
B = 0.0%
C = 75.0%
D = 25.0%
REACH = 1,840ft
HIGH EL. = 5827.0ft
LOW EL. = 5815.0ft

*SUB-BASIN SB-2Jb
AREA = 15ac
LAND TREATMENT:
A = 0.0%
B = 0.0%
C = 77.0%
D = 23.0%
REACH = 1150ft
HIGH EL. = 5821ft
LOW EL. = 5810ft

*SUB-BASIN SB-101 (NO CHANGE)
AREA = 8ac
LAND TREATMENT:
A = 90.0%
B = 0.0%
C = 0.0%
D = 10.0%
REACH = 1155ft
HIGH EL. = 5819ft
LOW EL. = 5817ft

CALCULATIONS-PROPOSED CONDITIONS

*SUB-BASIN SB-2Ja
Q(100yr-6yr) = 14.50cfs
RUNOFF Vol.(100yr-6hr) = 0.976ac-ft
TP= 0.42hr

*SUB-BASIN SB-2Jb
Q(100yr-6yr) = 28.70cfs
RUNOFF Vol.(100yr-6hr) = 1.233ac-ft
TP= 0.22hr

N

0 40' 100' 200' 400'

AS BUILT INFORMATION	
CONTRACTOR	
WORK STAKED BY	DATE
INSPECTOR'S ACCEPTANCE BY	DATE
FIELD VERIFICATION BY	DATE
DRAWINGS CORRECTED BY	DATE
MICRO-FILM INFORMATION	
RECORDED BY	DATE

BENCH MARKS
AP-101: N=470980.82, E=386996.56, EL.=5305.61
(SEE SHEET C101)

SURVEY INFORMATION		
FIELD NOTES		
NO.	BY	DATE

A/E STAMP
JOHN M. PROVINE
NEW MEXICO
10697
REGISTERED PROFESSIONAL ENGINEER
12/27/07

REMARKS	BY
REVISIONS	
DESIGN	
DATE:	
DATE:	
DATE:	

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SMPC ARCHITECTS — ARCHITECTS • PLANNERS • INTERIOR DESIGNERS

MOLZEN-CORBIN & Associates

PROJECT #: 05025
DWN BY: CWG
CHK BY:
DATE:

CITY OF ALBUQUERQUE
AVIATION DEPARTMENT

Double Eagle II Airport - Airfield Maintenance Facility

GRADING AND DRAINAGE PLAN - PROPOSED CONDITIONS

Design Review Committee	City Engineer Approval	Last Design Update	MO./DAY/YR.	MO./DAY/YR.

City Project No.	Zone Map No.	Sheet	Of	
7773.03	E6			C-102D

Dec 26, 2007 - 11:07am
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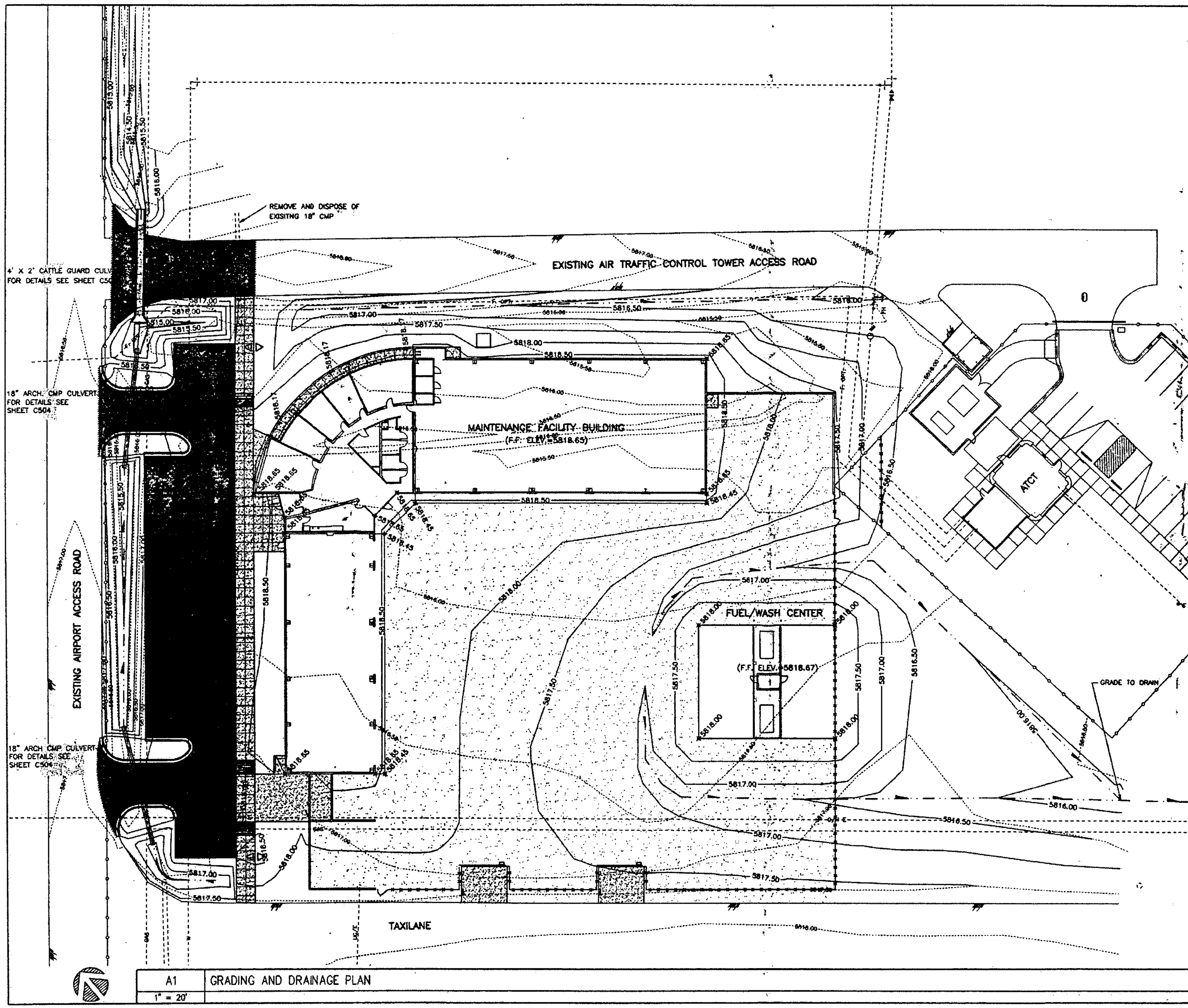

LEGEND

- GRADED FLOWLINE
- 5814.50 NEW TOPOGRAPHIC CONTOUR
- 5814.50 EXISTING TOPOGRAPHIC CONTOUR
- GRADE BREAK (RIDGE)

CAUTION:
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N

0' 2.5' 5' 10' 20' 40'

AS BUILT INFORMATION	
CONTRACTOR	
WORK STAKED BY	DATE
INSPECTOR'S ACCEPTANCE BY	DATE
FIELD VERIFICATION BY	DATE
DRAWINGS CORRECTED BY	DATE
MICRO-FILM INFORMATION	
RECORDED BY	DATE

BENCH MARKS
AP-101: N=470980.82, E=388996.56, EL.=5308.81
(SEE SHEET C101)

SURVEY INFORMATION
FIELD NOTES

NO.	BY	DATE

A/E STAMP
JOHN M. PROVINE
NEW MEXICO
10807
REGISTERED PROFESSIONAL ENGINEER
12/26/07

REMARKS	BY
REVISIONS	
DESIGN	
DATE:	
DATE:	
DATE:	

SMPC ARCHITECTS

MOLZEN-CORBIN & Associates

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PROJECT #	06025
DWN BY:	CWG
CHK BY:	JMP
DATE:	11/9/07

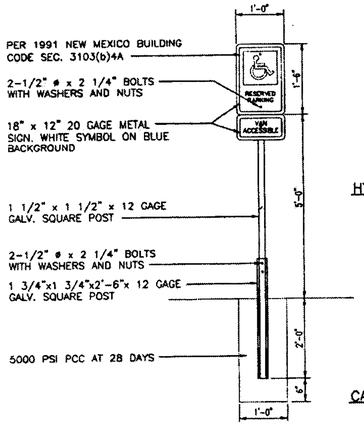
CITY OF ALBUQUERQUE
AVIATION DEPARTMENT

Double Eagle II Airport – Airfield Maintenance Facility

GRADING AND DRAINAGE PLAN

Design Review Committee	City Engineer Approval	Last Design Update	mo./day/yr.	mo./day/yr.

