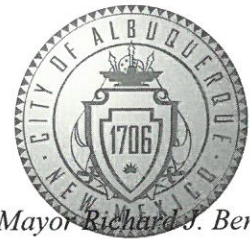


CITY OF ALBUQUERQUE

Planning Department
Suzanne Lubar, Director



Mayor Richard J. Berry

October 19, 2017

David Soule, P.E.
Rio Grande Engineering
PO Box 93924
Albuquerque, New Mexico 87199

**RE: Lot 15 Block 6 Unit 2 Unser Cliffs SAD 227
8023 Victoria NW
Grading and Drainage Plan
Engineers Stamp Date 10/18/17 (E10D040)**

Dear Mr. Soule,

Based upon the information provided in your submittal received 10/19/17, this plan is approved for Grading Permit.

PO Box 1293

Prior to Building permit approval a Pad Certification will be required, provided by the Engineer with pad cert language or a registered Land Surveyor with as build spot elevations on approved grading plan dated 10/18/17.

Albuquerque

Please inform the builder/owner to attach a copy of this approved plan and letter to the construction sets in the permitting process prior to sign-off by Hydrology.

NM 87103

Reiterate to the Owner/Contractor that a separate permit for a garden/retaining wall must be obtained, with the approved G&D plan and Pad Certification.

www.cabq.gov

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist of this plan will be required.

If you have any questions, please contact me at 924-3695 or Rudy Rael at 924-3977.

Sincerely,

Dana Peterson, P.E.
Senior Engineer, Hydrology
Planning Department

RR/DP
C: File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: _____ **Building Permit #:** _____ **City Drainage #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: _____

City Address: _____

Engineering Firm: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Owner: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Architect: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Check all that Apply:

DEPARTMENT:

- ☐ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ ARCHITECT CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
- ☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☐ Yes ☐ No

DATE SUBMITTED: _____ **By:** _____

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____

Weighted E Method

Basin	Area (sf)	Area (acres)	Treatment A		Treatment B		Treatment C		Treatment D		100-Year, 6-hr.		
			%	(acres)	%	(acres)	%	(acres)	%	(acres)	Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs
ALLOWED	11327.00	0.260	0%	0	20%	0.052	46%	0.1196	34%	0.088	1.259	0.027	0.84
PROPOSED	11327.00	0.260	0%	0	20%	0.052	34%	0.0884	46%	0.120	1.377	0.030	0.88
COMPARISON												0.003	

Equations:

Weighted E = Ea*Aa + Eb*Ab + Ec*Ac + Ed*Ad / (Total Area)

Volume = Weighted D * Total Area

Flow = Qa * Aa + Qb * Ab + Qc * Ac + Qd * Ad

Where for 100-year, 6-hour storm- zone 1

Ea= 0.44	Qa= 1.29
Eb= 0.67	Qb= 2.03
Ec= 0.99	Qc= 2.87
Ed= 1.97	Qd= 4.37

ONSITE Conditions

FIRST FLUSH WATER QUALITY VOLUME

	REQUIRED (CF)	PROVIDED (CF)
WATER QUALITY	148	481
FLOOD CONTROL	111	481

Narrative

This site is within the SAD 226 Master Drainage plan boundaries. The site is to maintain existing patterns and drain to the the adjacent roadway lot to east per the master drainage plan. We are ponding the water harvest volume generated by the site there is not measurable upland flow. This plan exceeds the allowed impervious area therefore we are required to retain the overage. This plan is in conformance to the master drainage plan

EROSION CONTROL NOTES:

