

Rael, Rudy E.

From: Rael, Rudy E.
Sent: Thursday, September 29, 2016 1:34 PM
To: 'David Soule (david@riograndeengineering.com)'
Subject: Luna Residence SAD 227

Mr. Soule,

This email is being sent in lieu of an attached comment letter in order to expedite our comments.

Response to comments should continue to be included in the resubmittal. A reply to these comments via email will not be considered a resubmittal.

Based upon the information provided in your submittal received 9/13/16, the above referenced Grading and Drainage plan dated 9/9/16 cannot be approved for Grading Permit or Building Permit until the following comments are addressed:

- Enlarge the drainage calcs or provide on a separate sheet with the proper font size. Once submitted the calculations will be checked.
- Add a note stating that a Pad Certification will be required before the pouring of the concrete pad and that all work will be stopped until hydrology has approved the pad elevation. Also add that an inspection for CO from hydrology is a requirement.

If you should have any questions feel free to contact me or Abiel Carrillo at 924-3986.

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(505) 924-3977



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: _____ **Building Permit #:** _____ **City Drainage #:** _____
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: _____
City Address: _____

Engineering Firm: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Owner: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Architect: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Check all that Apply:

DEPARTMENT:

- HYDROLOGY/ DRAINAGE
- TRAFFIC/ TRANSPORTATION
- MS4/ EROSION & SEDIMENT CONTROL

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY
- PRELIMINARY PLAT APPROVAL
- SITE PLAN FOR SUB'D APPROVAL
- SITE PLAN FOR BLDG. PERMIT APPROVAL
- FINAL PLAT APPROVAL
- SIA/ RELEASE OF FINANCIAL GUARANTEE
- FOUNDATION PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- SO-19 APPROVAL
- PAVING PERMIT APPROVAL
- GRADING/ PAD CERTIFICATION
- WORK ORDER APPROVAL
- CLOMR/LOMR

TYPE OF SUBMITTAL:

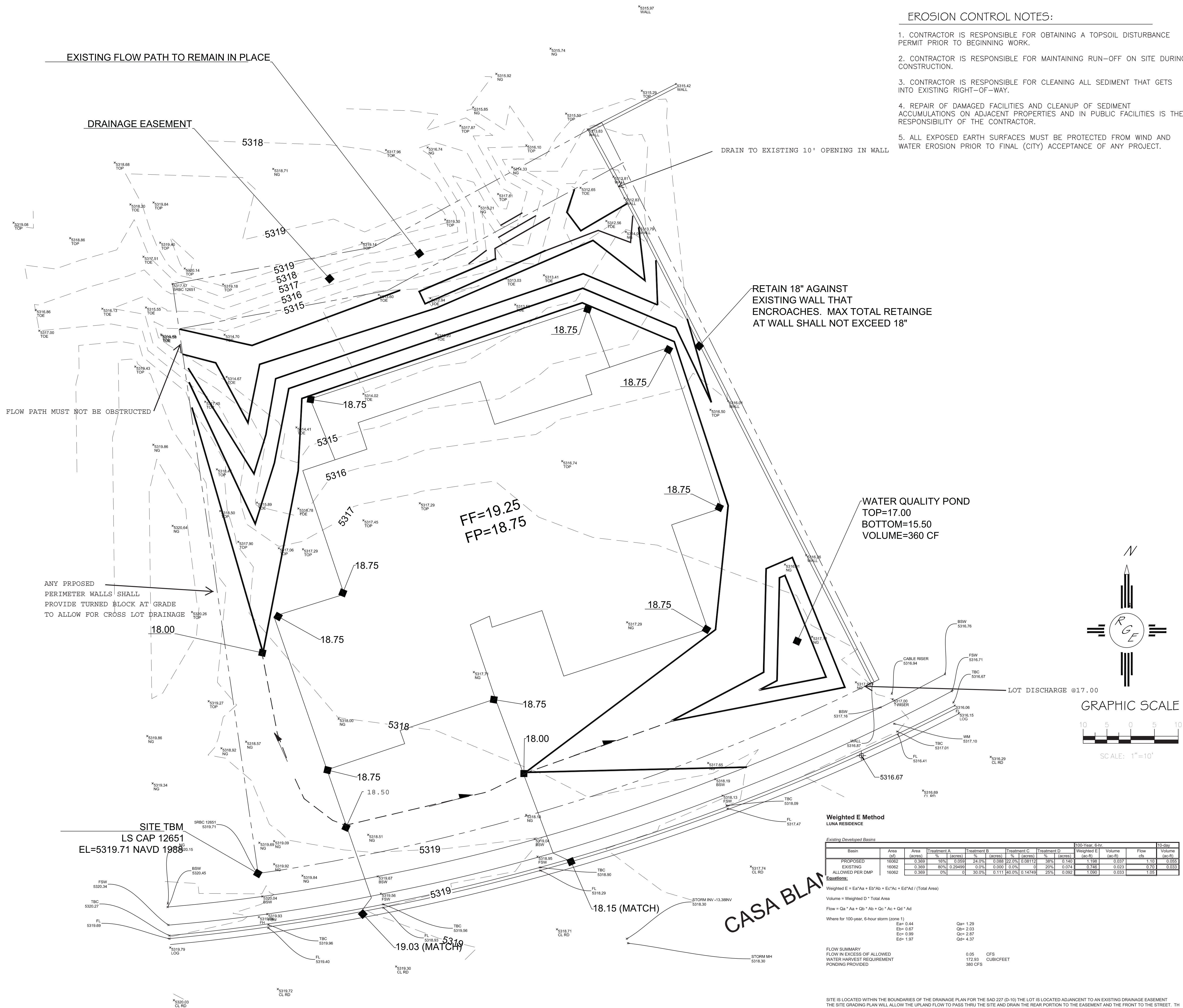
- ENGINEER/ ARCHITECT CERTIFICATION
- CONCEPTUAL G & D PLAN
- GRADING PLAN
- DRAINAGE MASTER PLAN
- DRAINAGE REPORT
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- TRAFFIC IMPACT STUDY (TIS)
- EROSION & SEDIMENT CONTROL PLAN (ESC)
- OTHER (SPECIFY) _____