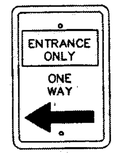
City Project No.	Zone Map No.	Sheet	Of	
7773.03	E6	6	92	C104D



ACCESSIBLE PARKING SIGN

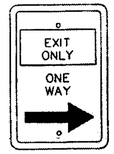
SCALE: NONE

HYBRID-VEHICLE PARKING SIGN

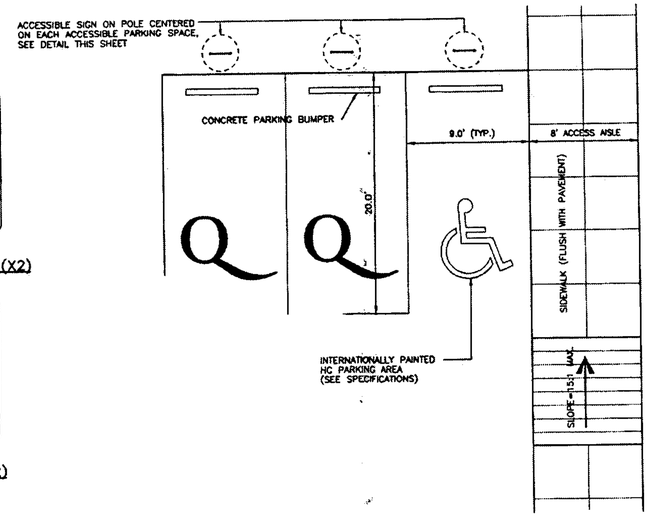


ENTRANCE SIGN (X2)

CAR/VAN POOL PARKING SIGN

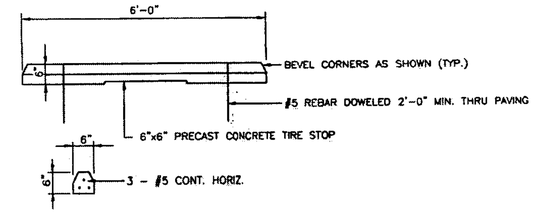


EXIT SIGN (X2)



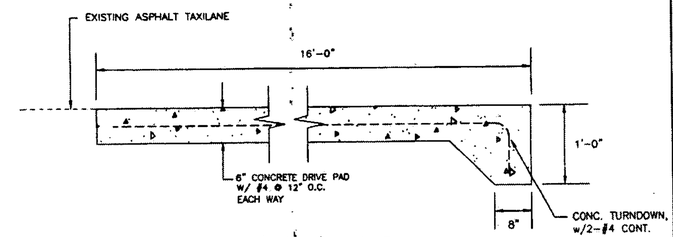
TYPICAL ACCESSIBLE PARKING

SCALE: NONE



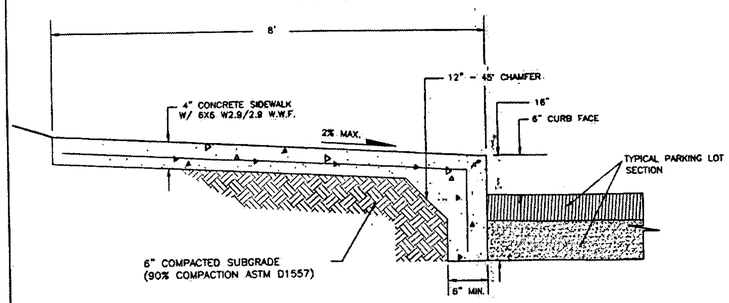
PARKING BUMPER

SCALE: NONE



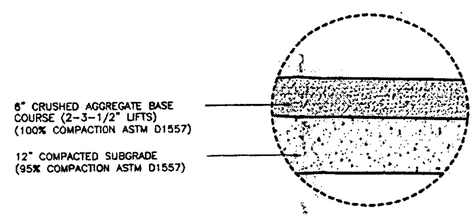
CONCRETE DRIVE PAD

SCALE: NONE



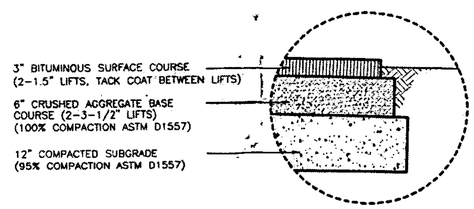
SIDEWALK DETAIL W/ TURN-DOWN FACE

SCALE: NONE



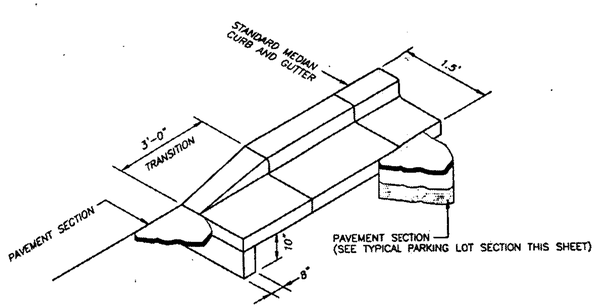
TYPICAL MAINTENANCE YARD PAVEMENT SECTION

SCALE: NONE



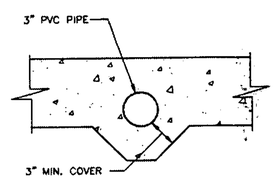
TYPICAL PARKING LOT PAVEMENT SECTION

SCALE: NONE

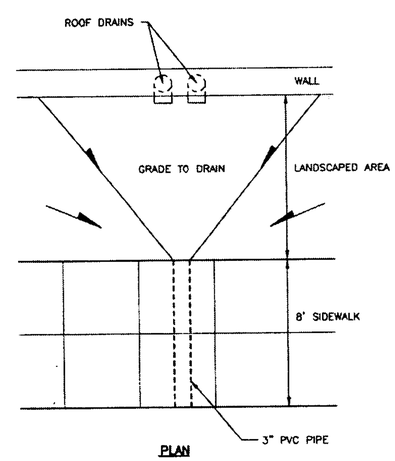


CURB AND GUTTER TRANSITION

SCALE: NONE



SECTION



PLAN

THRU SIDEWALK DRAIN

SCALE: NONE

AS BUILT INFORMATION

CONTRACTOR — DATE
WORK STAKED BY — DATE
INSPECTOR ACCEPTANCE — DATE
FIELD VERIFICATION BY — DATE
DRAWINGS CORRECTED BY — DATE
MICRO-FILM INFORMATION
RECORDED BY — DATE

BENCH MARKS

AP-101: N=1730980.82, E=1565995.56, EL.=5598.61 (SEE SHEET C101)

SURVEY INFORMATION

FIELD NOTES

NO.	BY	DATE

A/E STAMP

NO.	DATE	REMARKS	BY
1	1/9/08	REVISED PARKING LAYOUT	MCA

REVISIONS

DESIGN

DATE:
DATE:
DATE:

SMPC ARCHITECTS

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MOLZEN-CORBIN & Associates

PROJECT #: 05025
DWN BY: CWG
CHK BY: JMP
DATE: 11/9/07

CITY OF ALBUQUERQUE
AVIATION DEPARTMENT

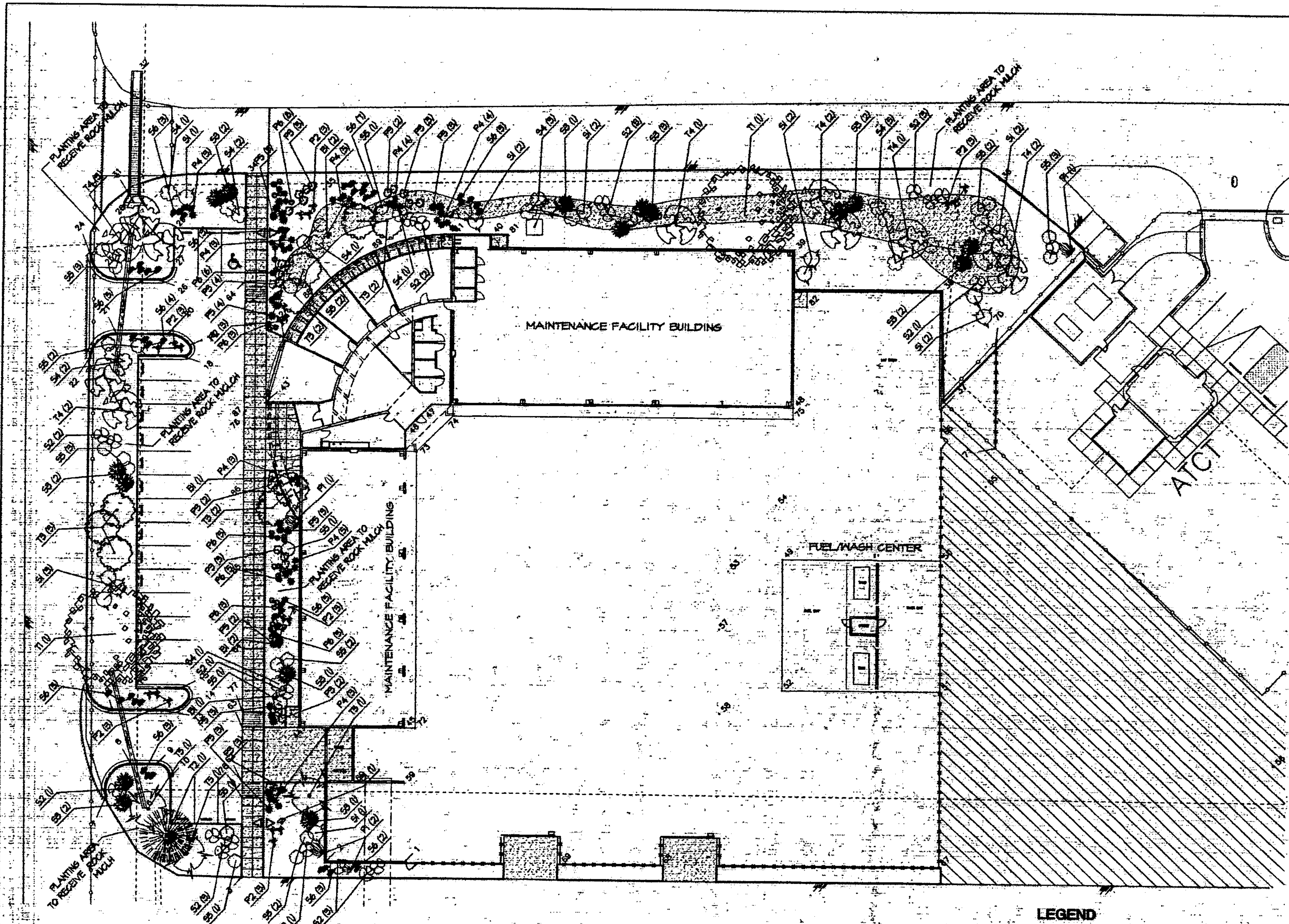
Double Eagle II Airport - Airfield Maintenance Facility

MISCELLANEOUS DETAILS

Design Review Committee	City Engineer Approval	Last Design Update	MO./DAY/YR.	MO./DAY/YR.

