

DRAINAGE PLAN

I. EXECUTIVE SUMMARY AND INTRODUCTION

THE PROJECT IS LOCATED IN A DEVELOPED AREA OF NORTHWEST ALBUQUERQUE. THE PROPOSED CONSTRUCTION IS THE SECOND PHASE OF A PLANNED TWO-PHASE DEVELOPMENT PURSUANT TO A PREVIOUSLY APPROVED AND CERTIFIED PLAN. THE PREVIOUS PLAN FOR THE SITE ANTICIPATED THIS DEVELOPMENT. THE PURPOSE OF THIS SUBMITTAL IS TO OBTAIN BUILDING PERMIT APPROVAL.

II. PROJECT DESCRIPTION:

AS SHOWN BY VICINITY MAP E-10 HEREON, THE SITE IS LOCATED AT THE NORTHEAST CORNER OF WHITEMAN DRIVE NW AND MONTANO ROAD NW. AS SHOWN BY PANEL 114 OF 825 OF THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAPS DATED NOVEMBER 19, 2003, THERE ARE NO DESIGNATED FLOOD HAZARD ZONES IN THE VICINITY.

III. BACKGROUND DOCUMENT

THE PREVIOUSLY APPROVED AND CERTIFIED GRADING PLAN FOR THE SITE (E10/D19) BY THE GROUP, NMPE 6414, DATED 6/28/05 AND 03/08/06 RESPECTIVELY, PRESENTED PHASE 1 DEVELOPMENT AT THIS SITE AND INCLUDED ASSUMPTIONS, CALCULATIONS, AND JUSTIFICATIONS FOR THE SECOND BUILDING WITH 85% IMPERVIOUS LAND TREATMENT AS IS NOW PROPOSED. THIS PREVIOUS PLAN JUSTIFIES THE SECOND BUILDING AS NOW PRESENTED.

IV. EXISTING CONDITIONS:

THE SITE IS PARTIALLY DEVELOPED WITH AN EXISTING BUILDING WITH ASSOCIATED PAVED PARKING AND LANDSCAPING. THE PHASE 2 BUILDING AREA IS UNDEVELOPED AND HAS A SLIGHT COVER OF

SITE RUNOFF DRAINS FROM NORTHWEST TO SOUTHEAST AND IS CONVEYED BY VALLEY GUTTERS AND PAVEMENT TO AN OUTFALL VIA SIDEWALK CULVERT TO MONTANO ROAD NW.

v. Developed conditions

THE PROPOSED CONSTRUCTION WILL INCLUDE A NEW BUILDING WHICH WAS ANTICIPATED BY THE PHASE 1 PLAN WHICH IDENTIFIED THE PHASE 2 AREA AS BASIN #1 WITH ASSUMED LAND TREATMENTS OF 15%B AND 85% D WHICH ARE CONSERVATIVE WHEN COMPARED TO THE PROPOSED SITE PLAN WHICH HAS MORE THAN 15% LANDSCAPING. A NEW VALLEY GUTTER WILL BE CONSTRUCTED AROUND THE WEST AND NORTH SIDES OF THE NEW BUILDING TO CONVEY RUNOFF TO THE EXISTING VALLEY GUTTER AND PAVED FLOW PATHS. NO NEW CALCULATIONS ARE PRESENTED HEREIN BECAUSE THE PREVIOUS PLAN FOR THE SITE INCLUDED CALCULATIONS TO SUPPORT THIS SECOND PHASE OF DEVELOPMENT.

VI. GRADING PLAN

THE GRADING PLAN ON SHEET 2 SHOWS: 1) EXISTING GRADES INDICATED BY CONTOURS AT 1 FT, 0 IN INTERVALS FROM THE SURVEY BY THIS OFFICE DATED 05/08/2007, NMPS 11184, 2) THE LIMIT AND CHARACTER OF THE EXISTING IMPROVEMENTS AS SHOWN BY THE AFOREMENTIONED SURVEY, 3) PROPOSED CONTOURS INDICATED BY SPOT ELEVATIONS AND CONTOURS AT 1 FT, 0 IN INTERVALS, 4) THE LIMIT AND CHARACTER OF THE PROPOSED IMPROVEMENTS, AND 5) CONTINUITY BETWEEN EXISTING AND PROPOSED GRADES.

