



Mayor Timothy M. Keller

March 21, 2022

James Lopez, P.E.
Wilson & Company
4900 Lang Ave NE
Rio Rancho, New Mexico 87109

RE: **SAD 227 lot 6-A Block 12, Volcano Cliffs Unit 5**
6520 Jade Dr. NW
Grading and Drainage Plan
Engineers Stamp Date 8/17/2017 (E10D032)
Rev. Grading Plan Date: 3/30/2022

Mr. Lopez,

PO Box 1293

Based upon the information provided in your submittal received 3/30/2022, this revised plan is approved for Grading Permit. Please attach a copy of this approved plan to the construction sets in the permitting process prior to sign-off by Hydrology.

Albuquerque

Make sure the contractor and owner know not to use dirt as a ramp to climb the street curb, either use lumber or crusher fines for this purpose.

NM 87103

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

www.cabq.gov

If you have any questions, please contact me at 924-3986 or Rudy Rael at 924-3977.

Sincerely,

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

Drainage Report Update 3/16/2022

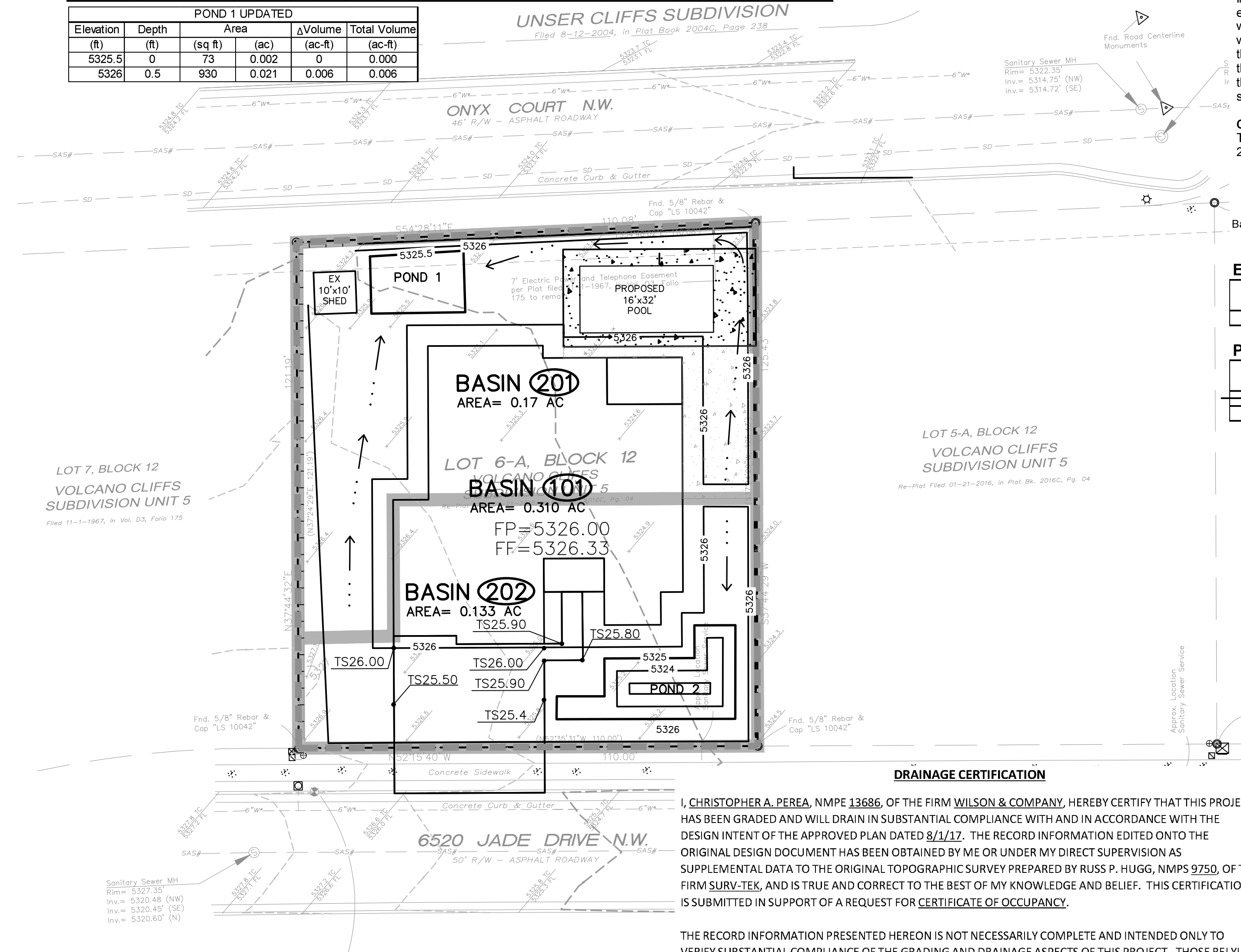
Proposed Conditions

Improvements to Lot 6-A includes improvements to basin 201. A new pool and concrete deck will be constructed in the rear of the residence. A 10'x10' storage shed at the northeast corner and concrete patio to the