City Project No.	Zone Map No.	Sheet	Of	
7773.03	E6	11	92	C501

Jan 10, 2008 - 10:04am
Z:\SMPC\SCMP 1115-11 Maintenance Building\DWG\SPC-C-Sh-501.dwg



LANDSCAPE NOTES

A. REFER TO SPECIFICATION 32 90 00 FOR LANDSCAPE SPECIFICATIONS REGARDING TREES AND SHRUBS

B. PROVIDE A 4" DEPTH OF ROCK MULCH IN ALL WATERING BASINS AND PLANTING AREAS NOT SHOWN AS DRY STREAM BED IN ACCORDANCE WITH SPECIFICATION SECTION 32 90 00. PLANT GROUPINGS ARE TO BE PLANTED IN CONJOINED WATERING BASINS.

C. CONTRACTOR SHALL STAKE PLANT / IRRIGATION LOCATIONS AND CONTACT LANDSCAPE ARCHITECT FOR APPROVAL BEFORE PLACING PLANT MATERIAL

D. SEE IRRIGATION SHEET LI-101 FOR AREAS TO BE IRRIGATED

E. ALL PLANTING AREAS TO BE IRRIGATED WITH AN UNDERGROUND, TEMPORARY IRRIGATION SYSTEM. REFER TO SPEC SECTIO 32 84 23

F. UNDERGROUND IRRIGATION SYSTEM WILL BE DECOMMISSIONED AFTER ONE YEAR

G. OWNER WILL BE RESPONSIBLE FOR MAINTENANCE OF PROPERTY AFTER COMPLETION OF PROJECT

H. WATER AND MAINTAIN EXISTING PLANTS TO REMAIN THROUGHOUT ENTIRE CONSTRUCTION PERIOD, REPLACE PLANTS THAT DO NOT SURVIVE CONSTRUCTION

I. SEE SHEET L-501 FOR PLANT SCHEDULE AND PLANTING DETAILS

J. STREAM BED/POND BOTTOMS ARE TO BE CLEAN RIVER RUN STONE 2" TO 6" DIAMETER

K. ALL AREAS DISTURBED BY GRADING AND OPERATIONS CONSTRUCTION OF THIS PROJECT ARE TO RECLAIMED AS SPECIFIED. SEE SPECIFICATION SECTION 32 92 19

L. THE CONTRACTOR WILL ABIDE BY ALL STATE, LOCAL & FEDERAL LAWS REGARDING CONSTRUCTION OF THESE IMPROVEMENTS

M. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UTILITIES THAT MAY BE ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION. THE CONTRACTOR IS TO COORDINATE ALL UTILITY RELOCATIONS AND OUTAGES WITH THE UTILITY ENTITY PUBLIC OR PRIVATE. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR UTILITY ADJUSTMENTS OR DELAYS FOR UTILITY ADJUSTMENTS PERFORMED BY THE CONTRACTOR OR THE CREWS OF THE UTILITY.

N. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING UTILITIES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING UTILITIES CAUSED BY THESE CONSTRUCTION ACTIVITIES SHALL BE REPAIRED OR REPLACED AT NO ADDITIONAL COSTS TO THE OWNER.

O. THE CONTRACTOR IS RESPONSIBLE FOR DISPOSAL OF ALL EXCESS MATERIAL GENERATED BY THIS PROJECT IN AN APPROVED LOCATION IN CONFORMANCE WITH ALL APPLICABLE LAWS AND REGULATIONS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DISPOSAL OF MATERIAL.

P. CONSTRUCTION ACTIVITIES ARE LIMITED TO THE SITE AND PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES IS THE RESPONSIBILITY OF THE CONTRACTOR.

Q. LANDSCAPE CONSTRUCTION ACTIVITIES & VEHICLES SHALL NOT OBSTRUCT OR HINDER CIRCULATION IN PUBLIC RIGHTS-OF-WAY OR PRIVATE DRIVEWAYS.

R. PROPERTY CORNERS AND MARKERS WILL BE MAINTAINED INTACT DURING ALL CONSTRUCTION ACTIVITIES. DAMAGED PROPERTY CORNER MARKERS SHALL BE REPLACED BY A REGISTERED LAND SURVEYOR.

LEGEND

DRY STREAM BED/POND

RECLAMATION SEEDING – NOT ALL AREAS RECEIVING RECLAIMATION SEEDING ARE SHOWN ON THIS SHEET.

CAUTION:
NOTE THAT ALL EXISTING UTILITIES MAY NOT BE SHOWN. EXISTING SERVICE CONNECTIONS ARE NOT SHOWN. ANY EXISTING UTILITIES THAT ARE SHOWN ARE SHOWN IN APPROXIMATE LOCATION ONLY. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT ALL THE UTILITY OWNERS AND TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS.

A1 LANDSCAPE PLAN
1" = 20'

0 2' 5' 10' 20' 40'

AS BUILT INFORMATION | BENCH MARKS | SURVEY INFORMATION / FIELD NOTES (NO. / BY / DATE) | A/E STAMP | REMARKS / REVISIONS / DESIGN

SMPC ARCHITECTS

MOLZEN-CORBIN & Associates

PROJECT #	08025
DWN BY:	JAS
CHK BY:	JOP
DATE:	11/05/07

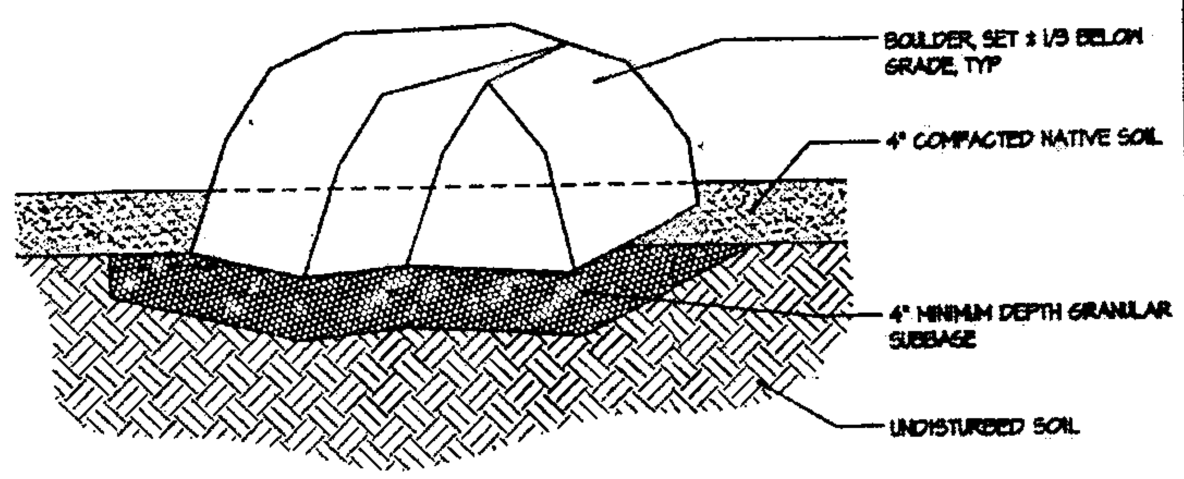
CITY OF ALBUQUERQUE
AVIATION DEPARTMENT

Double Eagle II Airport – Airfield Maintenance Facility

LANDSCAPE PLAN

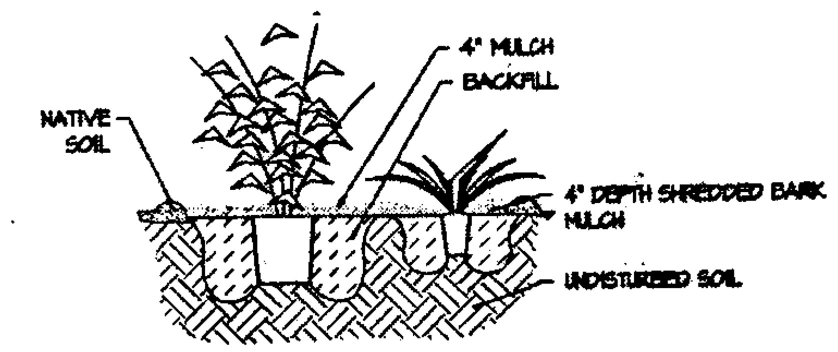
Design Review Committee	City Engineer Approval	Last Design Update

