

SCALE: 1" = 10'



RECORD INFORMATION  
RECORD INFORMATION  
RECORD INFORMATION - AS-DESIGNED  
RECORD INFORMATION

LOT 4, BLOCK 5  
VOLCANO CLIFFS, UNIT 3  
(FILED 02-15-1998, 08-107)

# RECORD DRAWING FOR CERTIFICATION, SEE SHEET 4

LOT 24-P1, THE TRAILS  
AT TAYLOR RANCH  
(FILED 04-05-2002, 2002C-106)

LOT 25-P1, THE TRAILS  
AT TAYLOR RANCH  
(FILED 04-05-2002, 2002C-106)

LOT 23-P1, THE TRAILS  
AT TAYLOR RANCH  
(FILED 04-05-2002, 2002C-106)

LOT 22-P1, THE TRAILS  
AT TAYLOR RANCH  
(FILED 04-05-2002, 2002C-106)

LOT 21-P1, THE TRAILS  
AT TAYLOR RANCH  
(FILED 04-05-2002, 2002C-106)

WHITEMAN DRIVE N.W.  
(60' R.O.W.)

ASPHALT PAVEMENT

18" RCP S&S

18" RCP S&S

18" RCP S&S

18" RCP S&S

LOT 1-A-1  
0.2251 AC. ±  
PROPOSED BUILDING  
FF= 5146.15  
10

CONSTRUCT 3" CONCRETE  
VALLEY GUTTER @  
S = 0.005 (1/2%)

REMOVE AND DISPOSE OF  
3" HEADER CURB TO  
ALLOW NEW VALLEY  
GUTTER TO EXTEND

REMOVE AND DISPOSE OF  
4" HEADER CURB  
TO ALLOW SIDEWALK  
RAMP CONSTRUCTION

PROPERTY LINE TO  
BE ELIMINATED

EXISTING PARKING  
SPACE, TYP.

LOT 1-A-2  
0.3614 AC. ±  
EXISTING BUILDING  
FF= 5144.8±

EXISTING BUILDING  
FF= 5144.8±

MONTANO ROAD N.W.  
(108' R.O.W.)

**NOTE:**  
THIS IS NOT A BOUNDARY SURVEY; DATA IS SHOWN FOR ORIENTATION ONLY.  
THE BOUNDARY INFORMATION DEPICTED BY THIS PLAN IS BASED UPON THE  
BOUNDARY SURVEY PREPARED BY HIGH MESA CONSULTING GROUP (FORMERLY  
JEFF MORTENSEN AND ASSOC., INC.), NMPS NO. 11184, DATED 05/08/2007.  
TOPOGRAPHIC SURVEY INFORMATION IS BASED UPON A TOPOGRAPHIC SURVEY  
PREPARED BY HIGH MESA CONSULTING GROUP (FORMERLY JEFF MORTENSEN  
AND ASSOC., INC.), DATED 05/08/2007, NMPS NO. 11184.