south of the house have previously been installed. The pool, deck, shed, and patio slab have been included in the updated calculations. The existing pond 1 will be removed and a new pond will be installed at the gate at the northeast corner of the site. This pond will have an overflow to allow excess runoff to discharge through the back gate. Basin 202 will remain the same as the initial condition in the drainage report dated 8/17/17.

Proposed Conditions

Basin	Total Area	A	B	C	D	Peak Discharge, Q	Excess Precip. (Weighted)	Volume (6 _{hr} , acre-ft)	Volume (24 _{hr} , acre-ft)	Volume (10 _{day} , acre-ft)
201	0.179	0	0.00	0	0.00	49	0.09	51	0.09	0.7
202	0.133	0	0.00	0	0.00	45	0.06	55	0.07	0.5

Elevation (ft)	Depth (ft)	Area (sq ft)	Area (ac)	ΔVolume (ac-ft)	Total Volume (ac-ft)
5325.5	0	73	0.002	0	0.000
5326	0.5	930	0.021	0.006	0.006

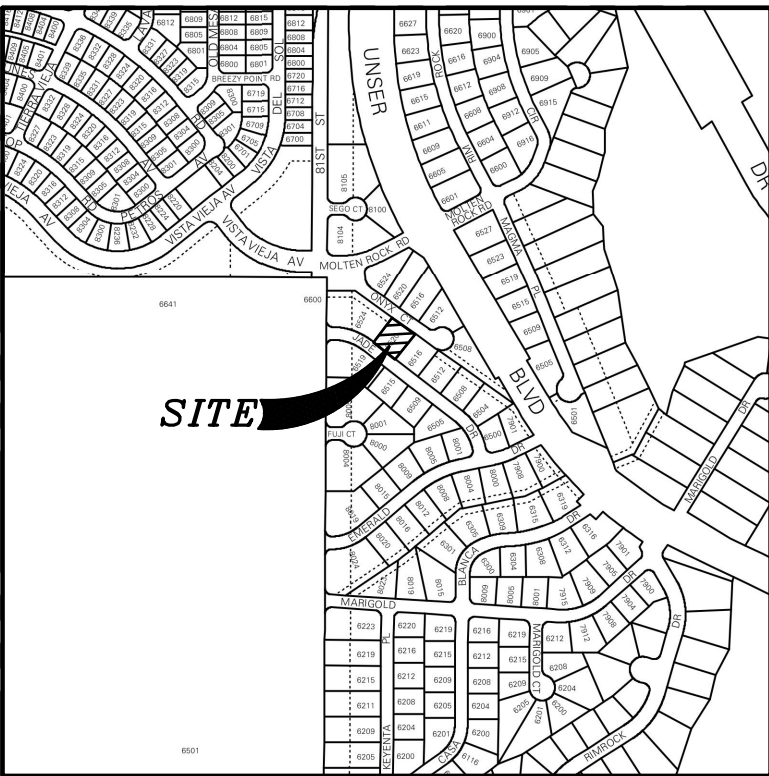


I, CHRISTOPHER A. PEREA, NMPE 13686, OF THE FIRM WILSON & COMPANY, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 8/1/17. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ME OR UNDER MY DIRECT SUPERVISION AS SUPPLEMENTAL DATA TO THE ORIGINAL TOPOGRAPHIC SURVEY PREPARED BY RUSS P. HUGG, NMPS 9750, OF THE FIRM SURV-TEK, AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY.

