

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

January 22, 2020

Reza Afaghpour, PE
SBS Construction and Engineering, LLC
10209 Snowflake Ct NW
Albuquerque, NM 87114

**Re: Lot 13 Block 6 Volcano Cliffs Unit 5
8015 Victoria Dr. NW
Grading & Drainage Plan
Engineer's Stamp dated: 11-20-19 (E10D038)**

Dear Mr. Afaghpour,

Based upon the information provided in your submittal received 1/22/20, this plan is approved for Building Permit. **Inform the owner/contractor not to use dirt as a ramp to climb the curb, wood or millings may be used for this operation.**

PO Box 1293

Please inform the builder/owner to attach a copy of this approved plan to the construction sets in the permitting process prior to sign-off by Hydrology.

Albuquerque

Reiterate to the Owner/Contractor that a separate permit for a garden/retaining wall must be obtained, with the approved G&D plan dated 11/20/20.

NM 87103

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

www.cabq.gov

If you have any questions, you can contact me at 924-3986 or Rudy Rael at 924-3698.

Sincerely,

Ernest Armijo, P.E.
Principal Engineer
Planning Department

RR/EA
C: email



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: Lot 13, Block 6, Volcano Cliffs Sub., unit 5 **Building Permit #:** _____ **Hydrology File #:** E10D037
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: LOT 13, BLOCK 6, VOCANO CLIFFS SUBDIVISION, UNIT 5
City Address: 8015 VICTORIA DRIVE, NW

Applicant: SBS CONSTRUCTION AND ENGINEERING, LLC **Contact:** SHAWN BIAZAR
Address: 10209 SNOWFLAKE CT., NW, ALBUQUERQUE, NM 87114
Phone#: (505) 804-5013 **Fax#:** (505) 897-4996 **E-mail:** AECLLC@AOL.COM

Other Contact: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) RESIDENCE _____ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL? Yes _____ No

DEPARTMENT _____ TRANSPORTATION HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ENGINEER/ARCHITECT CERTIFICATION
- PAD CERTIFICATION
- CONCEPTUAL G & D PLAN
- GRADING PLAN
- DRAINAGE REPORT
- DRAINAGE MASTER PLAN
- FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ELEVATION CERTIFICATE
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- TRAFFIC IMPACT STUDY (TIS)
- STREET LIGHT LAYOUT
- OTHER (SPECIFY) _____
- PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY
- PRELIMINARY PLAT APPROVAL
- SITE PLAN FOR SUB'D APPROVAL
- SITE PLAN FOR BLDG. PERMIT APPROVAL
- FINAL PLAT APPROVAL
- SIA/ RELEASE OF FINANCIAL GUARANTEE
- FOUNDATION PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- SO-19 APPROVAL
- PAVING PERMIT APPROVAL
- GRADING/ PAD CERTIFICATION
- WORK ORDER APPROVAL
- CLOMR/LOMR
- FLOODPLAIN DEVELOPMENT PERMIT
- OTHER (SPECIFY) _____

DATE SUBMITTED: 11-21-2019 **By:** SHAWN BIAZAR

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

Location
Lots 13, Block 6, Volcano Cliffs Subdivision, Unit 5 are located at +8015 Victoria Dr. NW containing 0.284 acres. See attached portion of Vicinity Map E-10-Z for exact location.

Purpose
The purpose of this drainage report is to present a grading and drainage solution for new buildings and improvements for both Lot 13.

Existing Drainage Conditions
This site falls within Master Drainage Plan for SAD 227. Both lots drain north and west. Minor off-site runoff enters Lot 13 from the south. No other off-site flows enters this site.

Proposed Conditions and On-Site Drainage Management Plan
Most of the runoff under the developed conditions will drain to the front to Victoria Dr. NW. some runoff will drain to the back and out north and west through some turned blocks. There are first flush ponds located at both the front and back of Lot 13 at discharge points. First flush volume requirement for Lot 13 is 154.76 cf and the total volume provided (ponds C, D, and E) is 580.11 cf.