SEE SHEET 2 FOR KEYED NOTES AND BOUNDARY DATA

## GRADING PLAN BEEHIVE HOMES WHITEMAN/MONTANO

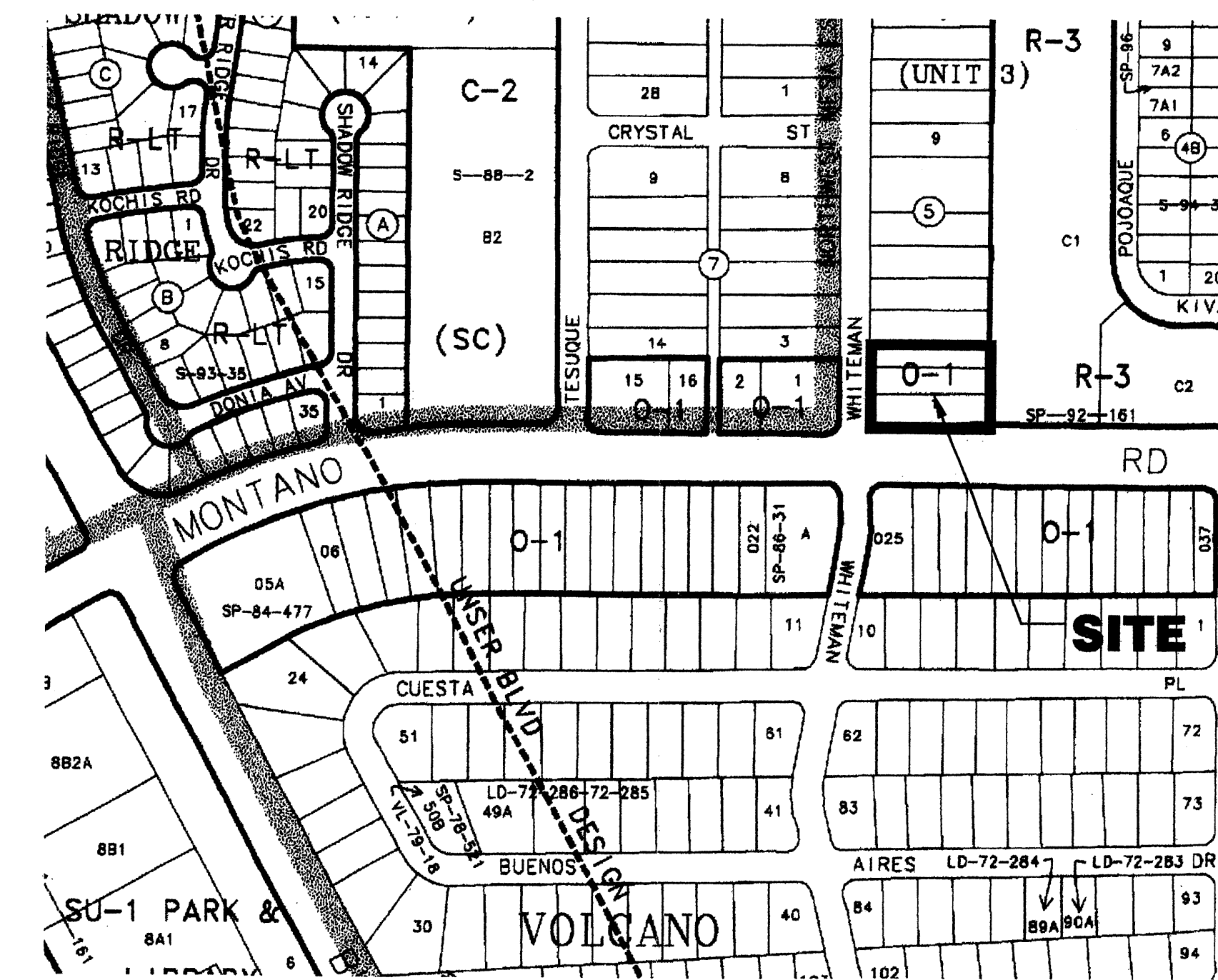
DESIGNED BY	G.M.	DATE	05/21/2008	BY	ENGINEER'S CERTIFICATION	RECEIVED	DATE	06-2007
DRAWN BY	J.P./CFA/DH							
APPROVED BY	G.M.							
HYDROLOGY SECTION							SHEET	3 OF 5

File Path:	E:\DWG\2007\4\2007.026.A	Plot Date:	05-20-2008
File Name:	70263D2_AB.DWG	Plot Time:	3:28 pm

LINE TABLE		
LINE	LENGTH	BEARING
L10	1.32	N34°42'36"W
L11	21.00	S89°44'21"E
L12	15.00	S00°11'49"W
L13	1.58	N89°48'11"W
L14	68.05	N00°15'39"E
L15	113.48	N89°48'11"W
L16	129.74	S89°44'20"E
L17	4.14	N34°42'36"W
L18	0.30	S89°52'12"E
L19	7.97	N89°47'48"W
L20	8.40	N89°47'48"W

CURVE TABLE				
CURVE	LENGTH	RADIUS	TANGENT	DELTA
C1	39.27	25.00	25.00	89°59'23"
C10	7.85	5.00	5.00	90°00'00"
C11	2.86	1.31	2.51	124°54'25"
C12	14.44	15.00	7.84	55°09'35"