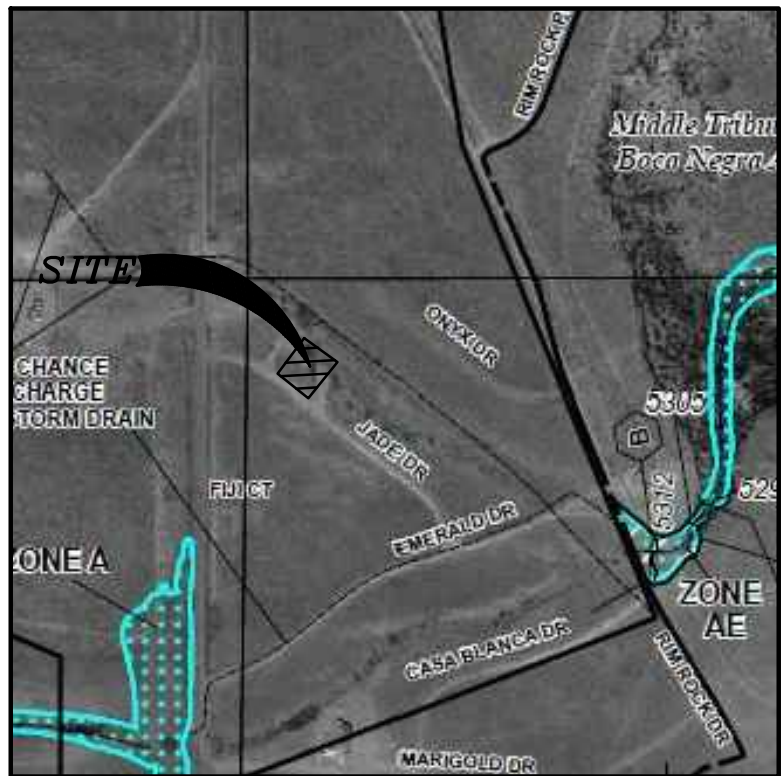
THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

CHRISTOPHER A PEREA, P.E. NM 13686

5/14/18
Date



VICINITY MAP
ZONE ATLAS MAP NO. D-10/E-10



FEMA FLOODPLAIN
FIRM #35001C011G



SOILS MAP
NRCS WEB SOIL SURVEY, BERNALILLO COUNTY

Drainage Report

Introduction

Lots 6-A shown hereon is a residential lot located on 6520 Jade Drive Albuquerque, NM. The drainage report has been prepared in accordance with the latest revision to Volume 2 Section 22.2 of the City of Albuquerque Process Manual.

Existing Conditions

The site is an undeveloped 0.31 acre lot. The site is bounded by Jade Drive to the southwest, Onyx Court to the northeast, and undeveloped residential lots to the northwest and southeast. The northwest boundary has a CMU block wall between the properties. The lot was graded when the lot was subdivided and has minimal vegetation. The runoff on this lot runs from the west corner to the east corner of the lot and continues to flow to the undeveloped lot to the southeast and eventually onto Onyx Court. The site is not located in a flood plain (see firm map #35001C011G Revised March 25, 2010). No offsite runoff contributes to the lot.

Proposed Conditions

Improvements to Lot 6-A includes a new residence being built within a 3,890 square foot building envelope. The building envelope, driveway, and sidewalk have a total land treatment D area of 5325 square feet. The majority of onsite runoff will now flow from northeast to southwest. The lot will have a series of small retention ponds as well as a new CMU block wall which will prevent flows from discharging to the southeast lot. Two ponds will be placed along the southeast edge of the lot and will capture the runoff. In accordance with the MS4 permitting the existing detention pond will have to store the first 0.44" of rainfall. Since the site is retaining the runoff the MS4 requirements are being met. The ponds will have the capacity to hold the 10- day event. Based on NRCS soil survey data, the Madurez-Wink association gently sloping soil at the site are deep and well-drained, which will increase infiltration and reduce ponding time.

Calculations

The Calculations shown below represent the flows for a 100-year 6-hour design event. The hydrology is per the "Section 22.2 of the Development Process Manual for the City of Albuquerque, New Mexico, latest revision.

Basin Data: COA Zone: 1
Precip, in: 2.2

Existing Conditions

Basin	Total Area (Ac)	A	B	C	D	Peak Discharge, Q	Excess Precip. (Weighted)	Volume (6 _{hr} , acre-ft)	Volume (24 _{hr} , acre-ft)	Volume (10 _{day} , acre-ft)
101	0.310	0	0	0	100	0.31	0	0.00	0.9	0.99

Proposed Conditions

Basin	Total Area (Ac)	A	B	C	D	Peak Discharge, Q	Excess Precip. (Weighted)	Volume (6 _{hr} , acre-ft)	Volume (24 _{hr} , acre-ft)	Volume (10 _{day} , acre-ft)
201	0.179	0	0.00	0	0.00	72	0.13	20	0.05	0.6
202	0.133	0	0.00	0	0.00	45	0.06	55	0.07	0.5

