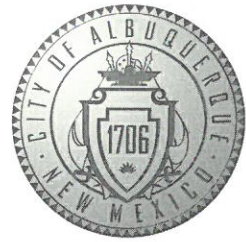


CITY OF ALBUQUERQUE

Planning Department
Suzanne Lubar, Director



Mayor Richard J. Berry

September 11, 2017

Reza Afaghpour, PE
SBS Construction and Engineering, LLC
10209 Snowflake Ct NW
Albuquerque, NM 87114

**Re: Lots 12 & 13 Block 6 Unit 5 Volcano Cliffs SAD 227
8009 & 8015 Victoria Dr. NW
Grading & Drainage Plan
Engineer's Stamp dated: 8-27-17 (E10D037)**

Dear Mr. Afaghpour,

Based upon the information provided in your submittal received 9/5/2017, this plan cannot be approved for Building Permit until the following comments are addressed.

- Provide direction of roof flows. If flows are toward the front, how will these flows enter the ponding areas?
- Separate this one submittal into two submittals.
- Impervious area should be at 32%, or provide extra retainage for the larger area.
- Provide a table showing area's in percentage and in square feet.
- Provide how flows will cross the driveway and enter into the front yard pond.
- A pad certificate is required before a building permit is issued.
- Provide a statement on the plans that a separate permit is required for any retaining walls or garden walls.
- The weep holes are required to be 3" above grade.

If you have any questions, you can contact me at 924-3695 or Rudy Rael at 924-3977.

Sincerely,

James D. Hughes, P.E.
Principal Engineer
Planning Department

RR/JDH

C: email



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 10/2015)

Project Title: Lots 12 and 13, Blk 6, Volcano Cliffs Sub, Unit 5 Building Permit #: _____ Hydrology File #: _____

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: Lots 12 and 13, Block 6, Volcano Cliffs Subdivision, Unit 5

City Address: 8009 Victoria Dr. NW and 8015 Victoria Dr. NW

Applicant: SBS CONSTRUCTION AND ENGINEERING, LLC Contact: SHAWN BIAZAR

Address: 10209 SNOWFLAKE CT., NW, ALBUQUERQUE, NM 87114

Phone#: (505) 804-5013 Fax#: (505) 897-4996 E-mail: AECLLC@AOL.COM

Other Contact: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Check all that Apply:

DEPARTMENT:

- ☒ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION

☐ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR

☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)

☐ OTHER (SPECIFY) _____

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY

☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL

☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☒ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR

PRE-DESIGN MEETING?

_____ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

DATE SUBMITTED: 8-28-2017 By: SHAWN BIAZAR

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____

Location
Lots 12 and 13, Block 6, Volcano Cliffs Subdivision, Unit 5 are located at 8009 Victoria Dr. NW and 8015 Victoria Dr. NW containing 0.303 acre and 0.284 acres. See attached portion of Vicinity Map E-10-2 for exact location.

Purpose
The purpose of this drainage report is to present a grading and drainage solution for new buildings and improvements for both Lots 12 and 13.

Existing Drainage Conditions
This is a preliminary drainage plan for SJD 227. Both lots drain north and west. Minor office runoff enters Lot 12 from the south. No other office flows enter this site.

Proposed Conditions and On-Site Drainage Management Plan

Most of the runoff under the developed conditions will drain to the front to Victoria Dr. NW, some runoff will drain to the back and out north and west through some unimproved blocks. There are first flush ponds located at both the front and back of Lots 12 and 13 at discharge points. First flush volume requirement for Lot 12 is 157.12 cf and total volume provided is ponds A and B) is 491.00 cf. First flush volume requirement for Lot 13 is 134.76 cf and total volume (ponds C and D) is 324.00 cf.