LOT 5, BLOCK 5  
VOLCANO CLIFFS SUBD., UNIT 3  
FILED: FEBRUARY 15, 1966  
VOL. C6, FOLIO 107



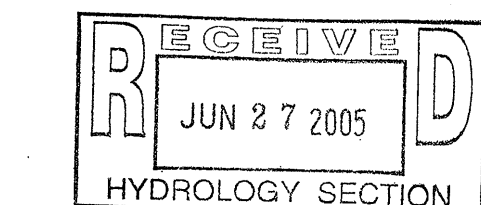
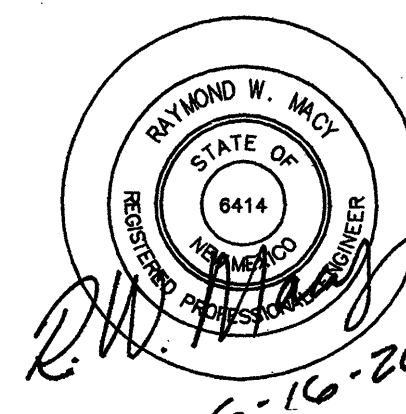
**VICINITY MAP E-10-Z**  
UPC# 101006246728110301  
NOT TO SCALE

### LEGEND

- UTILITY PAVEMENT CUT
- NEW ON-SITE PARKING/ACCESS PAVING
- NEW CONCRETE DRIVEWAY, STOOPS OR SIDEWALKS

TABULATED PARKING		
PARKING REQUIRED	REQUIRED	8 TOTAL
	HC	1 TOTAL
PARKING PROVIDED	REGULAR	15 TOTAL
	HC	1 TOTAL
		16 TOTAL