- PRE-DESIGN MEETING
- OTHER (SPECIFY) _____

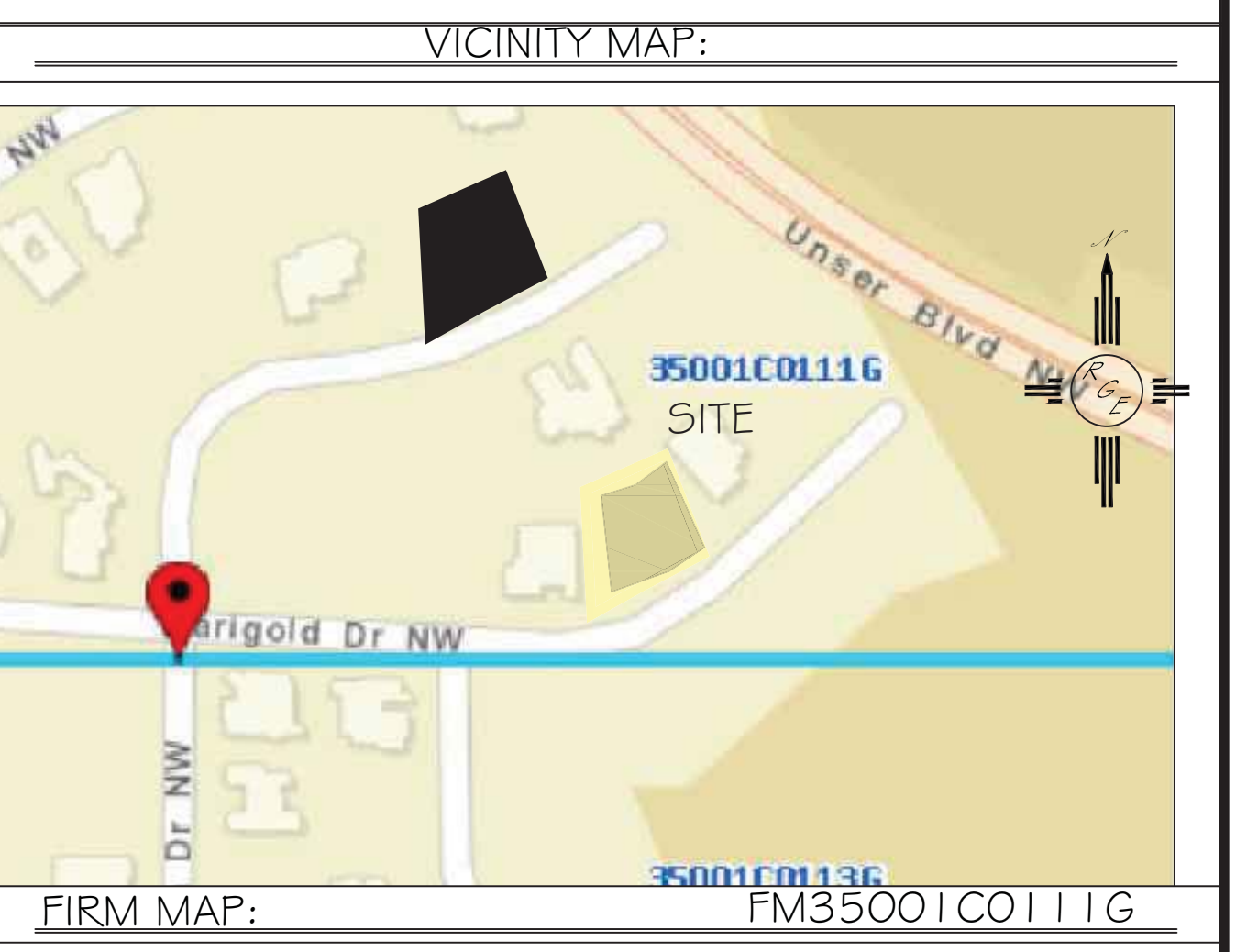
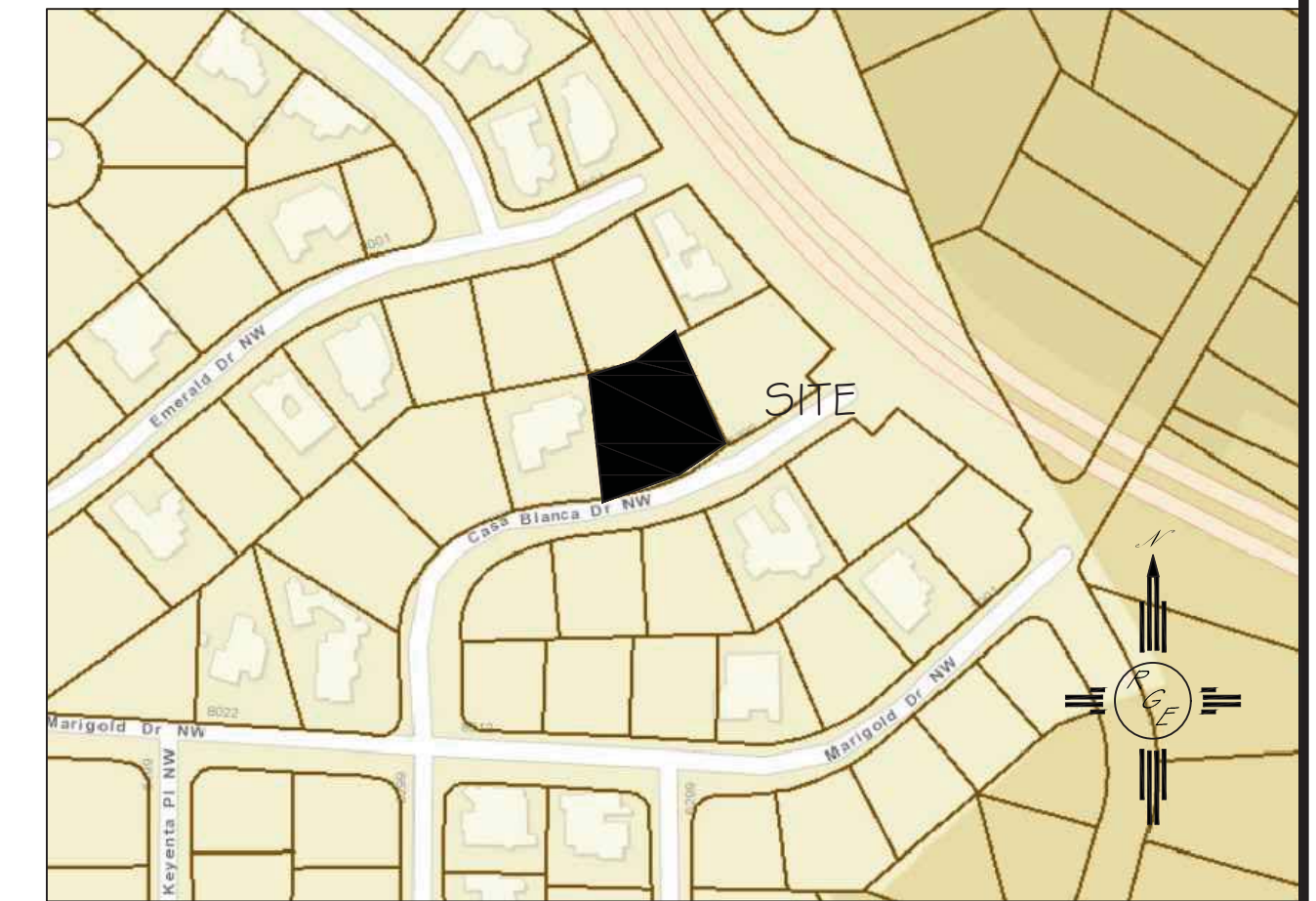
IS THIS A RESUBMITTAL?: Yes No

DATE SUBMITTED: _____ By: _____

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____



- EROSION CONTROL NOTES:**
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
 2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
 3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
 4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
 5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.