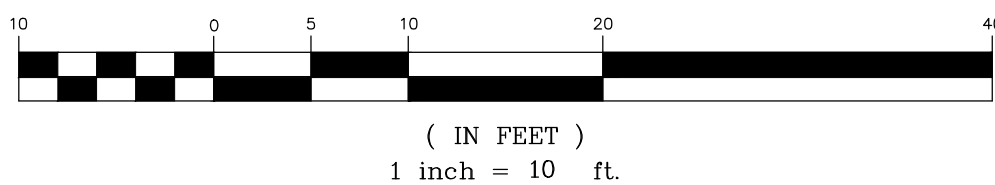
Elevation (ft)	Depth (ft)	Area (sq ft)	Area (ac)	ΔVolume (ac-ft)	Total Volume (ac-ft)
5326	0	78	0.002	0	0.000
5327	1	279	0.006	0.004	0.004
5328	2	610	0.014	0.010	0.014
5329	3	1425	0.033	0.023	0.033

Elevation (ft)	Depth (ft)	Area (sq ft)	Area (ac)	ΔVolume (ac-ft)	Total Volume (ac-ft)
5326	0	50	0.001	0	0.000
5327	1	247	0.006	0.003	0.003
5328	2	534	0.012	0.009	0.012
5329	3	1145	0.026	0.019	0.032

LEGEND

- PROPOSED INTERMEDIATE CONTOUR
- PROPOSED INDEX CONTOUR
- EXISTING INTERMEDIATE CONTOUR
- EXISTING INDEX CONTOUR
- EXISTING PROPERTY LINE
- FINISHED FLOOR
- FINISHED PAD
- TOP OF SIDEWALK
- EXISTING BASIN
- PROPOSED BASIN
- DIRECTION OF FLOW
- PROPOSED CMU BLOCK WALL

GRAPHIC SCALE



- NOTES:
- GRADING ACTIVITIES ON ADJACENT PROPERTIES OR RIGHT-OF-WAY WITHOUT WRITTEN PERMISSION FROM THE OWNER IS NOT PERMITTED.
 - UNPROTECTED SLOPES SHALL BE NO STEEPER THAN 4H:1V PER CORR CODE. IF THERE IS SUFFICIENT SLOPE PROTECTION (I.E. PLANTINGS, ROCK COVER, SHOTCRETE/CONCRETE) SLOPES MAY BE NO STEEPER THAN 3H:1V.
 - A SEPARATE WALL PERMIT MUST BE OBTAINED FROM CORR BUILDING DEPARTMENT.
 - POND SLOPES SHALL BE TREATED FOR SLOPE PROTECTION, USE XERISCAPE TREATMENT.

AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	NO.	DATE	NO.	DATE	NO.	DATE
INSPECTOR	DATE	NO.	DATE	NO.	DATE	NO.	DATE
ADJUSTED BY	DATE	NO.	DATE	NO.	DATE	NO.	DATE
VERIFICATION BY	DATE	NO.	DATE	NO.	DATE	NO.	DATE
DESIGNED BY	DATE	NO.	DATE	NO.	DATE	NO.	DATE
RECORDED BY	DATE	NO.	DATE	NO.	DATE	NO.	DATE

BENCH MARK
LOT 6-A, BLOCK 12

PK NAIL WITH ALUMINUM DISK
STAMPED "SURV-TEK-CONTROL"
Y=1513575.28, X=1497832.75,
ELEV=5327.25'

LEGAL DESCRIPTION

LOT NUMBERED SIX-A (6-A) IN BLOCK
NUMBERED TWELVE (12), VOLCANO CLIFFS UNIT
5, A SUBDIVISION OF A TRACT OF LAND
SITUATE IN SECTION 27, TOWNSHIP 11 NORTH,
RANGE 2 EAST, N.M.P.M., BERNALILLO COUNTY,
NEW MEXICO, AS THE SAME ARE SHOWN AND
DESIGNATED ON THE PLAT THEREOF, FILED IN
THE OFFICE OF THE COUNTY CLERK OF
BERNALILLO COUNTY, NEW MEXICO ON
NOVEMBER 1, 1967, IN VOLUME D3, FOLIO 175.

CITY OF ALBUQUERQUE
MUNICIPAL DEVELOPMENT DEPARTMENT
ENGINEERING DEVELOPMENT DIVISION

TITLE:
6520 JADE DRIVE NW
GRADING & DRAINAGE PLAN
UPDATED GRADING FOR POOL ADDITION

Design Review Committee City Engineer Approval

Mo./Day/Yr.	Mo./Day/Yr.

City Project No. — Zone Map No. D10/E10 Sheet 1 Of 1