

CITY OF ALBUQUERQUE

Planning Department
Suzanne Lubar, Director



Mayor Richard J. Berry

October 25, 2017

David Soule, P.E.
Rio Grande Engineering
PO Box 93924
Albuquerque, New Mexico 87199

RE: **Lot 15 Block 6 Unser Cliffs Unit 2 SAD 227**
8023 Victoria NW
Grading and Drainage Plan
Engineers Stamp Date 10/18/17 (E10D040)
Pad Certification Date 10/23/17

Dear Mr. Soule,

Based upon the information provided in your submittal received 10/23/17, this plan is approved for Building Permit.

Please inform the builder/owner to attach a copy of this approved plan and this letter to the construction sets in the permitting process prior to sign-off by Hydrology.

Reiterate to the Owner/Contractor that a separate permit for a garden/retaining wall must be obtained, with the approved G&D plan dated 10/18/17.

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist of this plan will be required.

If you have any questions, please contact me at 924-3695 or Rudy Rael at 924-3977.

Sincerely,

Dana Peterson, P.E.
Senior Engineer, Hydrology
Planning Department

RR/DP
C: File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: 8023 VICTORIA nw **Building Permit #:** **City Drainage #:**
DRB#: **EPC#:** **Work Order#:**
Legal Description: lot 15 block 6 Volcano cliffs, UNIT 2
City Address: 8023 VICTORIA

Engineering Firm: RIO GRANDE ENGINEERING **Contact:** DAVID SOULE
Address: PO BOX 93924, ALBUQUERQUE, NM 87199
Phone#: 505.321.9099 **Fax#:** 505.872.0999 **E-mail:** DAVID@RIOGRANDEENGINEERING.COM

Owner: Steve Chavez **Contact:**
Address:
Phone#: **Fax#:** **E-mail:**

Architect: none **Contact:**
Address:
Phone#: **Fax#:** **E-mail:**

Other Contact: **Contact:**
Address:
Phone#: **Fax#:** **E-mail:**

Check all that Apply:

DEPARTMENT:

☒ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

☒ ENGINEER/ ARCHITECT CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☒ Yes ☐ No

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☒ GRADING/ **PAD CERTIFICATION**
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 10/23/17 **By:** _____

COA STAFF: ELECTRONIC SUBMITTAL RECEIVED: _____

Weighted E Method

								100-Year, 6-hr.		
Basin	Area (sf)	Area (acres)	Treatment A % acres	Treatment B % acres	Treatment C % acres	Treatment D % acres	Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs	
ALLOWED	11327.00	0.260	0%	0	20% 0.052	48% 0.1196	34% 0.0884	1.289	0.927	0.84
PROPOSED	11327.00	0.260	0%	0	20% 0.052	34% 0.0884	46% 0.120	1.377	0.930	0.88
COMPARISON										

Equations:

Weighted E = Ea*Aa + Eb*Ab + Ec*Ac + Ed*Ad / (Total Area)

Volume = Weighted D * Total Area

Flow = Qa * Aa + Qb * Ab + Qc * Ac + Qd * Ad

Where for 100-year, 6-hour storm- zone 1

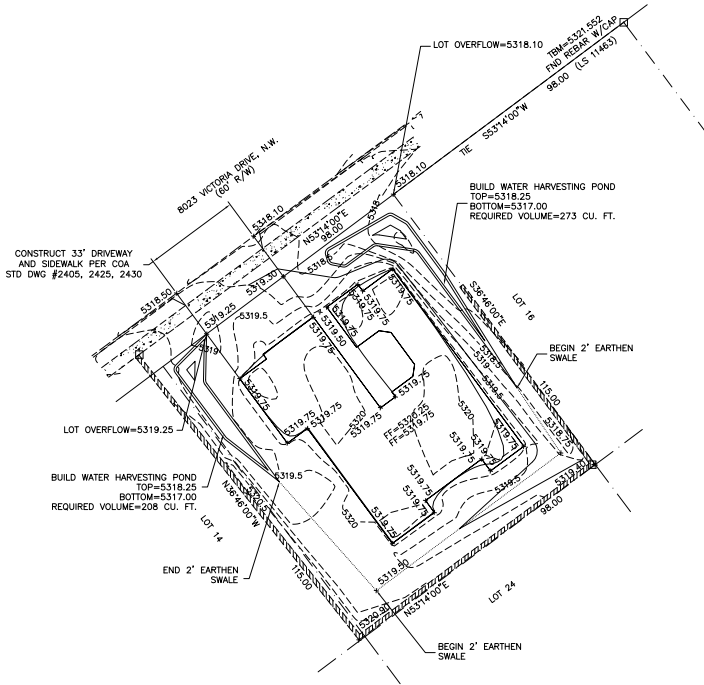
Ea= 0.44	Qa= 1.29
Eb= 0.67	Qb= 2.03
Ec= 0.99	Qc= 2.87
Ed= 1.97	Qd= 4.37