FLOW & 1ST FLUSH CALCULATIONS

$E = E(AA) + E(AB) + E(AC) + E(AD)$

$AA + AB + AC + AD$

$V-360 = E(AA + AB + AC + AD)$

$Q-360 = Q(AA) + Q(AB) + Q(AC) + Q(AD)$

$V-10 Day = V-360 - AD (P-10 Day - P-360) / 12 \text{ in/h}$

$EA = 0.44 QA + 1.29 EB + 0.67 EB + 2.03 EC + 0.99 QC + 2.87 ED + 1.97 OD = 4.37$

DRAINAGE BASIN:

LOT 12 AREA = 13,208.40 (SF) = 0.3032 (AC)
LOT 13 AREA = 12,415.89 (SF) = 0.2848 (AC)

LAND TREATMENT:

ALLOWABLE	PROPOSED	ROPOSED
PER SJD 227	LOT 12	LOT 13
AA = 0.00%	0.00%	0.00%
AB = 10.00%	29.00%	28.00%
AC = 40.00%	29.00%	28.00%
AD = 50.00%	42.00%	44.00%

LOT 12
Q = 1.07 CFS (ALLOWABLE)
Q = 0.99 CFS (PROPOSED)
V (1ST FLUSH REQUIRED) = 157.18 CF
V (PROVIDED) = 491.00 CF

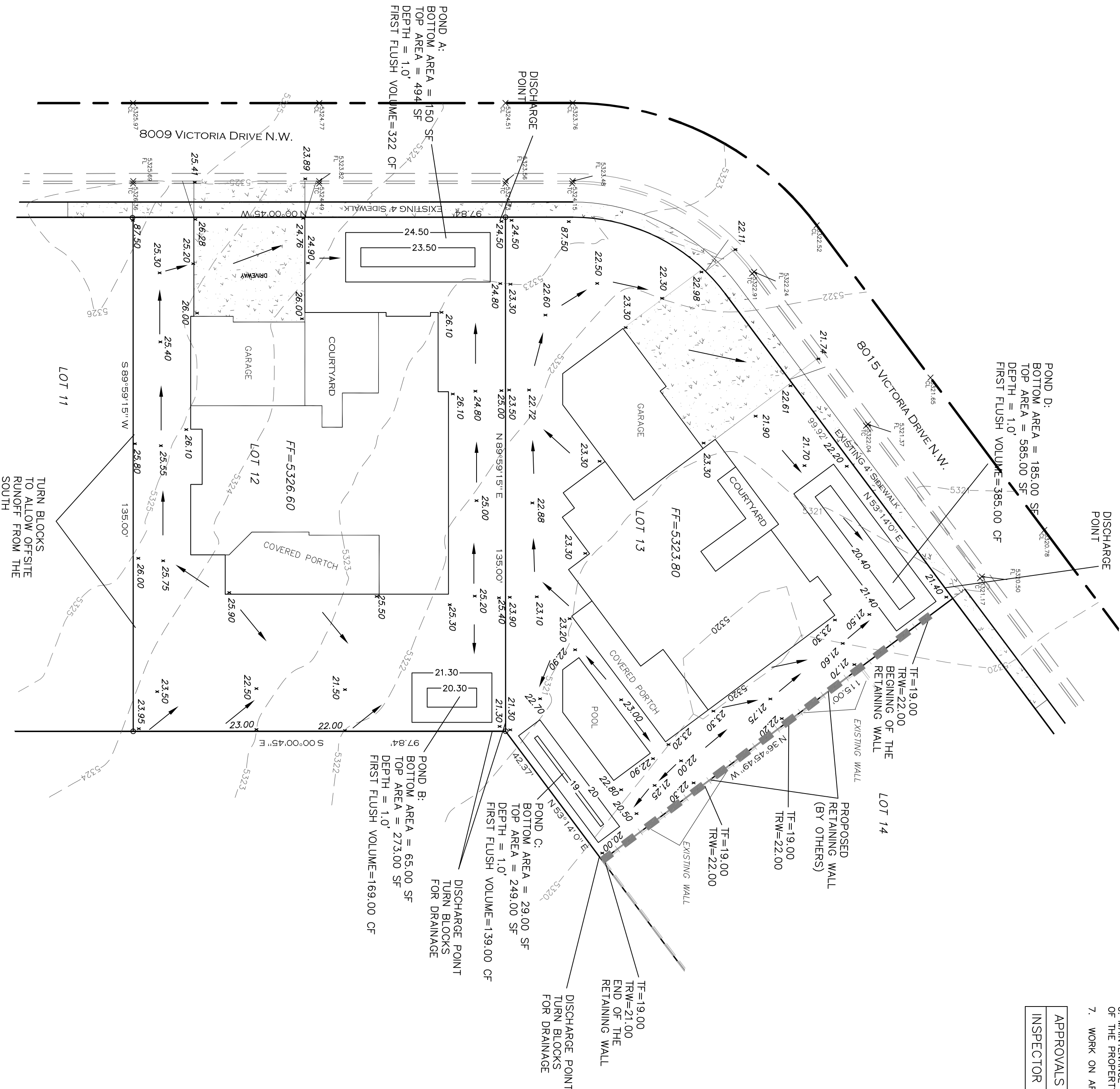
LOT 13
Q = 1.07 CFS (ALLOWABLE)
Q = 0.99 CFS (PROPOSED)
V (1ST FLUSH REQUIRED) = 157.18 CF
V (PROVIDED) = 524.00 CF