**TRAFFIC CIRCULATION LAYOUT**  
APPROVED  
Signed: [Signature] Date: 6/26/05

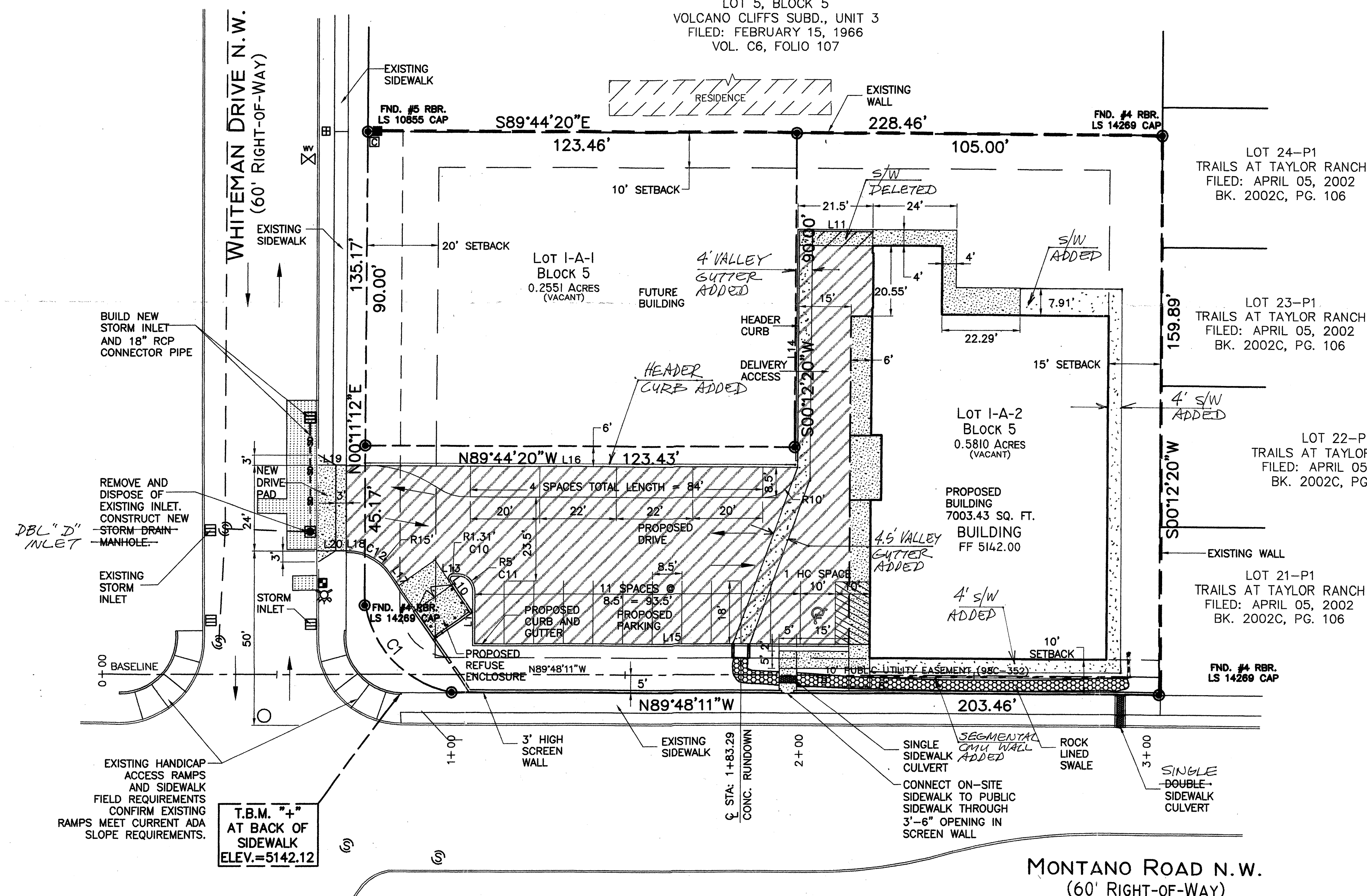


Revision/Issue	Date
No.	

Project Name and Address  
**BeeHive Homes**  
WHITEMAN /  
MONTANO ROAD  
Albuquerque, New Mexico

**THE TELCK-HENSLEY**  
ENGINEERING GROUP  
2340 MENUL NE, SUITE 200  
ALBUQUERQUE, NEW MEXICO 87107  
Phone (505) 282-3002 FAX (505) 282-3004

Sheet Title  
**TRAFFIC CIRCULATION LAYOUT**  
Date  
06/16/2005  
Project No.  
05-047  
Sheet Number  
**TCL**

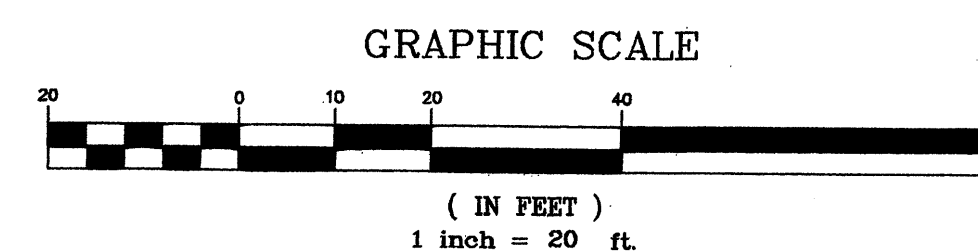


- NOTES:
- STATION 1+00 LOCATED 5' NORTH OF THE SOUTH PROPERTY RETURN (WHITEMAN AND MONTANO). PROJECT BASELINE IS 5' NORTH OF THE SOUTH PROPERTY LINE OF LOT 1-A-2
  - ALL IMPROVEMENTS WITHIN THE PUBLIC ROW SHALL BE IN ACCORDANCE WITH THE LATEST REQUIREMENTS OF THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION THROUGH UP-DATE NO. 7.



### TRAFFIC CIRCULATION LAYOUT

SCALE: 1"=20'-0"



# **GRADING PLAN GENERAL NOTES:**

- See sheet CG-01 for complete list of general notes and symbol/linetype legend that apply to all sheets.
- Surface features associated with underground utilities are shown on paving plans for clarity. See applicable utility plans for construction notes and details.

