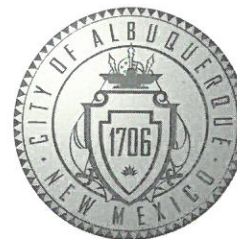


CITY OF ALBUQUERQUE

Planning Department
Suzanne Lubar, Director



Mayor Richard J. Berry

September 18, 2017

Reza Afaghpour, PE
SBS Construction and Engineering, LLC
10209 Snowflake Ct NW
Albuquerque, NM 87114

**Re: Lot 12 Block 6 Volcano Cliffs Unit 5
8009 Victoria Dr. NW
Grading & Drainage Plan
Engineer's Stamp dated: 9-12-17 (E10D037)**

Dear Mr. Afaghpour,

Based upon the information provided in your submittal received 9/14/2017, this plan is approved for Grading Permit.

Please inform the builder/owner to attach a copy of this approved plan to the construction sets in the permitting process prior to sign-off by Hydrology.

Reiterate to the Owner/Contractor that a separate permit for a garden/retaining wall must be obtained, with the approved G&D plan dated 9/12/17.

Prior to Building permit approval a Pad Certification will be required, provided by the Engineer with pad cert language or a registered Land Surveyor with as build spot elevations.

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If you have any questions, you can contact me at 924-3695 or Rudy Rael at 924-3698.

Sincerely,

James D. Hughes, P.E.
Principal Engineer
Planning Department

RR/JDH
C: email

Location
Lots 12, Block 6, Volcano Cliffs Subdivision, Unit 5 are located at 8009 Victoria Dr. NW containing 0.303 acres. See attached portion of Vicinity Map E-10-Z for exact location.

Purpose
The purpose of this drainage report is to present a grading and drainage solution for new buildings and improvements for both Lots 12.

Existing Drainage Conditions
The proposed drainage plan for S&D 227. Both lots drain north and east. Offsite runoff enters Lot 12 from the south. No other offsite flows enter this site.