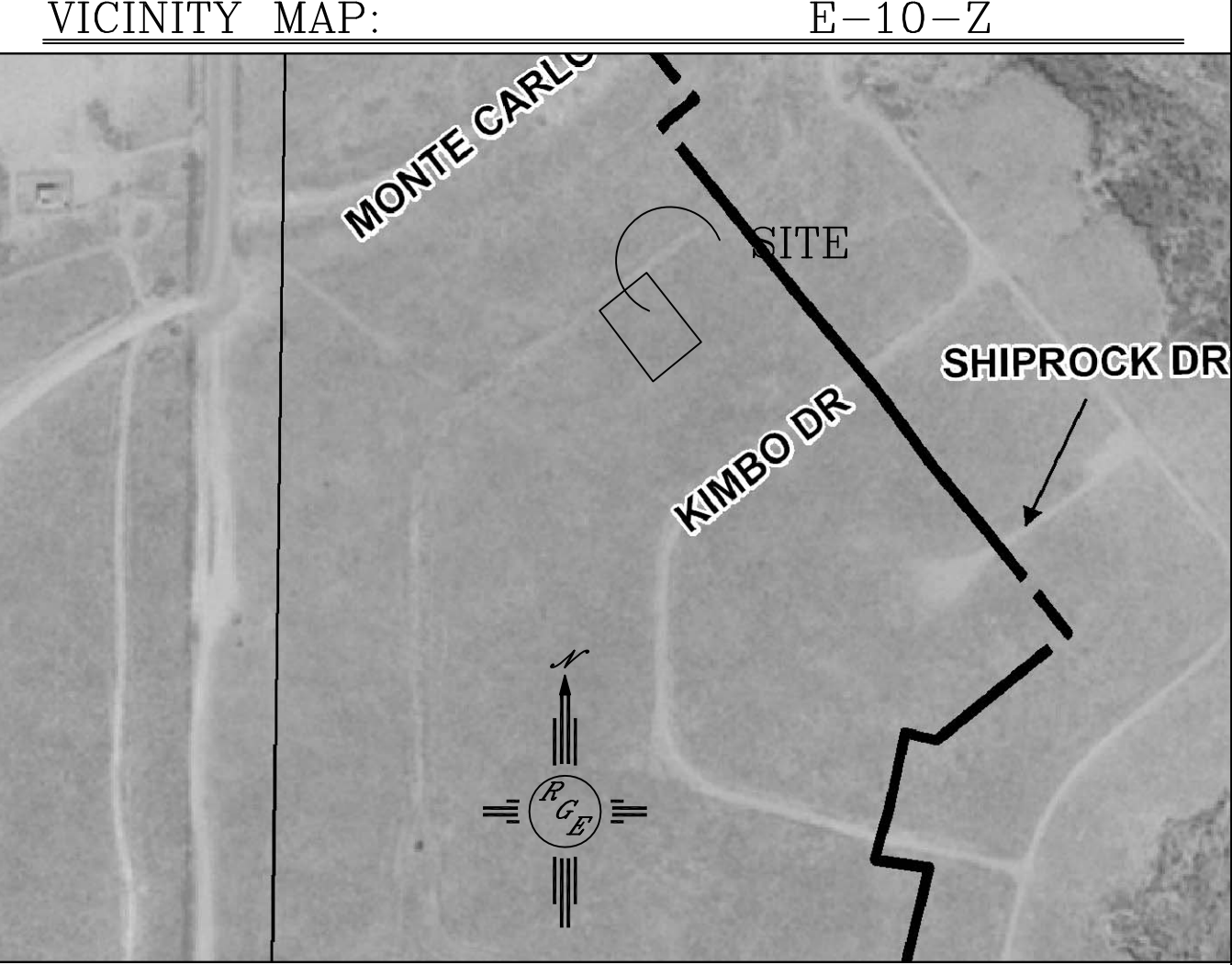
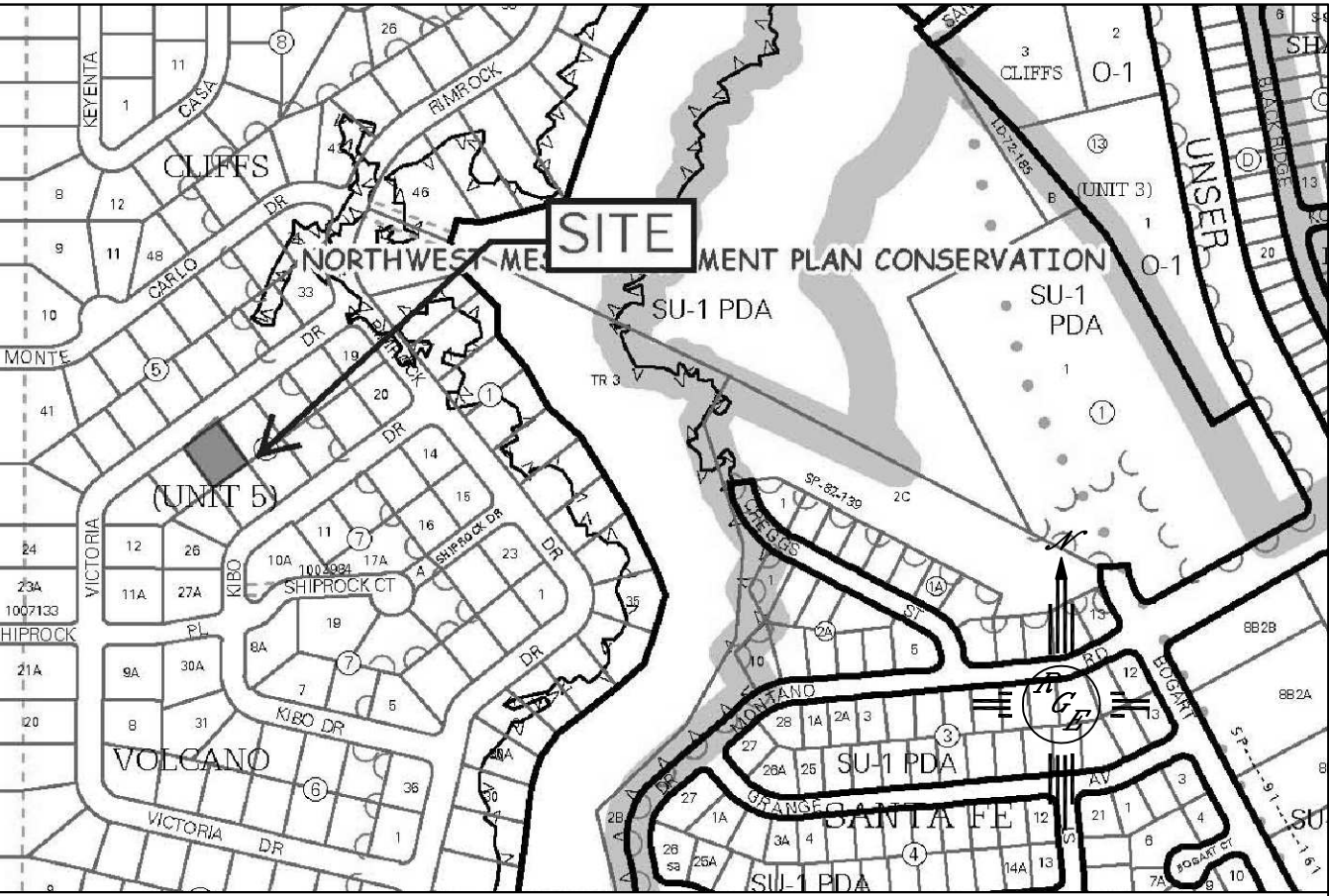
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.