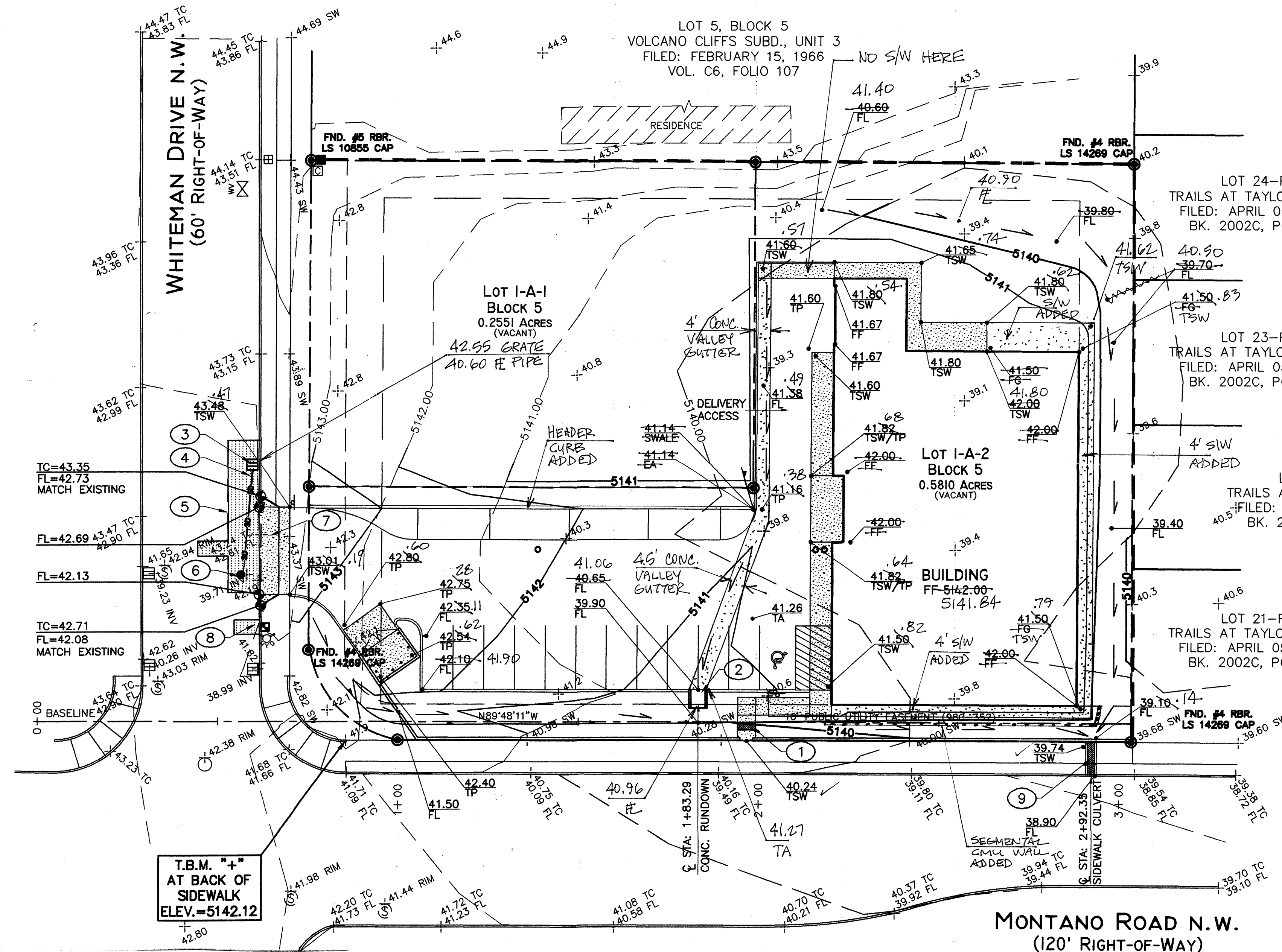
# **GRADING PLAN KEYED NOTES:**

- Construct sidewalk culvert per COA std. Detail 2236.
- Construct 4' wide concrete rundown per Detail 2/C-5.1.

# **ALL OF THE FOLLOWING ITEMS SHALL BE DONE PER CITY OF ALBUQUERQUE WORK ORDER PROCESS**

- Construct Single Grate Type "A" Inlet per COA std. dwg 2201.
- Construct 18" RCP storm drain connector pipe.
- Saw cut remove and dispose. Replace asphalt per Utility patch Detail 2/C-5.1 and other requirements per COA std. Detail 2465. For installation of new 4" sanitary sewer service lateral, type "A" inlet, SD manhole and 18" RCP connector pipe.
- Construct 4" dia. Type "C" manhole per COA STD DWG 2104.
- Construct concrete drive pad per COA std. Detail 2425.
- Saw cut remove and dispose AC Pavement. Replace asphalt per Utility patch Detail 2/C-5.1 and other requirements per COA std. Detail 2465. For installation of new water service line.
- Construct sidewalk culvert per COA std. Detail 2236.