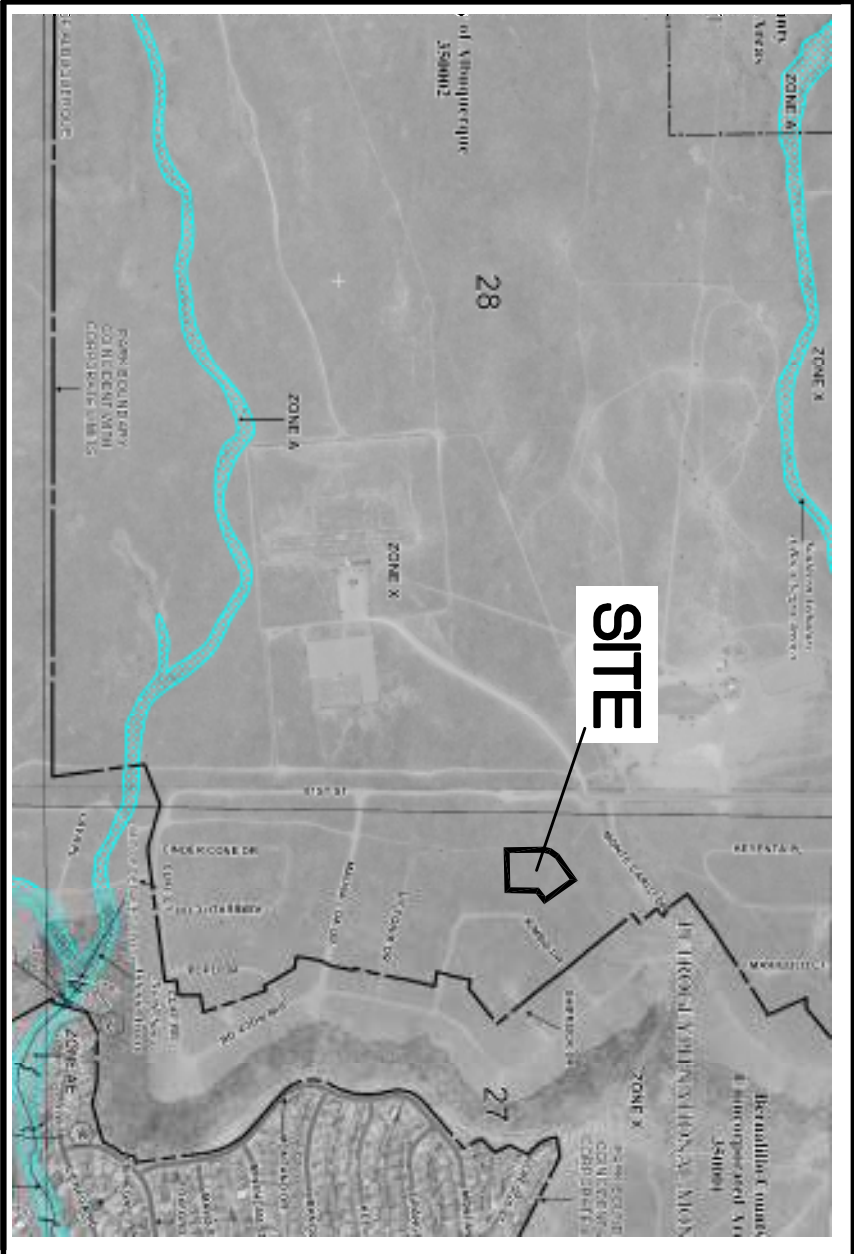
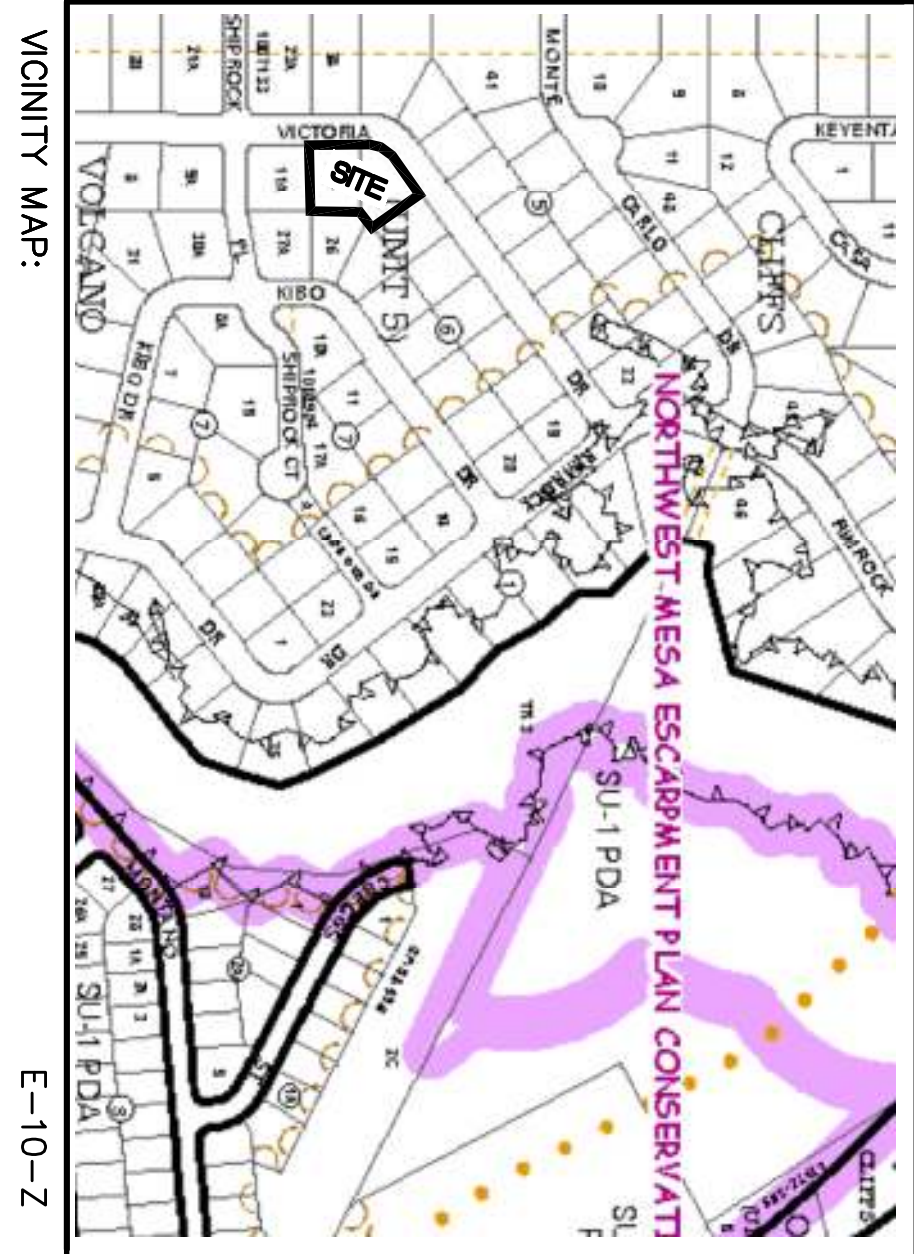
Proposed Conditions and On-Site Drainage Management Plan

Most of the runoff under the developed conditions will drain to the front to Victoria Dr. NW, some runoff will drain to the back and out north and west through some turned blocks. There are first flush ponds located at both the front and back of Lot 12 at discharge points. First flush volume requirement for Lot 12 is 1571.12 cf and total volume provided is (ponds A and B) is 652.00 cf.