1) THE PROPOSED CONSTRUCTION IS A MODIFICATION TO AN EXISTING SITE WITHIN A FULLY DEVELOPED AREA BASED ON A PREVIOUSLY APPROVED PLAN THAT SUPPORTED THIS CONSTRUCTION.

2) THE PROPOSED SITE IMPROVEMENTS AND DRAINAGE CONCEPTS ARE CONSISTENT WITH THE PREVIOUSLY APPROVED PLAN FOR THE SITE.

3) THE SITE WILL FREELY DISCHARGE DEVELOPED RUNOFF TO THE FRONTING STREETS WHICH WILL CONVEY THE FLOWS TO EXISTING PUBLIC DOWNSTREAM STORM DRAINAGE IMPROVEMENTS.

4) THERE ARE NO DESIGN VARIANCES, EASEMENTS OR PROPOSED PUBLIC INFRASTRUCTURE PROPOSED BY THIS PROJECT.

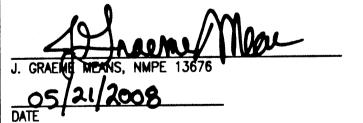
DRAINAGE CERTIFICATION

I. J. GRAEME MEANS, NMPE 13676, OF THE FIRM HIGH MESA CONSULTING GROUP HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND DRAINED IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 07/05/2007. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT WAS OBTAINED ON MAY 16TH, 2008 UNDER THE DIRECT SUPERVISION OF CHARLES G. CALA, JR., NMPS 11184, ALSO OF THE FIRM HIGH MESA CONSULTING GROUP. I FURTHER CERTIFY THAT I PERSONALLY VISITED THE PROJECT SITE MAY 15TH, 2008 AND DETERMINED BY VISUAL INSPECTION THAT THE DATA PROVIDED APPEARS TO BE REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR PERMANENT CERTIFICATE OF OCCUPANCY.

THERE WERE A FEW AREAS NOTED WHERE PUDDLING OCCURS ON THE DOWNSTREAM PAVEMENT, BUT THEY ARE LIMITED TO AREAS OF PRE-EXISTING PAVEMENT THAT WERE NOT ALTERED WITH THIS

THE RECORD INFORMATION PRESENTED HEREIN IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT AND DOES NOT ADDRESS COMPLIANCE WITH A.D.A. GUIDELINES. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

RECORD DRAWING





PLOR DE NO CT Albuquerque BUILD DO AIRES PL

PANEL 114 OF 825 VICINITY MAP

LEGAL DESCRIPTION

Lots 1-A-1 and 1-A-2, Block 5, Volcano Cliffs Subdivision, Unit 3, Albuquerque, New Mexico, as the same is shown and designated on the plat filed in the Office of the County Clerk of Bernalillo County, New Mexico on February 14, 2005, Book 2005C, Page 64.

E - 10

PROJECT BENCHMARK

ACS 1 3/4" ALUMINUM DISK STAMPED "25-E10 2003", SET FLUSH ON TOP OF THE CONCRETE CURB, 12' WEST OF THE E.N.E. CURB RETURN OF MONTANO ROAD AND TESUQUE DRIVE N.W. ELEVATION = 5165.45 FEET (NAVD 88)

CHISELED SQUARE IN CONCRETE SIDEWALK NEAR THE SOUTHWEST CORNER OF LOT 1-A-2. ELEVATION = 5145.81 FEET (NAVD 88)

CONSTRUCTION NOTES:

1. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM 260-1990 (ALBUQUERQUE AREA), 1-800-321-ALERT(2537) (STATEWIDE), FOR LOCATION OF EXISTING UTILITIES.