City Project No.	Zone Map No.	Sheet	Of	
7773.03	E8	22	92	L101



BOULDER PLACEMENT DETAIL

SCALE: NONE (3)

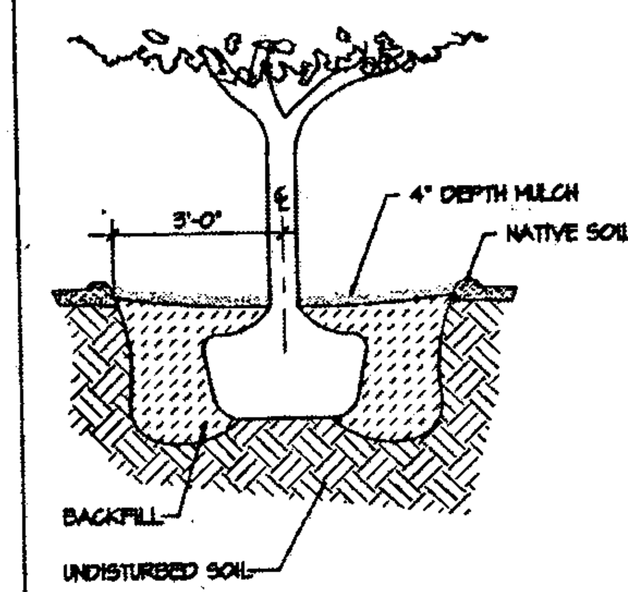


NOTES

A. EXISTING SOIL WITHIN THE SHRUB PLANTER SHALL BE AS SPECIFIED
B. USE EXISTING SOIL TO CONSTRUCT BERM AROUND WATERING BASIN
C. SHRUBS AND GROUND COVERS ARE NOT TO BE COVERED WITH MULCH

SHRUB and PERENNIAL PLANTING DETAIL

SCALE: NONE (2)



NOTES

A. EXISTING SOIL WITHIN THE SHRUB PLANTER SHALL BE AS SPECIFIED
B. STABILIZE SOIL BELOW ROOTBALL PRIOR TO PLANTING TO PREVENT TREE FROM SETTLING
C. TOP OF ROOTBALL INDICATES LEVEL AT WHICH TREE WAS GROWN AND DUG. THIS REPRESENTS THE LEVEL AT WHICH THE TREE IS TO BE INSTALLED
D. PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT
E. PRIOR TO BACKFILLING, ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM THE BOTTOM OF THE ROOTBALL
F. USE EXISTING SOIL TO CONSTRUCT BERM AROUND WATERING BASIN

TREE PLANTING DETAIL

SCALE: NONE (1)

PLANT SCHEDULE

Alias	Scientific Name	Common Name	Container	Quantity	Height	Caliper/Diam	Notes
T1	Quercus macrocarpa	Bur Oak	24" box	2	10' to 12'	3"	Trim up to 8' Minimum, see detail 1
T2	Pinus nigra	Austrian Pine	B & B	1	8' to 10'	4"	Trim up to 8' Minimum, see detail 1
T3	Forestiera neomexicana	New Mexico Olive	10 gallon	4	8' to 10'	1"-2"	Trim up to 4' Minimum, see detail 1
T4	Chilopsis linearis	Desert Willow	10 gallon	11	8' to 10'	1"-2"	Trim up to 6' Minimum, see detail 1
T5	Pinus edulis	Pinon Pine	B & B	3	8' to 10'	2"	Trim up to 6' Minimum, see detail 1
S1	Perovskia atriplicifolia	Russian Sage	1 gallon	14	1' to 2'	-	See detail 2
S2	Fallugia paradoxa	Apache Plume	1 gallon	20	1' to 2'	-	See detail 2
S3	Chamaebatiaria millefolium	Fernbush	1 gallon	16	1' to 2'	-	See detail 2
S4	Crysothamnus nauseosus 'blue'	Rabbitbrush	1 gallon	16	1' to 2'	-	See detail 2
S5	Ericameria laricifolia	Turpentine Bush	1 gallon	25	1' to 2'	-	See detail 2
S6	Artemesia ludoviciana	Prarie Sage	1 gallon	45	6"-12"	-	See detail 2
P1	Yucca elata	Soaptree Yucca	1 gallon	4	4' to 5'	-	See detail 2
P2	Hesperaloe parviflora	Red Yucca	1 gallon	21	1' to 2'	-	See detail 2
P3	Sphaeralcea munroana	Orange Globemallow	1 gallon	24	1' to 2'	-	See detail 2
P4	Penstemon pLameri	Pink Wild Snapdragon	1 gallon	30	2' to 5'	-	See detail 2
P5	Santolina chamaecyparissus	Grey Santolina	1 gallon	23	8" to 12"	-	See detail 2
P6	Mirabilis multiflora	Wild Four O'Clock	1 gallon	35	4" to 6"	-	See detail 2
B1	Fractured Face Boulder	Fractured Face Boulder	-	7		2'-3'	See detail 3

NATIVE RECLAIMATION SEED MIX

TOTAL LBS PER ACRE	COMMON NAME / Scientific Name
2.5	"VIVA" GALLETA / Hilaria jamesii
2.5	"NINER" SIDEOATS GRAMA / Bouteloua curti pendula
2.0	"HATCHITA" BLUE GRAMA / Bouteloua gracilis
4.0	INDIAN RICE GRASS / Oryzopsis hymenoides
0.5	FOUR-WING SALTBUSH / Atriplex canescens (de-winged)
1.5	PLAINS BRISTLE GRASS / Setaria leucopila
1.5	NEEDLE AND THREAD / Stipa Comata
1.5	BUSH PENSTEMON / Penstemon ambiguus
3.0	BLANKET FLOWER / Gaillardia pulchella
0.5	WINTERFAT / Ceratoides lanata
19.5	TOTAL POUNDS PER LIVE SEED PER ACRE

AS BUILT INFORMATION

CONTRACTOR
WORK STAKED BY — DATE
INSPECTOR'S ACCEPTANCE BY — DATE
FIELD VERIFICATION BY — DATE
DRAWINGS CORRECTED BY — DATE

MICRO-FILM INFORMATION

RECORDED BY — DATE

BENCH MARKS

AP-101: N=1470080.62, E=368886.56, EL.=5306.61 (SEE SHEET C101)

SURVEY INFORMATION

FIELD NOTES

NO.	BY	DATE

A/E STAMP

12/17/07

BY

REMARKS — DATE:
REVISIONS — DATE:
DESIGN — DATE:

SMPC architects

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MOLZEN-CORBIN & Associates

PROJECT #:	06025
DWN BY:	JAS
CHK BY:	JQP
DATE:	11/05/07

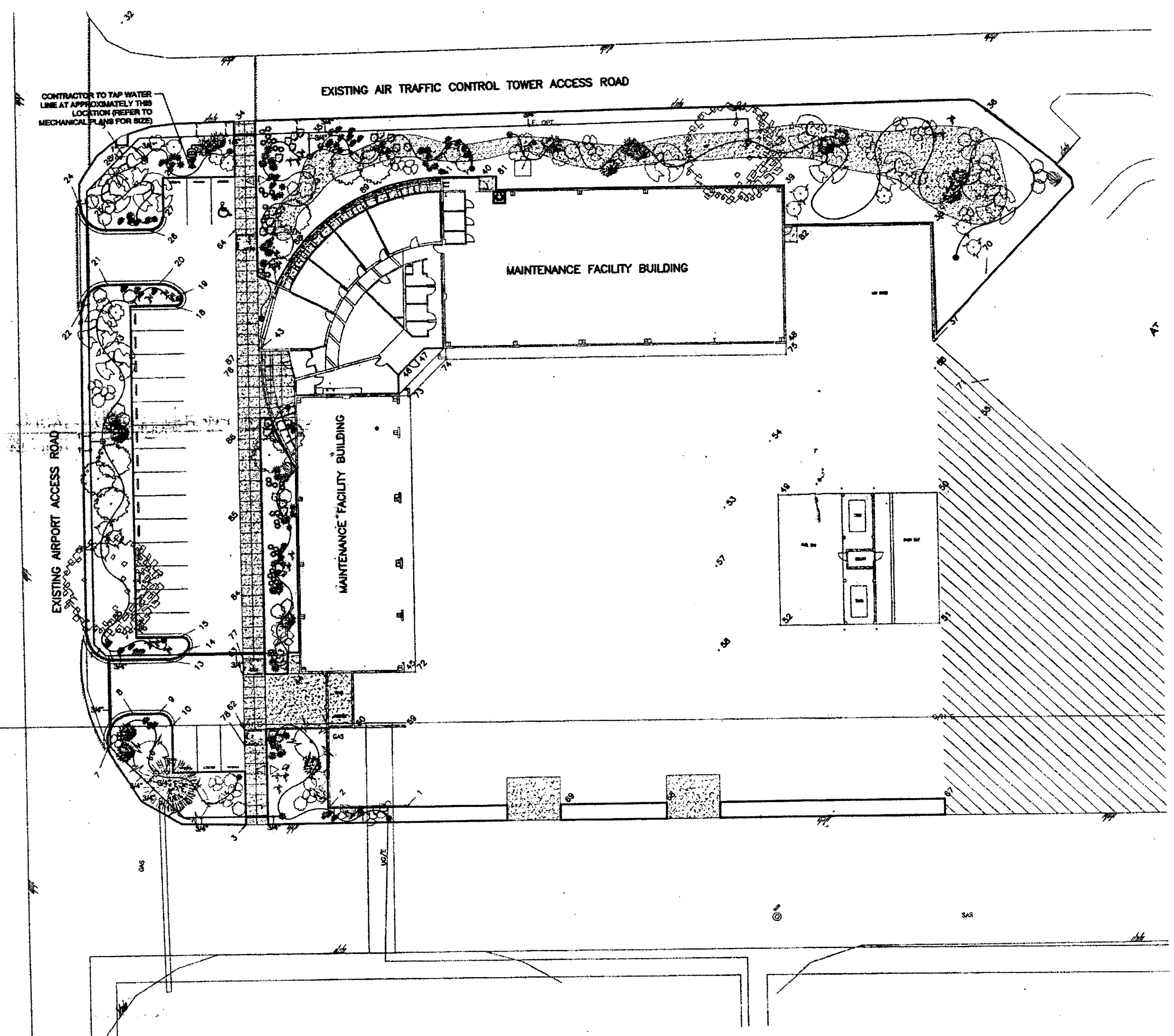
CITY OF ALBUQUERQUE
AVIATION DEPARTMENT

Double Eagle II Airport - Airfield Maintenance Facility

PLANT SCHEDULE AND DETAILS

Design Review Committee | City Engineer Approval | Last Design Update

City Project No.	Zone Map No.	Sheet	Of	
7773.03	E6	23	92	L501



IRRIGATION LEGEND

⊕	HUNTER #ICV-101G 1" AUTOMATIC VALVE WITH FLOW CONTROL
●	PVC TO POLYETHELENE CONNECTION
●	DRAIN / FLUSH VALVE (3/4" POLYETHELENE COMPRESSION END CAP) INSTALL INSIDE OF CARSON #910 10" ROUND VALVE BOX
⋈	WATTS #WGV-X 1" BRASS GATE VALVE WITH CROSS HANDLE - INSTALL INSIDE OF CARSON #910 10" ROUND VALVE BOX WITH 2" SLEEVE TO HANDLE)
B	FEBCO #825Y-1 1" REDUCED PRESSURE BACKFLOW PREVENTER INSTALLED IN HOTBOX #HB1 INSULATED BACKFLOW DEVICE ENCLOSURE WITH HEAT TAPE (CONTRACTOR TO PROVIDE 120V ELECTRICAL POWER TO HEAT TAPE)
C	HUNTER #PC-300 3-STATION EXPANDABLE IRRIGATION CONTROLLER, LOCKABLE. (CONTRACTOR TO INSTALL INDOORS INSIDE OF UTILITY ROOM OR AS DIRECTED BY OWNER. THE CONTRACTOR SHALL INSTALL NEAR ELECTRICAL OUTLET FOR POWER)
M	WATER METER BY OTHERS: ACTUAL WATER METER LOCATION IS UNKNOWN AT THIS TIME. (SIZE UNKNOWN AT THIS TIME)
- - - -	MAINLINE PIPE: 1 1/4" SCH.40 PVC SOLVENT WELD
——	LATERAL PIPE: SCH.40 PVC SOLVENT WELD (PIPE SIZE INDICATED ON PLAN)
——	3/4" POLYETHELENE DRIP TUBING
═══	SLEEVE PIPE: SCH.40 OR CLASS 200 PVC SOLVENT WELD - TWO SIZES LARGER THAN PIPE TO BE SLEEVED

IRRIGATION NOTES

IRRIGATION POINT OF CONNECTION: THE CONTRACTOR SHALL TAP THE WATER LINE AT APPROXIMATLY THE LOCATION SHOWN ON PLAN. THE CONTRACTOR SHALL REFER TO THE MECHANICAL DRAWINGS FOR EXACT LINE SIZE

WATER PRESSURE: THIS IRRIGATION SYSTEM IS DESIGNED TO OPERATE AT A DYNAMIC WATER PRESSURE OF 60 PSI @ 30 GPM. THE CONTRACTOR SHALL VARIFY THIS CONDITION BEFORE INSTALLING ANY IRRIGATION COMPONENTS.

EMMITTERS PER PLANT: THE CONTRACTOR SHALL INSTALL (2) 2 GPH DRIP EMMITTERS PER SHRUB AND (4) 2 GPH DRIP EMMITTERS PER TREE. ALL DRIP EMMITTERS SHALL BE RAINBIRD #XB-20PC

SPECIFICATIONS AND DETAIL DRAWINGS: THE CONTRACTOR SHALL REFER TO THE IRRIGATION SPECIFICATIONS AND DETAIL DRAWINGS SUPPLIED WITH THESE CONSTRUCTION DOCUMENTS.

PIPE ROUTING, TREE / SHRUB LOCATIONS AND PROXIMITY TO PIPE: THE PIPE ROUTING SHOWN ON THESE PLANS IS SCHEMATIC AND MAY REQUIRE FIELD ADJUSTMENTS BY THE CONTRACTOR TO AVOID INSTALLATION WITHIN THE DRIP-ZONE OF TREES AND SHRUBS.

ELECTRICAL POWER TO BACKFLOW FREEZE PROTECTION: THE CONTRACTOR SHALL PROVIDE 120-VOLT ELECTRICAL POWER TO THE BACKFLOW PREVENTER FREEZE PROTECTION (HEAT TAPE).

ELECTRICAL POWER TO CONTROLLER: THE CONTRACTOR SHALL INSTALL THE IRRIGATION CONTROLLER INSIDE OF THE MAINTENANCE ROOM OR AS DIRECTED BY THE OWNER. THE CONTRACTOR SHALL INSTALL THE CONTROLLER NEAR AN UNUSED 120-VOLT ELECTRICAL OUTLET FOR POWER.

NOTE: ALL PLANTING AREAS TO BE IRRIGATED WITH AN above GROUND TEMPORARY IRRIGATION SYSTEM USED FOR PLANT ESTABLISHMENT. THE IRRIGATION SYSTEM IS TO BE DECOMMISSIONED ONE YEAR AFTER INSTALLATION OF PLANTS. DECOMMISSIONING OF THE IRRIGATION SYSTEM IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR AS A PART OF THIS CONTRACT. SEE SHEET LI501 FOR DECOMMISSIONING NOTES.

LEED WE CREDIT 1: WATER EFFICIENT LANDSCAPING

CAUTION:

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AS BUILT INFORMATION
CONTRACTOR
WORK STAKED BY — DATE
INSPECTOR'S ACCEPTANCE BY — DATE
FIELD VERIFICATION BY — DATE
DRAWINGS CORRECTED BY — DATE
MICRO-FILM INFORMATION
RECORDED BY — DATE

BENCH MARKS
AP-101: N=470980.62, E=380998.56, EL=5308.81
(SEE SHEET C101)

SURVEY INFORMATION
FIELD NOTES
NO. | BY | DATE

A/E STAMP

REMARKS
REVISIONS
DESIGN
BY
DATE:
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SMPC ARCHITECTS

MOLZEN-CORBIN & Associates

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PROJECT #	06025
DWN BY:	JG
CHK BY:	JQP
DATE:	11/05/07