- EROSION CONTROL PLAN AND POLLUTION PREVENTION NOTES**
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
 2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
 3. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUNOFF ON SITE.
 4. REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.

- NOTICE TO CONTRACTORS**
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
 2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1983.
 3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT THE CITY OF ALBUQUERQUE FOR LOCATING SERVICES, 289-1980 OR 811, FOR LOCATION OF EXISTING UTILITIES.
 4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
 5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
 6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
 7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVALS	NAME	DATE
INSPECTOR		



LEGAL DESCRIPTION:
Lots 12, Block 6, Volcano Cliffs Subdivision, Unit 5

ADDRESS: 8009 Victoria Dr. NW

FLOW, 1ST FLUSH, 100 YEAR-DAY VOLUME CALCULATIONS

$E = EA(AA) \pm ER(AB) - EC(AC) + ED(AD)$

$AA + AB + AC + AD$

$V-360 = E (AA + AB + AC + AD)$

$Q-360 = QA(AA) + QB(AB) + QC(AC) + QD(AD)$

$V-10 Day = V-360 + AD (P-10 Day - P-360) / 12 mo$

$EA = 0.44 QA + 1.29 EB + 0.67 EC + 0.99 QC + 2.87 ED + 1.97 OD = 4.37$

DRAINAGE BASIN:

$LOT 12 AREA = 13,308.40 (SF) = 0.30322 (AC)$

$LOT 13 AREA = 12,415.69 (SF) = 0.28486 (AC)$

LAND TREATMENT:

ALLOWABLE

PROPOSED

$AA = 12.00\%$

$AB = 15.00\%$

$AC = 39.00\%$

$AD = 34.00\%$

$Q = 0.93 CFS (ALLOWABLE)$

$Q = 0.99 CFS (PROPOSED)$

$V-10 DAY PROPOSED = 1,571.12 CF$

$V-10 DAY PROPOSED = 1,571.12 CF$

$V-10 DAY REQUIRED = 2,021.17 - 1,881.10 = 239.07 CF$

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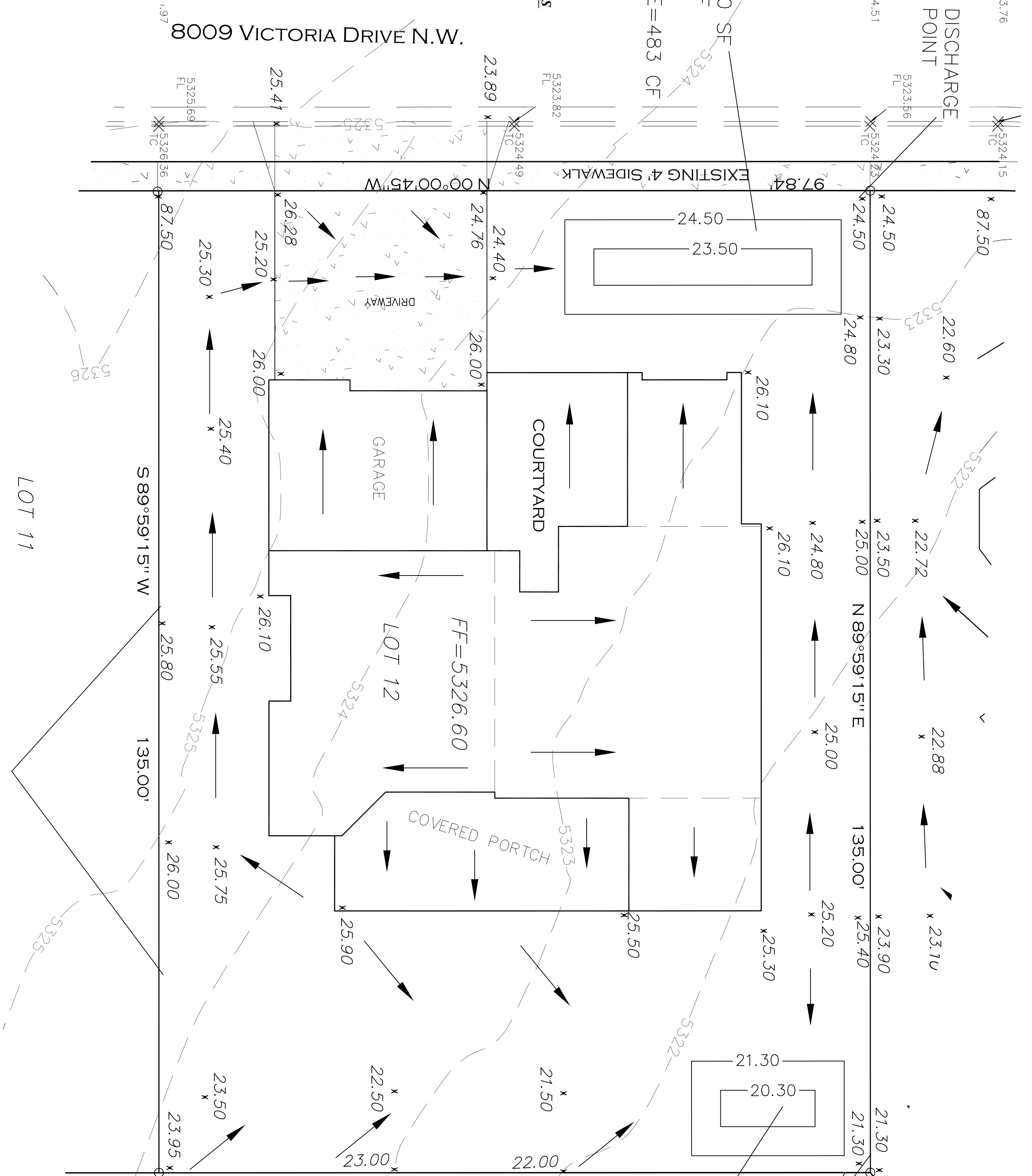
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$V-10 DAY REQUIRED = 2,021.17 - 1,881.10 = 239.07 CF$