- 2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INTERPRETATIONS IT MAKES WITHOUT FIRST CONTACTING THE ENGINEER AS REQUIRED ABOVE.
- 3. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH. 4. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, SHALL BE CONSTRUC
- IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS REVISED THROUGH UPDATE #7, AMENDMENT 1 5. IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE
- ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE OWNER OF SAID UTILITY, AND THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THE ENGINEER HAS CONDUCTED ONLY PRELIMINARY INVESTIGATION OF THE LOCATION. DEPTH, SIZE, OR TYPE OF EXISTING UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES. THIS INVESTIGATION IS NOT CONCLUSIVE, AND MAY NOT BE COMPLETE, THEREFORE, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES. PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
- 6. THE DESIGN OF PLANTERS AND LANDSCAPED AREAS IS NOT PART OF THIS PLAN. ALL PLANTERS AND LANDSCAPED AREAS ADJACENT TO THE BUILDING(S) SHALL BE PROVIDED WITH POSITIVE DRAINAGE TO AVOID ANY PONDING ADJACENT TO THE STRUCTURE. FOR CONSTRUCTION DETAILS, REFER TO LANDSCAPING PLAN.

EROSION CONTROL MEASURES:

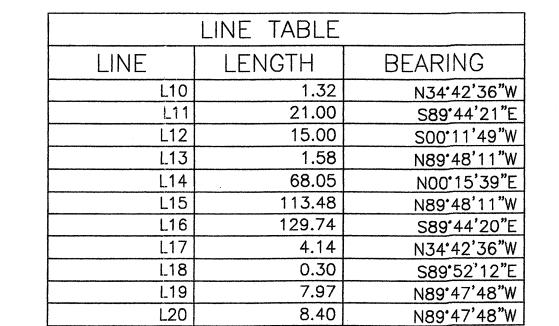
- 1. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY.
- 2. THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN
- 3. WHEN APPLICABLE, CONTRACTOR SHALL SECURE "TOPSOIL DISTURBANCE PERMIT" FROM THE CITY AND/OR FILE A NOTICE OF INTENT (N.O.I.) WITH THE EPA PRIOR TO BEGINNING CONSTRUCTION.