DEL "D" INLET  
CONSTRUCTED IN CURB LINE

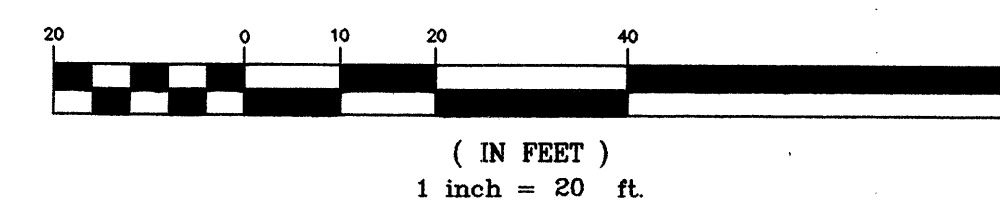


NOTE: ALL WORK WITHIN PUBLIC RIGHTS-OF-WAY  
MUST BE DONE PER CITY OF ALBUQUERQUE  
WORK ORDER PROCESS.

# **LEGEND**

- UTILITY PAVEMENT CUT
- NEW CONCRETE DRIVEPAD, STOOPS  
OR SIDEWALKS

GRAPHIC SCALE



SCALE: 1"=20'-0"

# **OVERALL GRADING PLAN**



RAYMOND W. MACY, N.M.P.E. NO. 6414

DATE 3/8/06

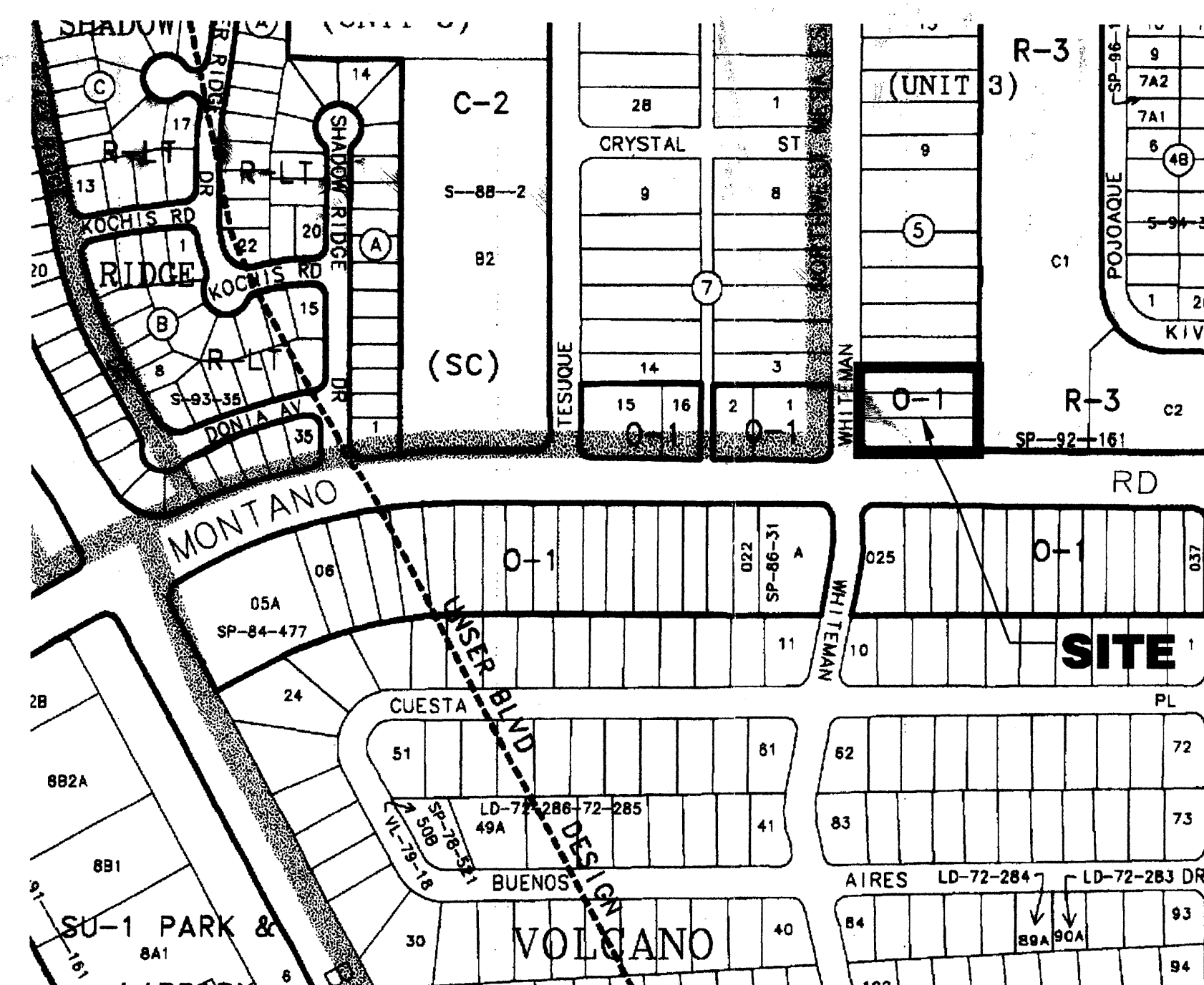
# **DRAINAGE CERTIFICATION**

I, RAYMOND W. MACY, N.M.P.E. NO. 6414, OF TELCK HENSLEY ENGINEERING GROUP LLC, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED DRAINAGE PLAN DATED JANUARY 28, 2005. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ME OR UNDER MY DIRECT SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY.