POND B:
BOTTOM AREA = 65.00 SF
TOP AREA = 273.00 SF
DEPTH = 1.0'
FIRST FLUSH VOLUME=169.00 CF

DISCHARGE POINT
TURN BLOCKS
FOR DRAINAGE

TURN BLOCKS
TO ALLOW OFFSITE
RUNOFF FROM THE
SOUTH

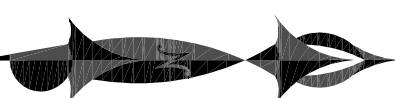
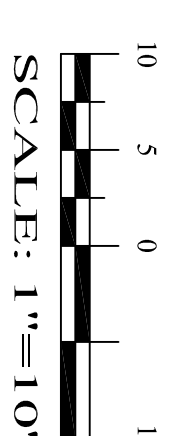
LOT 11

LOT 12

RETAINING WALL/GARDEN WALL NOTES

- 1) WEED HOLES ARE REQUIRED TO BE 3" ABOVE GRADE
- 2) A SEPARATE PERMIT IS REQUIRED FOR ANY RETAINING WALLS OR GARDEN WALLS

GRAPHIC SCALE



REZA AVAGHPOUR
REGISTERED PROFESSIONAL ENGINEER
NEW MEXICO
11814
9122017

SBS CONSTRUCTION
AND ENGINEERING, LLC

10209 SNOOWY LAKE CT. NW
ALBUQUERQUE, NEW MEXICO 87114
(505) 925-5570

Lots 12, Block 6
Volcano Cliffs Subdivision, Unit 5
GRADING PLAN

DRAWING:	DRAWN BY:	DATE:	SHEET #
201702-GD-DWG	SH-B	8/27/2017	1



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 10/2015)

Project Title: Lots 12 and 13, Blk 6, Volcano Cliffs Sub, Unit 5 Building Permit #: _____ Hydrology File #: E10D037

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: Lots 12 and 13, Block 6, Volcano Cliffs Subdivision, Unit 5

City Address: 8009 Victoria Dr. NW and 8015 Victoria Dr. NW

Applicant: SBS CONSTRUCTION AND ENGINEERING, LLC Contact: SHAWN BIAZAR

Address: 10209 SNOWFLAKE CT., NW, ALBUQUERQUE, NM 87114

Phone#: (505) 804-5013 Fax#: (505) 897-4996 E-mail: AECLLC@AOL.COM

Other Contact: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Check all that Apply:

DEPARTMENT:

- ☒ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
☐ OTHER (SPECIFY) _____

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☒ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR

PRE-DESIGN MEETING?

_____ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☒ Yes ☐ No

DATE SUBMITTED: 9-13-2017 By: SHAWN BIAZAR

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____