MEJA | Consulting Group

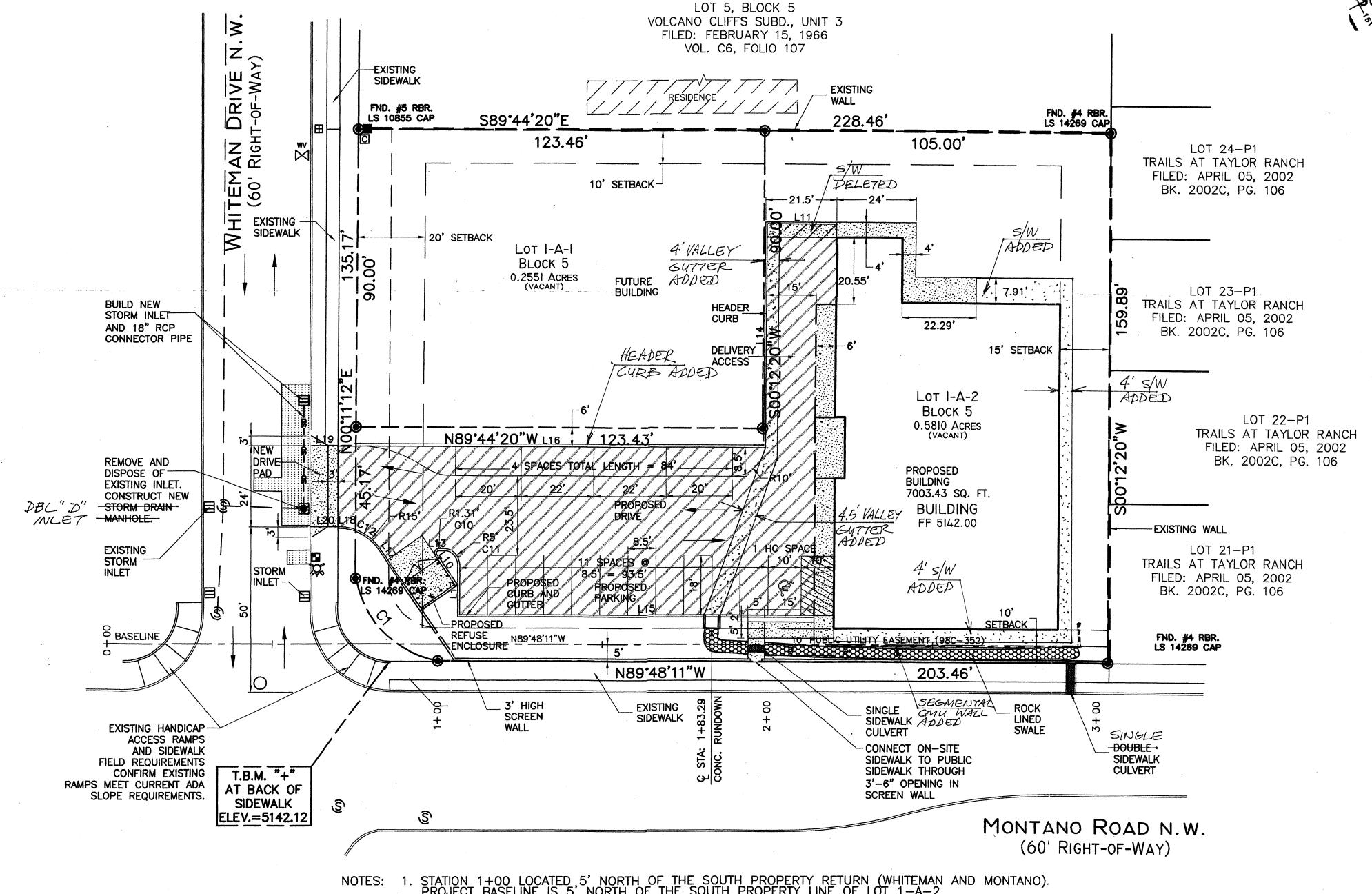
6010-B MIDWAY PARK BLVD. NE . ALBUQUERQUE, NEW MEXICO 87109 PHONE: 505,345,4250 • FAX: 505.345.4254 • www.highmesacg.com GRADING NOTES, DRAINAGE PLAN AND MAPS BEEHIVE HOMES WHITEMAN/MONTANO

REVISIONS RECEIVED JOB NO. NO. NATE BY 2007.026.3 C NOS ON ENGINEER'S CERTIFICATION 06-2007 HYDROLOGY APPROVED BY U.M. **SECTION**



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-		CURVE TABLE							
	CURVE	LENGTH	RADIUS	TANGENT	DELTA				
	C1	39.27	25.00	25.00	89*59'23"				
	C10	7.85	5.00	5.00	90,00,00				
	C11	2.86	1.31	2.51	124°54'25"				
	C12	14.44	15.00	7.84	55°09'35"				

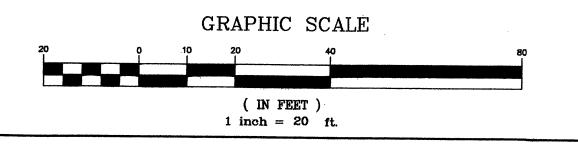
SCALE: 1"=20'-0"