**EROSION CONTROL PLAN
AND POLLUTION PREVENTION NOTES**

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
3. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUNOFF ON SITE.
4. REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT FROM ALL EXPOSED EARTH SURFACES MUST BE THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.

GENERAL NOTES:

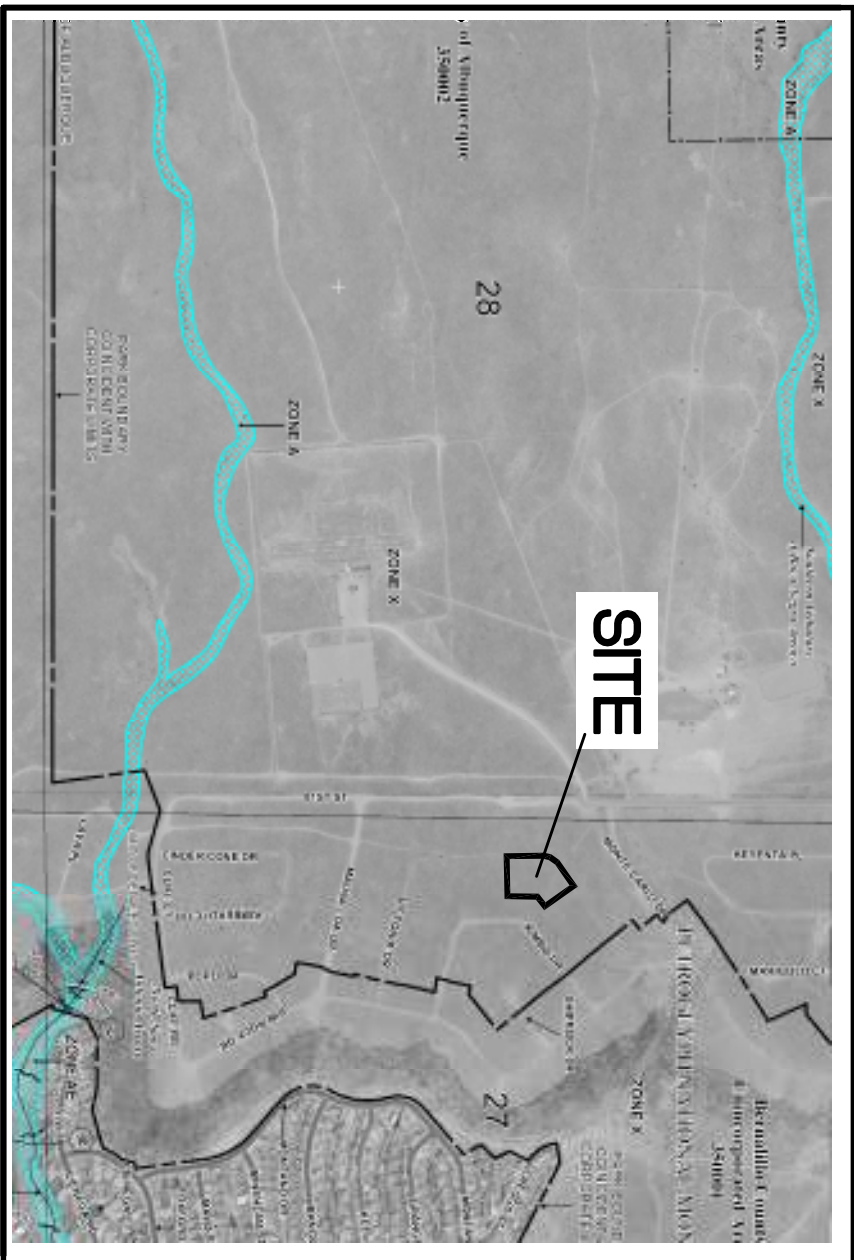
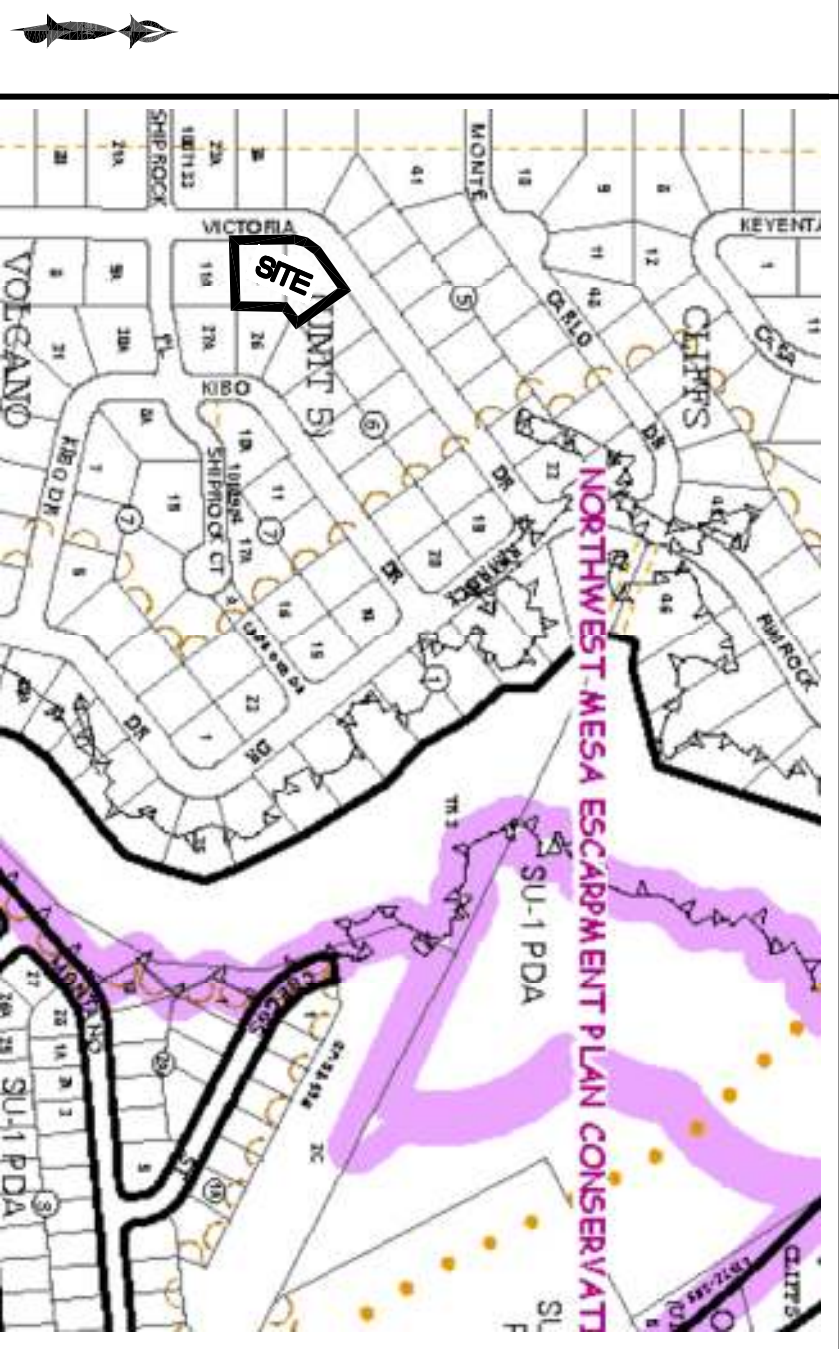
1. CONTOUR INTERVAL IS HALF (1/2) FOOT
2. ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE CONTROL STATION CAL. SAT. A, HAVING AN ELEVATION OF 5329.531, FEET ABOVE SEA LEVEL.
3. UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ON INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/ OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.
4. THIS IS NOT A BOUNDARY SURVEY, BEARINGS ARE ASSUMED, DISTANCES AND FOUND PROPERTY CORNERS ARE FOR INFORMATIONAL PURPOSES ONLY.
5. SLOPES ARE AT 3:1 MAXIMUM.
6. ADD 5300 TO ALL PROPOSED SPOT ELEVATIONS.



NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1983.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT THE CITY OF ALBUQUERQUE FOR LOCATING SERVICES, 289-1980 OR 811, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVALS	NAME	DATE
INSPECTOR		



FIRM MAP:

LEGAL DESCRIPTION:

Lots 12 and 13, Block 6, Volcano Cliffs Subdivision, Unit 5

ADDRESS: 8009 Victoria Dr. NW and 8015 Victoria Dr. NW

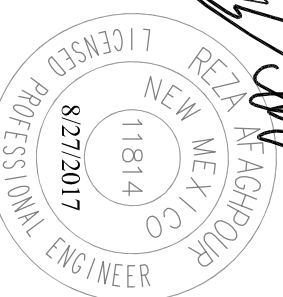
LEGEND

- 5030--- EXISTING CONTOUR (MAJOR)
- 5029--- EXISTING CONTOUR (MINOR)
- BOUNDARY LINE
- X 28.50 PROPOSED SPOT ELEVATION
- X 5029.16 EXISTING GRADE
- X 5075.65 EXISTING FLOWLINE ELEVATION
- FL
- █ PROPOSED RETAINING WALL
- BC=89.08 BOTTOM OF CHANEL
- TF=28.50 TOP OF FOOTING
- TRW=28.00 TOP OF RETAINING WALL
- HP HIGH POINT
- AS-BUILT GRADES
- AS-BUILT SPOT ELEVATIONS

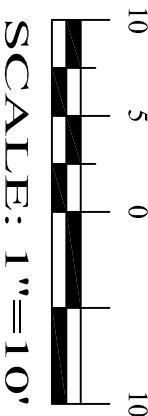
**SBS CONSTRUCTION
AND ENGINEERING, LLC**

1020 SNOOWFLAKE CT. NW
ALBUQUERQUE, NEW MEXICO 87114
(505)925-2570

REZA AVANCHOURE
P.E. #11814



GRAPHIC SCALE



Lots 12 and 13, Block 6 Volcano Cliffs Subdivision, Unit 5 GRADING PLAN			
DRAWING:	DRAWN BY:	DATE:	SHEET #
201702-GD-DWG	SH-B	8/27/2017	1