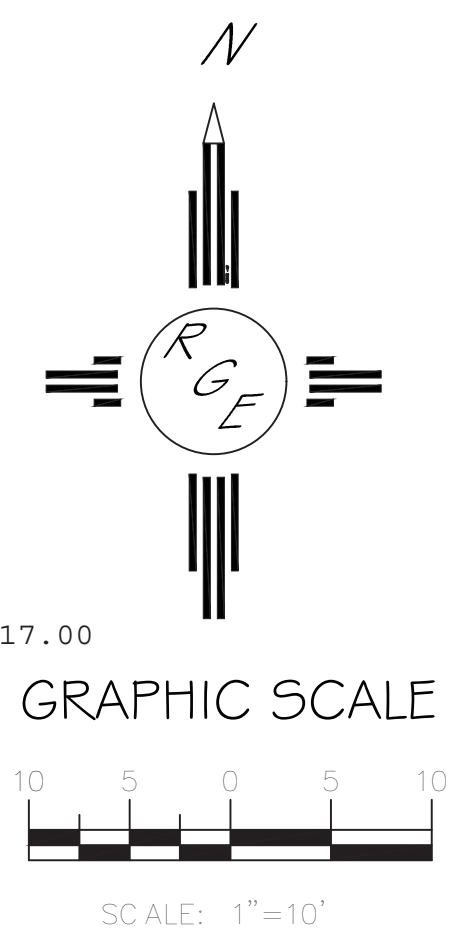
LEGAL DESCRIPTION:
 LOT 7, BLOCK 11, UNIT 5 VOLCANO CLIFFS UNIT 5

NOTES:

1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
2. TOPOGRAPHIC SURVEY INFORMATION SHOWN ON THIS PLAN WAS OBTAINED BY CONSTRUCTION SURVEY TECHNOLOGIES, DAVID ACOSTA PLS 21081, SEPTEMBER 2015

LEGEND

- - - - -5411- - - - - EXISTING CONTOUR
- - - - -5410- - - - - EXISTING INDEX CONTOUR
- - - - -5411- - - - - PROPOSED CONTOUR
- - - - -5410- - - - - PROPOSED INDEX CONTOUR
- FLOW DIRECTION-SWALE
- PROPOSED SPOT (FLOW-LINE)



Weighted E Method
 LUNA RESIDENCE

Basin	Area (ac)	Treatment				100-Year 6-hr		10-day				
		Area (ac)	%	Area (ac)	%	Volume (ac-ft)	Flow (cfs)	Volume (ac-ft)	Flow (cfs)			
PROPOSED	16062	0.369	2.3%	0.259	24.0%	0.088	22.0%	0.142	1.198	0.037	1.10	0.255
EXISTING	16062	0.369	2.3%	0.259	24.0%	0.088	22.0%	0.142	1.198	0.037	1.10	0.255
ALLOWED PER DMP	16062	0.369	2.3%	0.259	24.0%	0.088	22.0%	0.142	1.198	0.037	1.10	0.255

Equations:
 Weighted E = E_aA_a + E_bA_b + E_cA_c + E_dA_d / (Total Area)
 Volume = Weighted E * Total Area
 Flow = Q_a * A_a + Q_b * A_b + Q_c * A_c + Q_d * A_d

Where for 100-year, 6-hour storm (zone 1):
 E_a = 0.44
 E_b = 0.87
 E_c = 0.99
 E_d = 1.97

Q_a = 1.29
 Q_b = 2.03
 Q_c = 3.87
 Q_d = 4.37

FLOW SUMMARY
 FLOW IN EXCESS OF ALLOWED WATER HARVEST REQUIREMENT PONDING PROVIDED: 0.05 CFS
 172.93 CUBICFEET
 380 CFS

	LOT 7, BLOCK 11 UNIT 5 VOLCANO CLIFFS SUBDIVISION	DRAWN BY JDG
	GRADING AND DRAINAGE PLAN	DATE 09-11-2016
	1606 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0999	SHEET # 1 OF 1
		JOB #

SITE IS LOCATED WITHIN THE BOUNDARIES OF THE DRAINAGE PLAN FOR THE SAD 227 (D-10) THE LOT IS LOCATED ADJACENT TO AN EXISTING DRAINAGE EASEMENT THE SITE GRADING PLAN WILL ALLOW THE UPLAND FLOW TO PASS THRU THE SITE AND DRAIN THE REAR PORTION TO THE EASEMENT AND THE FRONT TO THE STREET. THE DISCHARGES ARE GREATER THAN ALLOWED, YET THE INCREASE IN PONDING VOLUME WILL REDUCE THE PEAK FLOW TO BE SIMILAR TO ALLOWED.