FLOW, 1ST FLUSH, 100 YR/10-DAY VOLUME CALCULATIONS

$$E = \frac{EA(AA) + EB(AB) + EC(AC) + ED(AD)}{AA + AB + AC + AD}$$

$$V-360 = E(AA + AB + AC + AD)$$

$$Q-360 = QA(AA) + QB(AB) + QC(AC) + QD(AD)$$

$$V-10 \text{ Day} = V-360 + AD(P-10 \text{ Day} - P-360) / 12 \text{ in/ft}$$

$$EA = 0.44 QA + 1.29 EB + 0.67 QB + 2.03 EC + 0.99 QC + 2.87 ED + 1.97 QD = 4.37$$

DRAINAGE BASIN:

LOT 12 AREA = 13,208.40 (SF) = 0.30322 (AC)
LOT 13 AREA = 12,413.69 (SF) = 0.28498 (AC)

LAND TREATMENT:

ALLOWABLE PER SAD 227	ROPOPOSED LOT 13
AA = 12.00%	0.00% (0 SF)
AB = 15.00%	28.00% (3,475.83 SF)
AC = 39.00%	28.00% (3,475.83 SF)
AD = 34.00%	44.00% (5,462.03 SF)

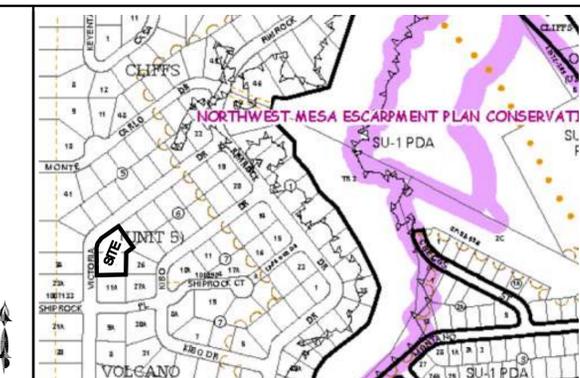
LOT 13
Q = 0.87 CFS (ALLOWABLE)
Q = 0.94 CFS (PROPOSED)
V (1ST FLUSH REQUIRED) = 154.76 CF
V-10 DAY (ALLOWABLE) = 1,767.92 CF
V-10 DAY PROPOSED = 2,046.60 CF
V-10 DAY REQUIRED = 2,046.60 - 1,767.92 = 278.69 CF
V (PROVIDED) = 716.50 CF

- NOTICE TO CONTRACTORS**
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
 2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
 3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL FOR LOCATING SERVICE, 280-1990 OR "811", FOR LOCATION OF EXISTING UTILITIES.
 4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
 5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
 6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
 7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

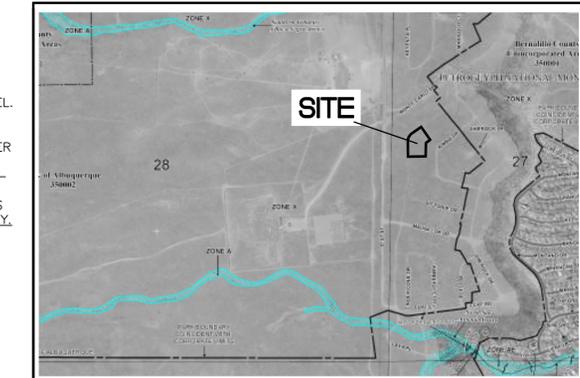
APPROVALS	NAME	DATE
INSPECTOR		

GENERAL NOTES:

1. CONTOUR INTERVAL IS HALF (1.00) FOOT.
2. ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE CONTROL STATION CAL_SAT_A, HAVING AN ELEVATION OF 5329.531 FEET ABOVE SEA LEVEL.
3. UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.
4. THIS IS NOT A BOUNDARY SURVEY, BEARINGS ARE ASSUMED, DISTANCES AND FOUND PROPERTY CORNERS ARE FOR INFORMATIONAL PURPOSES ONLY.
5. SLOPES ARE AT 3:1 MAXIMUM.
6. ADD 5300 TO ALL PROPOSED SPOT ELEVATIONS.