ONSITE Conditions		
FIRST FLUSH WATER QUALITY VOLUME		
	REQUIRED (CF)	PROVIDED (CF)
WATER QUALITY	148	481
FLOOD CONTROL	111	481

Narrative

This site is within the SAD 226 Master Drainage plan boundaries. The site is to maintain existing patterns and drain to the the adjacent roadway lot to east per the master drainage plan. We are ponding the water harvest volume generated by the site there is not measurable upland flow. This plan exceeds the allowed impervious area therefore we are required to retain the overage. This plan is in conformance to the master drainage plan

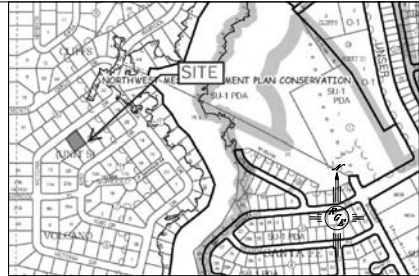
I, DAVID SOULE HAVE PERSONALLY INSPECTED THE SITE. I HEREBY CERTIFY THE PAD HAS BEEN CONSTRUCTED SUCH THAT IT IS IN SUBSTANTIAL CONFORMANCE TO THE APPROVED GRADING PLAN DATED 10/18/17



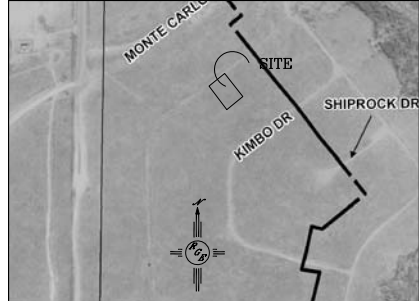
CAUTION:
EXISTING UTILITIES ARE NOT SHOWN.
IT SHALL BE THE SOLE RESPONSIBILITY
OF THE CONTRACTOR TO CONDUCT ALL
NECESSARY FIELD INVESTIGATIONS PRIOR
TO ANY EXCAVATION TO DETERMINE THE
ACTUAL LOCATION OF UTILITIES & OTHER
IMPROVEMENTS.

EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



VICINITY MAP: E-10-2



FIRM MAP: FM35001C0113G

LEGAL DESCRIPTION:

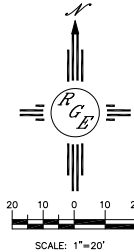
LOT 15 BLOCK 6, VOLCANO CLIFFS UNIT 5



NOTES:

1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
2. ALL SLOPES SHALL BE 3:1 MAX. AND GRAVEL OR NATIVE SEEDING PRIOR TO CO.
3. A PAD CERTIFICATION IS REQUIRED PRIOR TO RELEASE OF BUILDING PERMIT.
4. ANY ONSITE PERIMETER WALLS MUST CONFORM TO THIS PLAN. A COPY OF THIS PLAN MUST BE SUBMITTED WITH WALL PERMIT APPLICATION

LEGEND

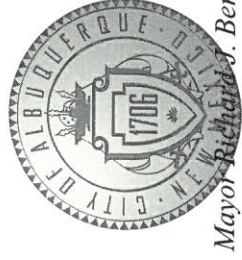
----	EXISTING CONTOUR
----	EXISTING INDEX CONTOUR
----	PROPOSED CONTOUR
----	PROPOSED INDEX CONTOUR
----	SLOPE TIE
• XXXX	EXISTING SPOT ELEVATION
• XXXX	PROPOSED SPOT ELEVATION
----	BOUNDARY
----	CENTERLINE
----	RIGHT-OF-WAY
=====	EXISTING CURB AND GUTTER
=====	PROPOSED CMU SCREEN WALL



ENGINEER'S SEAL  10/18/17 10/16/17	8023 VICTORIA DRIVE, N.W.	DRAWN BY WCMJ
	GRADING AND DRAINAGE PLAN  <i>Rio Grande Engineering</i> 1606 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0999	DATE 10-15-17
DAVID SOULE P.E. #14522		21810-LAYOUT-10-16-17
		SHEET # —
		JOB # 21810

CITY OF ALBUQUERQUE

Planning Department
Suzanne Lubar, Director



Mayor Richard J. Berry

October 18, 2017

David Soule, P.E.
Rio Grande Engineering
PO Box 93924
Albuquerque, New Mexico 87199

RE: **Lot 15 Block 6 SAD 227**
Unser Cliffs
8023 Victoria NW
Grading and Drainage Plan
Engineers Stamp Date 10/16/17 (D10D0040)

Dear Mr. Soule,

Based upon the information provided in your submittal received 10/17/17, this plan cannot be approved for Grading Permit until the following comments are addressed.

PO Box 1293

- Provide a statement on the plan stating that this grading plan must be submitted for the application of any garden/retaining walls.

ADDED

Albuquerque

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist of this plan will be required.

NM 87103

If you have any questions, please contact me at 924-3695 or Rudy Rael at 924-3977.

Sincerely,

www.cabq.gov

Dana Peterson, P.E.
Senior Engineer, Hydrology
Planning Department

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