CITY OF ALBUQUERQUE
AVIATION DEPARTMENT

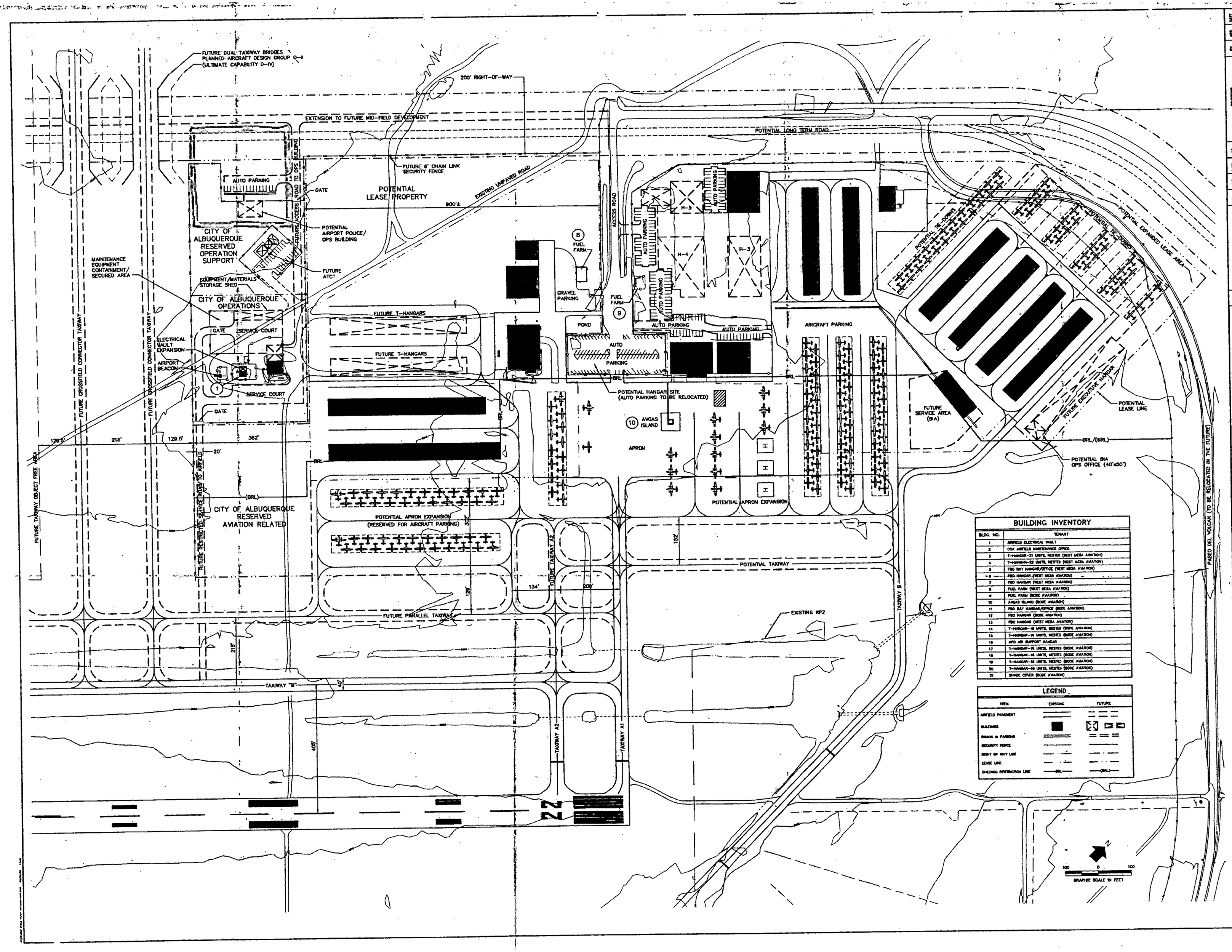
Double Eagle II Airport – Airfield Maintenance Facility
LANDSCAPE IRRIGATION PLAN

Design Review Committee	City Engineer Approval	Last Design Update

City Project No.	Zone Map No.	Sheet	of	
7773.03	E6	24	82	LI101

Irrigation Services

A1 LANDSCAPE IRRIGATION PLAN
1" = 20'



BUILDING INVENTORY

BLDG. NO.	TENANT
1	AIRFIELD ELECTRICAL VAULT
2	COA AIRFIELD MAINTENANCE OFFICE
3	T-HANGAR-21 UNITS, NESTED (WEST MESA AVIATION)
4	T-HANGAR-22 UNITS, NESTED (WEST MESA AVIATION)
5	FBO BAY HANGAR/OFFICE (WEST MESA AVIATION)
6	FBO HANGAR (WEST MESA AVIATION)
7	FBO HANGAR (WEST MESA AVIATION)
8	FUEL FARM (WEST MESA AVIATION)
9	FUEL FARM (BOOK AVIATION)
10	AVGAS ISLAND (BOOK AVIATION)
11	FBO BAY HANGAR/OFFICE (BOOK AVIATION)
12	FBO HANGAR (BOOK AVIATION)
13	FBO HANGAR (WEST MESA AVIATION)
14	T-HANGAR-15 UNITS, NESTED (BOOK AVIATION)
15	T-HANGAR-10 UNITS, NESTED (BOOK AVIATION)
16	APO AIR SUPPORT HANGAR
17	T-HANGAR-15 UNITS, NESTED (BOOK AVIATION)
18	T-HANGAR-10 UNITS, NESTED (BOOK AVIATION)
19	T-HANGAR-10 UNITS, NESTED (BOOK AVIATION)
20	T-HANGAR-10 UNITS, NESTED (BOOK AVIATION)
21	SHADE COVER (BOOK AVIATION)

LEGEND

ITEM	EXISTING	FUTURE
AIRFIELD PAVEMENT		
BUILDINGS		
ROADS & PARKING		
SECURITY FENCE		
RIGHT OF WAY LINE		
LEASE LINE		
BUILDING RESTRICTION LINE	BRL	(BRL)

NO.	REVISIONS	BY	APP.	DATE	NO.	REVISIONS	BY	APP.	DATE

BUILDING AREA PLAN

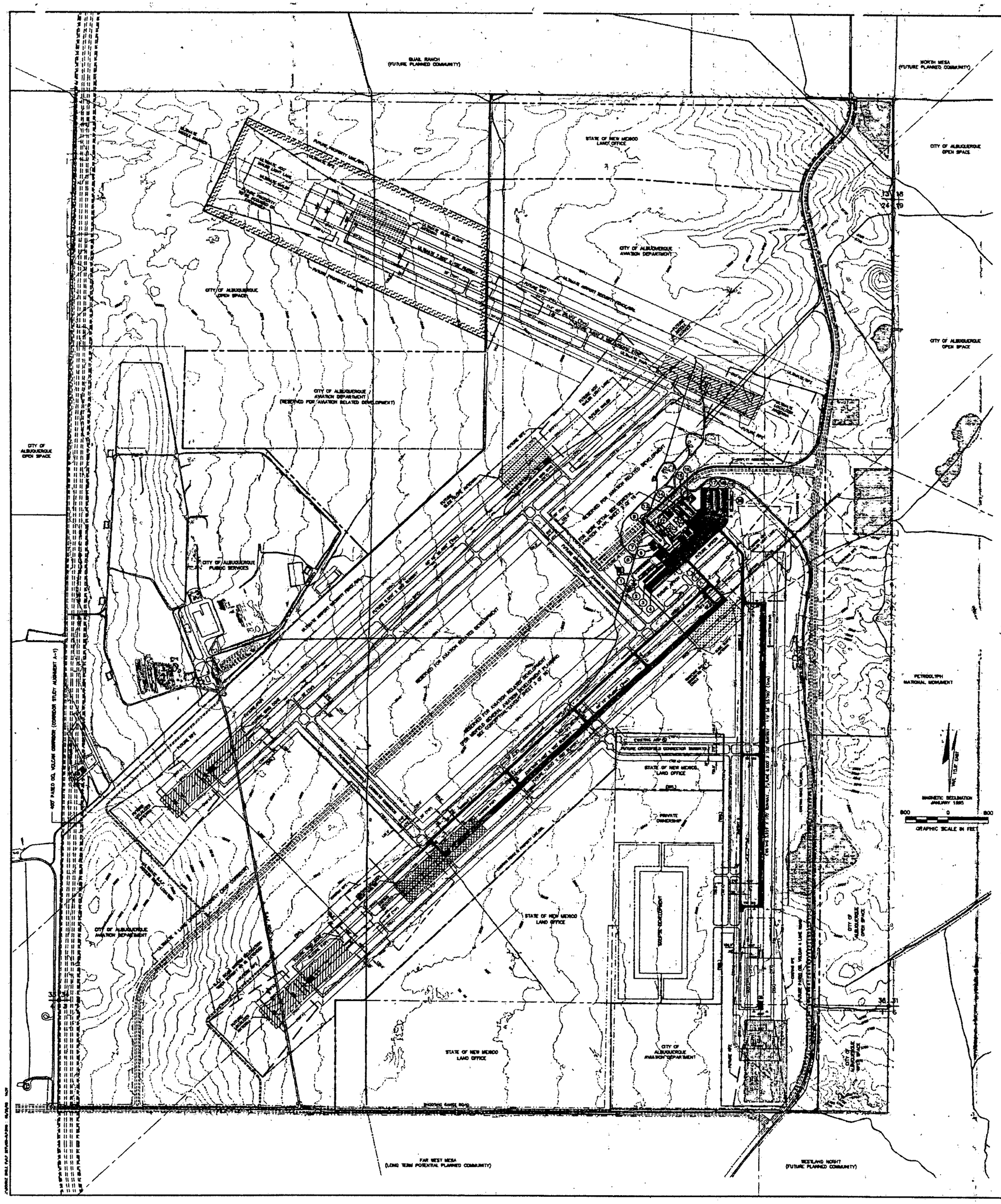
DOUBLE EAGLE II AIRPORT
ALBUQUERQUE, NEW MEXICO