VICINITY MAP: E-10-Z

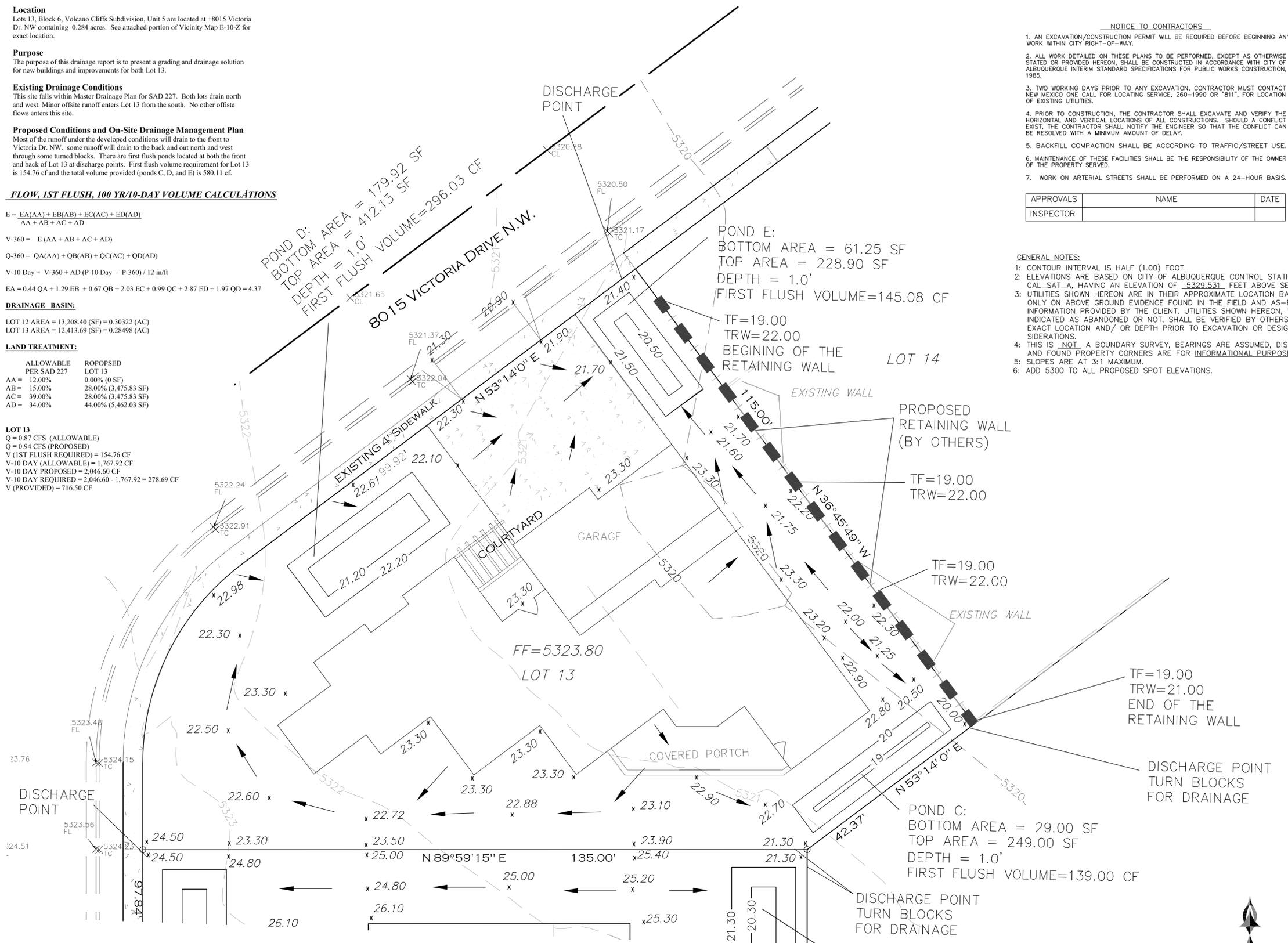


FIRM MAP: FM35001C0113G

LEGAL DESCRIPTION:
Lots 13, Block 6, Volcano Cliffs Subdivision, Unit 5
ADDRESS: 8015 Victoria Dr. NW and 8015 Victoria Dr. NW

LEGEND

---	5030	EXISTING CONTOUR (MAJOR)
---	5029	EXISTING CONTOUR (MINOR)
---		BOUNDARY LINE
x	28.50	PROPOSED SPOT ELEVATION
x	5029.16	EXISTING GRADE
x	5075.65	EXISTING FLOWLINE ELEVATION
█		PROPOSED RETAINING WALL
BC=	89.08	BOTTOM OF CHANEL
TF=	28.50	TOP OF FOOTING
TRW=	28.00	TOP OF RETAINING WALL
HP		HIGH POINT
	86.65	AS-BUILT GRADES
	85.47	AS-BUILT SPOT ELEVATIONS

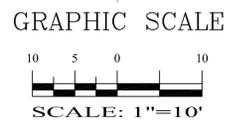


EROSION CONTROL PLAN AND POLLUTION PREVENTION NOTES

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
3. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUNOFF ON SITE.
4. REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.

RETAINING WALL/GARDEN WALL NOTES

- 1) WEEP HOLES ARE REQUIRED TO BE 3" ABOVE GRADE
- 2) A SEPARATE PERMIT IS REQUIRED FOR ANY RETAINING WALLS OR GARDEN WALLS



SBS CONSTRUCTION AND ENGINEERING, LLC

10209 SNOWFLAKE CT., NW
ALBUQUERQUE, NEW MEXICO 87114
(505)899-5570

Lots 13, Block 6 Volcano Cliffs Subdivision, Unit 5 GRADING PLAN			
DRAWING:	DRAWN BY:	DATE:	SHEET #
201702-GD.DWG	SH-B	11/20/2019	1