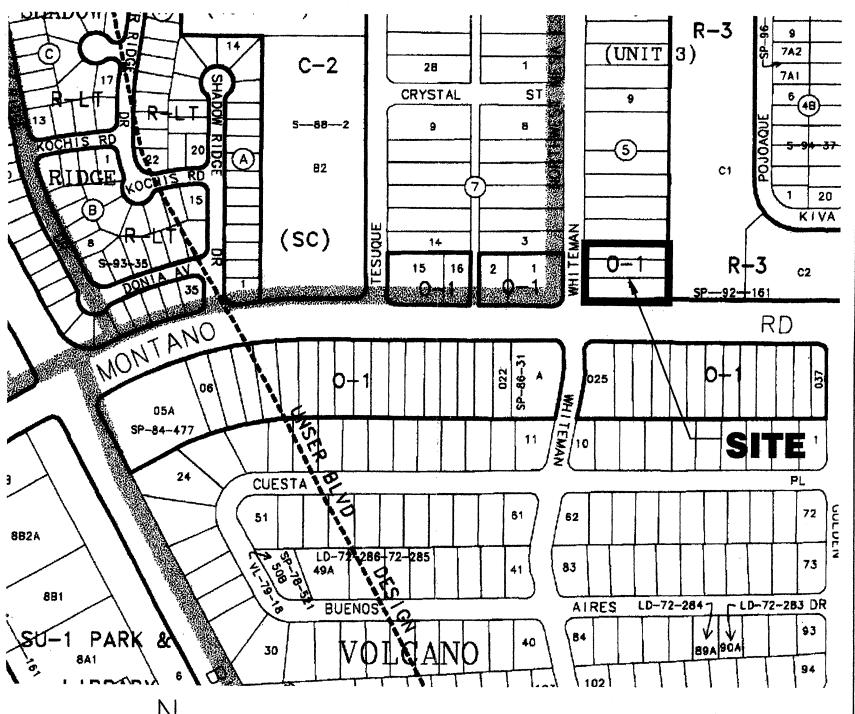


. STATION 1+00 LOCATED 5' NORTH OF THE SOUTH PROPERTY RETURN (WHITEMAN AND MONTANO).
PROJECT BASELINE IS 5' NORTH OF THE SOUTH PROPERTY LINE OF LOT 1-A-2

2. ALL IMPROVEMENTS WITHIN THE PUBLIC ROW SHALL BE IN ACCORDANCE WITH THE LATEST REQUIREMENTS OF THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION THROUGH UP-DATE NO. 7.

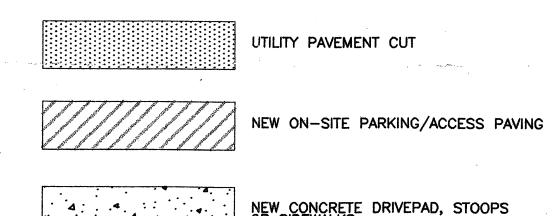
TRAFFIC CIRCULATION LAYOUT

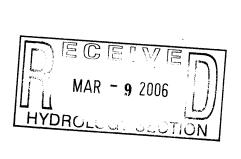




VICINITY MAP E-10-Z UPC# 101006246728110301

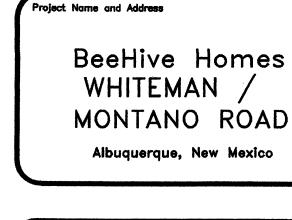
LEGEND





TABULATED PARKING							
PARKING REQUIRED	REQUIRED		8 TOTAL	7			
	HC		1 TOTAL				
	·						
PARKING PROVIDED	REGULAR		15 TOTAL				
	HC		1 TOTAL				
		ca	16 TOTAL	1			
		ZABLU-T RABBULLER TETTER	TRAFFIC CIRCULAT	TON LAYOL ED			