PREPARED FOR
CITY OF ALBUQUERQUE
ALBUQUERQUE, NEW MEXICO

GENERAL CONSULTANTS
URS

DESIGNED: RMH
DRAWN: RJM CHECKED: MLF
PROJECT MANAGER: RMH
PROJECT DIRECTOR: RMH

DATE: 05/03
SHEET: 2 OF 16



RUNWAY DATA TABLE

	RUNWAY 4R-22L		RUNWAY 4L-22R		RUNWAY 17-35		RUNWAY 10-28	
	EXISTING	ULTIMATE	EXISTING	ULTIMATE	EXISTING	ULTIMATE	EXISTING	ULTIMATE
AIRPORT REFERENCE CODE	D-II	D-II	"	D-II	D-II	D-II	"	D-II
APPROACH VISIBILITY MINIMUMS	1 MI - 3/4 MI	1 MI - 3/4 MI	"	1 MI - 3/4 MI	V - V	V - V	"	3/4 MI - 1 MI
RUNWAY APPROACH SURFACES	34:1/50:1	34:1/50:1	"	34:1/50:1	20:1/20:1	20:1/20:1	"	50:1/34:1
RUNWAY CATEGORY	NP/P	NP/P	"	NP/P	V/V	V/V	"	P/NP
RUNWAY LENGTH/WIDTH	7,400' x 100'	11,000' x 100'	"	9,000' x 100'	5,999' x 100'	8,000' x 100'	"	7,500' x 100'
PAVEMENT SURFACE TYPE	ASPHALT	ASPHALT	"	ASPHALT	ASPHALT	ASPHALT	"	ASPHALT
PAVEMENT FRICTION TREATMENT	NONE	GROOVED	"	GROOVED	NONE	GROOVED	"	GROOVED
PAVEMENT DESIGN STRENGTH (In thousand lbs.)	30(S)/45(D)	45(S)/75(D)	"	45(S)/75(D)	30(S)/45(D)	45(S)/75(D)	"	45(S)/75(D)
RUNWAY EFFECTIVE GRADIENT	0.58%	0.28%	"	0.45%	0.12%	0.12%	"	0.57%
RUNWAY LIGHTING	MIRL	MIRL	"	MIRL	MIRL	MIRL	"	MIRL
RUNWAY MARKING	PRECISION	PRECISION	"	PRECISION	NON-PRECISION	NON-PRECISION	"	PRECISION
RUNWAY TOUCHDOWN ELEVATION (TDZE)	5837.0'-5810.1'	5841.2'-5810.1'	"	5870.0'-5825.0'	5805.8'-5798.9'	5805.8'-5795.1'	"	5854.0'-5811.0'
RSA WIDTH	500'	500'	"	500'	500'	500'	"	500'
RSA LENGTH BEYOND THRESHOLD	1000'	1000'	"	1000'	1000'	1000'	"	1000'
OFA WIDTH	800'	800'	"	800'	800'	800'	"	800'
OFA LENGTH BEYOND STOP END OF RNWY	1000'	1000'	"	1000'	1000'	1000'	"	1000'
TAKEOFF RUN AVAILABLE (TORA)	7,400'	11,000'	"	10,000'	8,000'	8,000'	"	7,500'
TAKEOFF DISTANCE AVAILABLE (TDA)	7,400'	11,000'	"	10,000'	8,000'	8,000'	"	7,500'
ACCELERATE-STOP DISTANCE AVAILABLE (ASDA)	7,400'	11,000'	"	10,000'	8,000'	8,000'	"	7,500'
LANDING DISTANCE AVAILABLE (LDA)	7,400'	11,000'	"	10,000'	8,000'	8,000'	"	7,500'
TAXIWAY LIGHTING	MITL	MITL	"	MITL	MITL	MITL	"	MITL
TAXIWAY MARKING	CENTERLINE	CENTERLINE	"	CENTERLINE	CENTERLINE	CENTERLINE	"	CENTERLINE
NAVIGATIONAL AIDS	CAT I ILS (22L) MALSR (22L) PAPI (4R)	CAT I ILS (22L) MALSR (22L) PAPI (4R)	"	CAT I ILS (22R) MALSR (22R) PAPI (4L)	REIL (17, 35) PAPI (17)	REIL (17, 35) PAPI (17)	"	CAT I ILS (10) MALSR (10) PAPI (28)

AIRPORT DATA TABLE

DOUBLE EAGLE II AIRPORT (AEG)		
OWNER: CITY OF ALBUQUERQUE	CITY: ALBUQUERQUE, NEW MEXICO COUNTY: BERNALILLO	
	EXISTING	ULTIMATE
AIRPORT ELEVATION ①	5837'	5854'±
AIRPORT REFERENCE POINT (ARP) LATITUDE ②	35° 08' 42.548" N	35° 09' 23.789" N
AIRPORT REFERENCE POINT (ARP) LONGITUDE ②	106° 47' 42.585" W	106° 47' 41.673" W
MEAN MAX. DAILY TEMPERATURE (°F) HOTTEST MONTH	JULY 92.3° F ③	SAME
AIRPORT REFERENCE CODE	D-II	D-II
NAVIGATIONAL AIDS	BEACON	BEACON ATCT

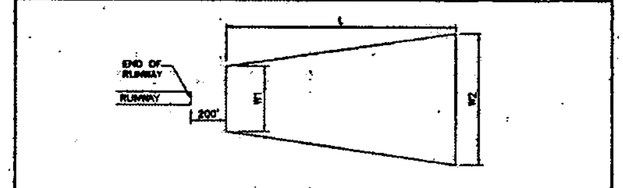
① NAVD 88 ② NAD 83
③ SOURCE: CLIMATOGRAPHY OF THE U.S. NO. 81 (1971-2000)

RUNWAY END COORDINATES

RUNWAY	ELEVATION (MSL/NAVD 88)	LATITUDE (NAD 83)	LONGITUDE (NAD 83)
4 (EXISTING)	5837.0	35° 08' 19.482" N	106° 48' 33.061" W
4R (FUTURE)	5841.2	35° 10' 23.481" N	106° 45' 53.197" W
22 (EXISTING/FUTURE)	5810.1	35° 09' 10.154" N	106° 47' 28.789" W
4L (FUTURE)	5870.0	35° 08' 35.510" N	106° 49' 27.489" W
22R (FUTURE)	5825.0	35° 09' 37.135" N	106° 46' 09.324" W
17 (EXISTING)	5805.8	35° 09' 09.362" N	106° 47' 19.967" W
35 (EXISTING)	5798.9	35° 08' 10.075" N	106° 47' 19.922" W
35 (FUTURE)	5795.1	35° 07' 50.246" N	106° 47' 19.897" W
10 (FUTURE)	5854.0	35° 10' 22.532" N	106° 48' 54.813" W
28 (FUTURE)	5811.0	35° 09' 31.566" N	106° 47' 32.732" W

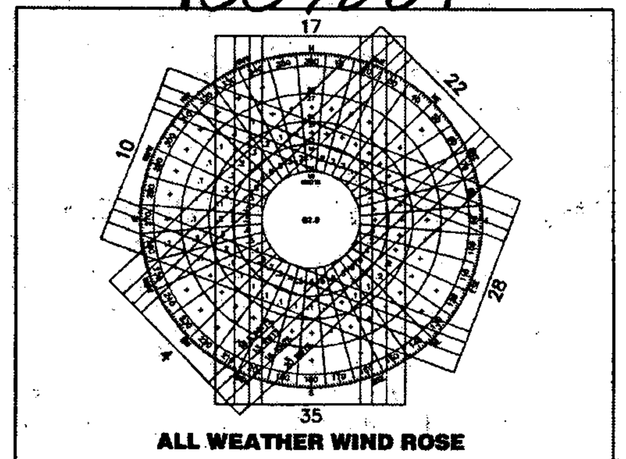
RUNWAY PROTECTION ZONE DATA

RUNWAY	L	W1	W2
4R (EXISTING/FUTURE)	1,700	1,000	1,510
22 (EXISTING/FUTURE)	2,500	1,000	1,750
4L (FUTURE)	1,700	1,000	1,510
22R (FUTURE)	2,500	1,000	1,750
17 (EXISTING)	1,700	500	1,010
35 (EXISTING/FUTURE)	1,700	500	1,010
10 (FUTURE)	1,000	250	450
28 (FUTURE)	1,000	250	450
10 (ULTIMATE)	2,500	1,000	1,750
28 (ULTIMATE)	1,700	1,000	1,510



RUNWAY PROTECTION ZONE DETAIL

1007009



ALL WEATHER WIND ROSE

WIND ROSE DATA
STATION: DOUBLE EAGLE II AIRPORT, ALBUQUERQUE, NM
RECORD PERIOD: APRIL 1, 2000 - MARCH 31, 2001
OBSERVATIONS: 105,787
NATIONAL CLIMATIC DATA CENTER, ASHEVILLE, N.C.