EXCEPTIONS AND/OR QUALIFICATIONS: A PROPOSED TYPE C STORM DRAIN MANHOLE IN WHITE MAN DRIVE WAS REPLACED WITH A DOUBLE TYPE D INLET PER CITY APPROVED SO-19 PLANS. A CONCRETE VALLEY GUTTER WAS CONSTRUCTED NORTH-TO-SOUTH ACROSS THE EAST END OF THE PARKING LOT TO FACILITATE DRAINAGE WHERE THE PARKING SURFACE HAD BEEN CONSTRUCTED WITHOUT SUFFICIENT SLOPE. THE DEVELOPER ADDED SIDEWALKS AT THE NORTH, EAST AND SOUTH SIDES OF THE BUILDING. THE DEVELOPER CONSTRUCTED A SEGMENTAL BLOCK WALL BETWEEN THE ADDED SOUTH BUILDING SIDEWALK AND A PLANNED DRAINAGE FLOW PATH. THE WALL IS INTENDED TO ALEVATE STEEPNESS OF THE SOUTH SIDE YARD THAT WOULD OTHERWISE RESULT FROM THE ADDED SOUTH SIDEWALK. THE DEVELOPER ADDED A HEADER CURB ON THE NORTH SIDE OF THE PARKING LOT ADJACENT TO FOUR (4) PARALLEL PARKING SPACES. ELEVATIONAL REVISIONS IN THE PARKING AREA ARE SHOWN ON THE CERTIFIED GRADING PLAN. THERE ARE NO OTHER KNOWN EXCEPTIONS AND/OR QUALIFICATIONS.