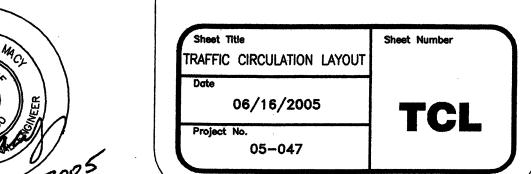
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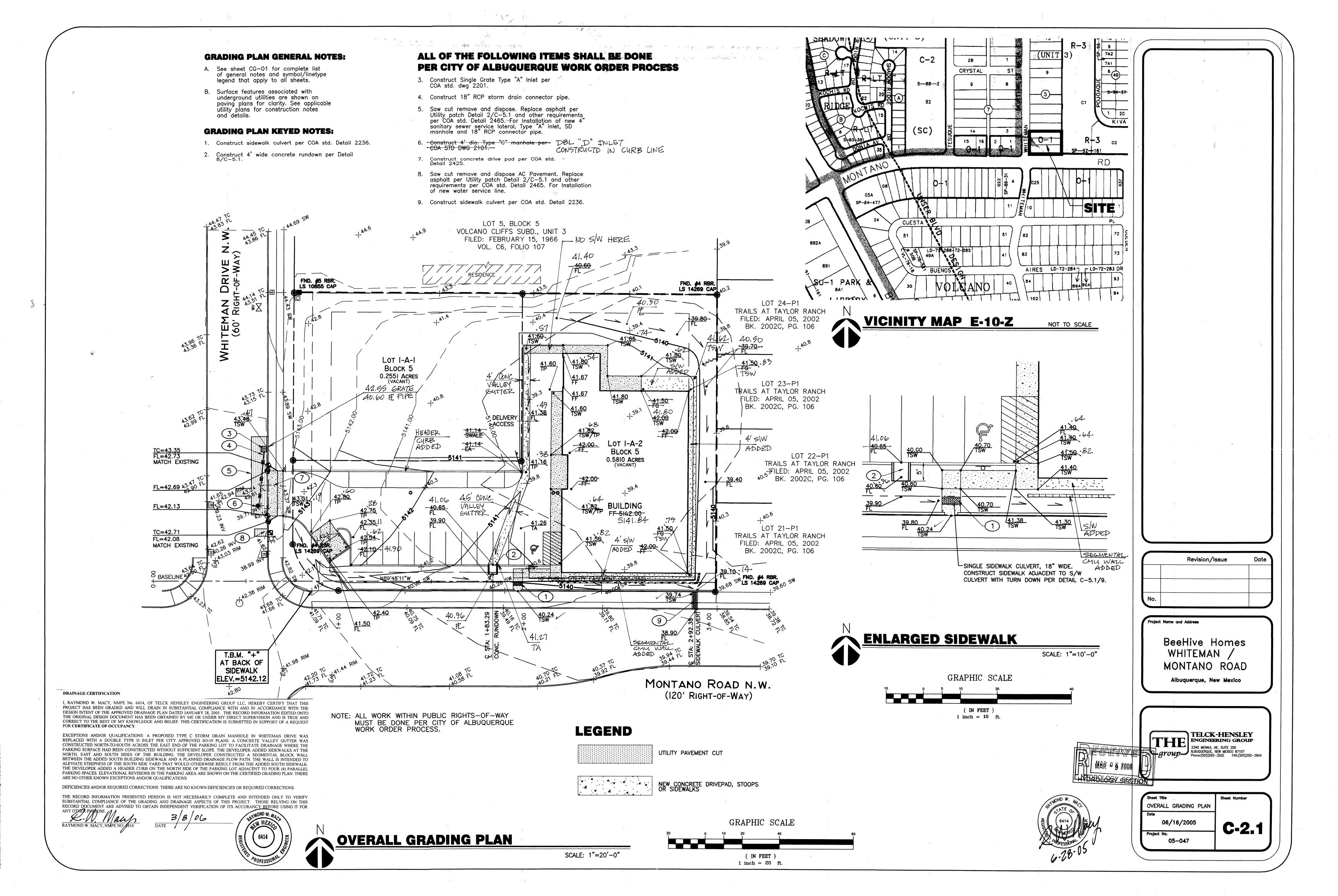


HYDROLOGY SECTION

Revision/Issue







1-2005 Tabs\05-047 Reshive Whiteman\Civi\\05-047C2 1 dwn. C-2 1. 6/28/2005 2-42-47 PM