RUNWAY COVERAGE	10.5 KTS./12 MPH	13.0 KTS./15 MPH	16.0 KTS./18 MPH	20.0 KTS./23 MPH
RUNWAY 4-22	96.79%	92.91%	97.06%	
RUNWAY 17-35	91.40%	94.53%	97.31%	98.01%
FUTURE RUNWAY 10-28	93.07%	96.39%	98.80%	99.83%
				99.90%
COMBINED COVERAGE				
RUNWAYS 4-22 & 17-35 (EXIST. CONFIGURATION)	94.50%	97.13%	98.79%	99.88%
RUNWAYS 4-22, 17-35 & 10-28 (FUTURE CONFIGURATION)	98.31%	99.78%	99.99%	100.00%

BUILDINGS / FACILITIES TABLE

NUMBER	DESCRIPTION
1	AIRFIELD ELECTRICAL VAULT/AIRPORT BEACON
2	COA AIRFIELD MAINTENANCE OFFICE
3	T-HANGAR - 21 UNITS, NESTED (WEST MESA AVIATION)
4	T-HANGAR - 22 UNITS, NESTED (WEST MESA AVIATION)
5	FBO BAY HANGAR/OFFICE (WEST MESA AVIATION)
6	FBO HANGAR (WEST MESA AVIATION)
7	FBO HANGAR (WEST MESA AVIATION)
8	FUEL FARM (WEST MESA AVIATION)
9	FUEL FARM (BODE AVIATION)
10	AVGAS ISLAND (BODE AVIATION)
11	FBO BAY HANGAR/OFFICE (BODE AVIATION)
12	FBO BAY HANGAR (BODE AVIATION)
13	FBO HANGAR (WEST MESA AVIATION)
14	T-HANGAR -18 UNITS, NESTED (BODE AVIATION)
15	T-HANGAR -18 UNITS, NESTED (BODE AVIATION)
16	APD AIR SUPPORT HANGAR
17	T-HANGAR -16 UNITS, NESTED (BODE AVIATION)
18	T-HANGAR -16 UNITS, NESTED (BODE AVIATION)
19	T-HANGAR -16 UNITS, NESTED (BODE AVIATION)
20	T-HANGAR -16 UNITS, NESTED (BODE AVIATION)
21	SHADE COVER (BODE AVIATION)

LEGEND

ITEM	EXISTING	FUTURE
AIRPORT PROPERTY LINE		
AIRFIELD PAVEMENT		
BUILDINGS		
GLIDE SLOPE CRITICAL AREA		
LOCALIZER CRITICAL AREA	NA	
DRAINAGE PONDS	NA	
ROADS & PARKING		
SECURITY FENCE	X X	XX XX
BUILDING RESTRICTION LINE	BRL	(BRL)
RUNWAY SAFETY AREA	RSA	(RSA)
RUNWAY OBJECT FREE AREA	ROFA	(ROFA)
OBSTACLE FREE ZONE	OFZ	(OFZ)
TAXIWAY OBJECT FREE AREA	TOFA	(TOFA)
BUILDING FACILITY ID	E	
APPROACH LIGHTS		
REIL		
PAPI		
AIRPORT REFERENCE POINT		
AIRPORT BEACON		
WIND SOCK		
GLIDE SLOPE		
LOCALIZER		

GENERAL NOTES

1. BASE SHEETS COMPILED FROM PHOTOGRAMMETRIC MAPPING, DATED MARCH 2001, USGS QUAD SHEETS, AEG DRAWINGS AND AERIAL PHOTO. NEW MEXICO STATE PLANE, CENTRAL ZONE.
2. ALL GEODETIC COORDINATES SHOWN USING NAD 83 HORIZONTAL DATUM.
3. ALL ELEVATIONS (MSL) SHOWN USING NAVD 88 VERTICAL DATUM.
4. AIRPORT ELEVATION, AIRPORT REFERENCE POINT COORDINATES, RUNWAY END ELEVATIONS AND RUNWAY END COORDINATES TAKEN FROM NATIONAL GEODETIC SURVEY'S "AERONAUTICAL SURVEY PROGRAM". AERONAUTICAL DATA FOR DOUBLE EAGLE II AIRPORT.
5. EXISTING PROPERTY BOUNDARY AS SHOWN ON THE PLAN WAS TAKEN FROM AEG "EXHIBIT A".
6. RUNWAY APPROACH SURFACES CONFORM WITH FAA FAR PART 77 CRITERIA.
7. FUTURE NAVIGATIONAL AID LOCATIONS ARE SUBJECT TO FAA VERIFICATION.
8. SURROUNDING LAND USES SHOWN ON PLAN ARE FOR REFERENCE PURPOSE ONLY.

CONSTRUCTION NOTICE REQUIREMENT

To protect operational safety and future development, all proposed construction on the airport must be coordinated by the airport owner with the FAA Airports District Office prior to construction. FAA's review takes approximately 60 days.

AIRPORT SPONSOR APPROVAL

THIS AIRPORT DRAWING IS APPROVED BY:
(SIGNATURE) Dewey V. Cave DATE: 12-17-03
NAME: DEWEY V. CAVE
TITLE: DIRECTOR OF AVIATION

NO.	REVISIONS	BY	APP.	DATE

NO.	REVISIONS	BY	APP.	DATE

AIRPORT LAYOUT PLAN

DOUBLE EAGLE II AIRPORT
ALBUQUERQUE, NEW MEXICO

PREPARED FOR
CITY OF ALBUQUERQUE
ALBUQUERQUE, NEW MEXICO

GENERAL CONSULTANTS
URS

DESIGNED: FWH
DRAWN: RJW CHECKED: MLT
PROJECT MANAGER: FWH
PROJECT DIRECTOR: FWH

DATE: 5/03
SHEET: 1 OF 16

CITY OF ALBUQUERQUE

October 8, 2009

John M. Provine, P.E.
Molzen-Corbin & Associates
2701 Miles Rd SE
Albuquerque, NM 87106

Re: DE II Airport Airfield Maintenance Facility, 7401 Paseo del Volcan NW
Approval of Permanent Certificate of Occupancy,
Engineer's Stamp Date: 3-12-08/3-14-08 (~~D5/D002~~)
Engineer's Certification Date: 10-5-09 E05/SB3A D001

Dear Mr. Provine,

Based upon the information provided in your submittal received 10/5/09, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology.

If you have any questions, you can contact me at 924-3695.

Sincerely,

Curtis A. Cherne

Curtis Cherne, P.E.
Senior Engineer
Development and Building Services

C: CO Clerk
file

PO Box 1293
Albuquerque
NM 87103
www.cabq.gov

CITY OF ALBUQUERQUE

PLANNING DEPARTMENT – Building & Development Services

March 14, 2008

John M. Provine, P.E.
Molzen-Corbin & Associates
2701 Miles Rd SE
Albuquerque, NM 87106

E-S -SB2A D002

RE: **Double Eagle II Airport Airfield Maintenance Building (D05– D002)**
Grading and Drainage Plan (PE Stamped 03-12-08 w/ Revisions 3/14/08)

Dear Mr. Provine:

Based upon the information provided in your submittal updated 3/14/08, the above referenced plan is hereby approved for Building Permit.

Please attach a copy of this approved plan to the Building Permit plan sets prior to requesting sign-off by the Hydrology Section.

Prior to Certificate of Occupancy approval, an Engineer's Certification of compliance with this plan is required per the DPM.

If I can be of further assistance, please feel free to contact me at 924-3981.

Sincerely,

Gregory R. Olson 3/14/8

Gregory R. Olson, P.E.

XC: Brad Bingham
file D05-D002 (DEII Maint. Facility)

P.O. Box 1293
Albuquerque
New Mexico 87103
www.cabq.gov

CITY OF ALBUQUERQUE

Planning Department
Transportation Development Services Section

October 15, 2009

John M. Provine, P.E.
Molzen-Corbin & Associates
2701 Miles Road SE
Albuquerque, NM 87106

Re: Certification Submittal for Final Building Certificate of Occupancy for Double Eagle II Airport Maintenance Facility, ~~[D-05/D002~~]
7401 Paseo de Volcan NW
Engineer Stamp **10/15/09**

EOS/SBA D002

Dear Mr. Provine:

Based upon the information provided in your submittal received 10-15-09, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact me at 924-3630.

Sincerely,

Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c: Engineer
Hydrology file
CO Clerk

PO Box 1293
Albuquerque
NM 87103
www.cabq.gov

2701 MILES RD SE
ALBUQUERQUE, NM 87106
TEL: 505.242.5700
FAX: 505.242.0673

MOLZEN-CORBIN & Associates
ENGINEERS/ARCHITECTS/PLANNERS

October 15, 2009

City of Albuquerque
Planning Department
Development and Building Services
P.O. Box 1293
Albuquerque, New Mexico 87103

RE: City of Albuquerque Aviation Department SMP11H-11
Double Eagle II Airport Airfield Maintenance Facility
Traffic Circulation (TCL) Certification

To Whom It May Concern:

I, John M. Provine, NMPE 10997, of the firm Molzen-Corbin and Associates, hereby certify that this project is in substantial compliance with and in accordance with the design intent of the TCL approved and building permit issued for the project (Building Permit No. 0717632). The record information edited onto the original design document has been obtained from Jaynes Corporation.

I further certify that I have personally visited the project site on July 17, 2009 and have determined by visual inspection that the record drawing information provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for a Certificate of Occupancy.

There are no known deficiencies or corrections that have not been addressed by the Contractor, Jaynes Corporation, concerning the TCL.

The record information presented hereon is not necessarily complete and is intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Submitted,

Molzen-Corbin & Associates

10/15/09

John M. Provine, P.E.

JOHN M. PROVINE
NEW MEXICO
10997
REGISTERED PROFESSIONAL ENGINEER

JMP:ps

RECEIVED
OCT 13 15 2009
HYDROLOGY SECTION