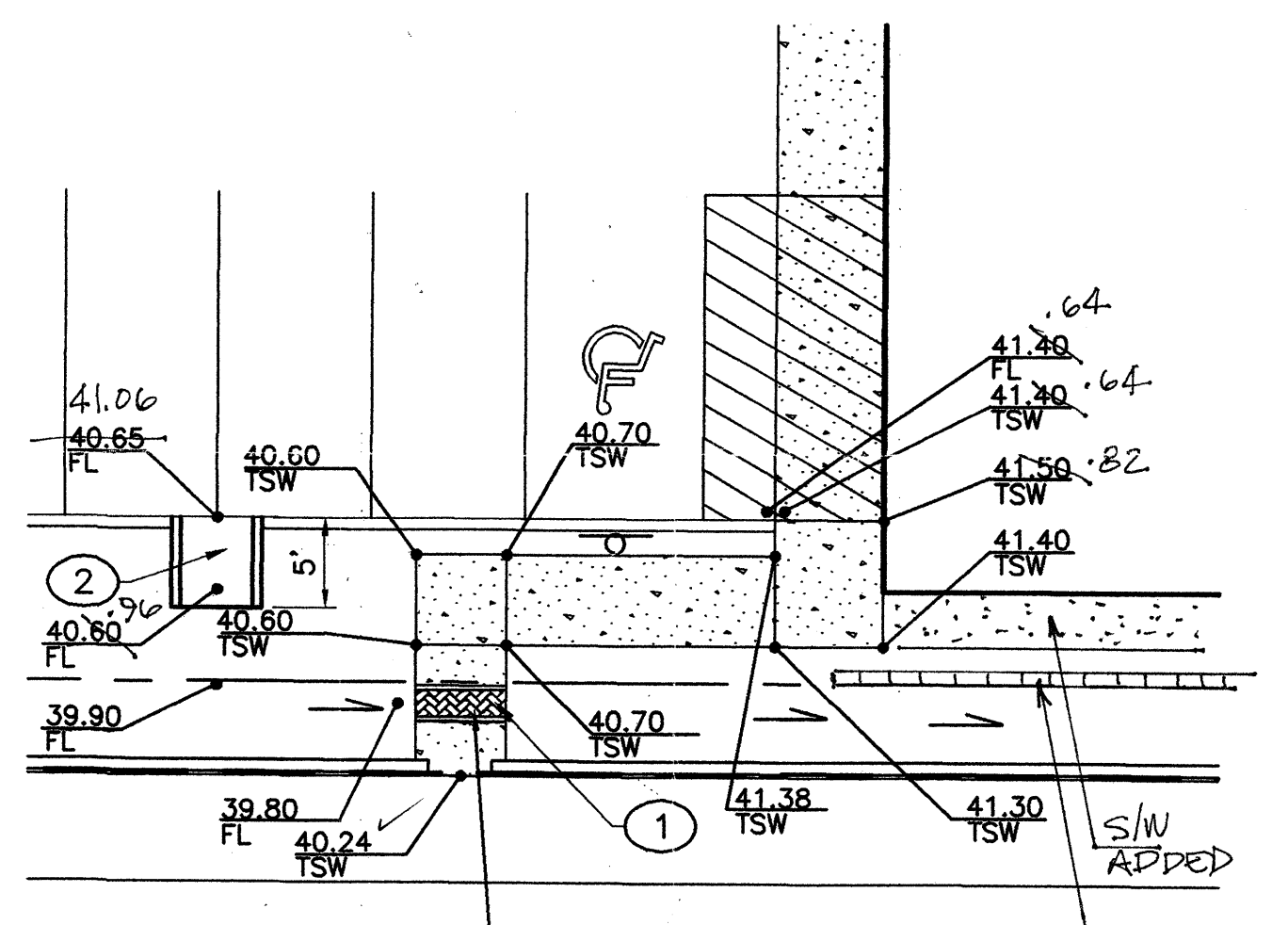
DEFICIENCIES AND/OR REQUIRED CORRECTIONS: THERE ARE NO KNOWN DEFICIENCIES OR REQUIRED CORRECTIONS.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



# **VICINITY MAP E-10-Z**

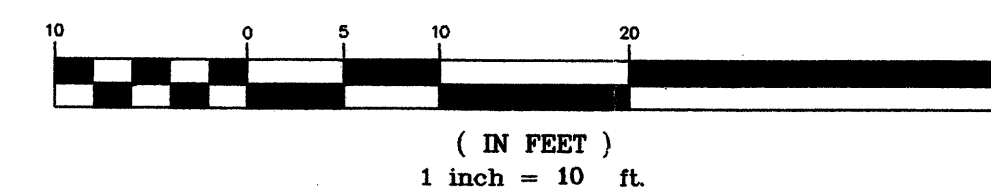
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# **ENLARGED SIDEWALK**

SCALE: 1"=10'-0"

GRAPHIC SCALE



Revision/Issue	Date
No.	

Project Name and Address

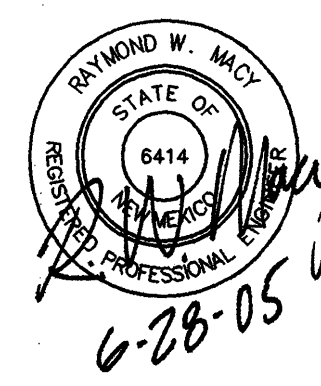
BeeHive Homes  
WHITEMAN /  
MONTANO ROAD  
Albuquerque, New Mexico

THE TELCK-HENSLEY  
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2340 MENAL NE, SUITE 200  
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Phone (505) 262-3222 FAX (505) 262-3904

Sheet Title  
OVERALL GRADING PLAN  
Date  
06/16/2005  
Project No.  
05-047

Sheet Number

**C-2.1**



6-28-05