2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.

3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.

4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.

5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



VICINITY MAP: E-10-Z

FIRM MAP: FM35001C0113G

LEGAL DESCRIPTION:

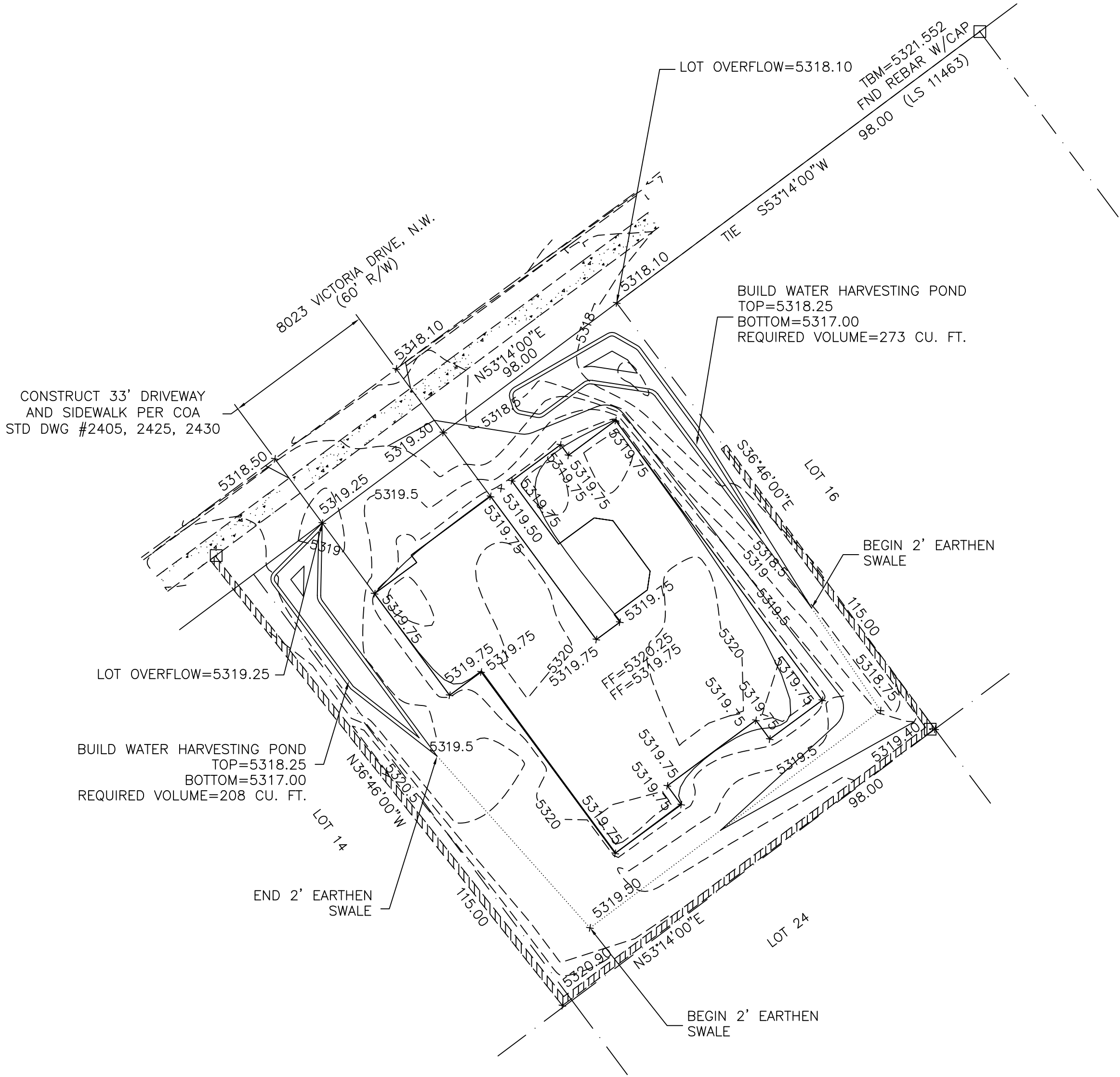
LOT 15 BLOCK 6, VOLCANO CLIFFS UNIT 5

NOTES:

1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
2. ALL SLOPES SHALL BE 3:1 MAX. AND GRAVEL OR NATIVE SEEDING PRIOR TO CO.
- 3.A PAD CERTIFICATION IS REQUIRED PRIOR TO RELEASE OF BUILDING PERMIT.
- 4.ANY ONSITE PERIMETER WALLS MUST CONFORM TO THIS PLAN. A COPY OF THIS PLAN MUST BE SUBMITTED WITH WALL PERMIT APPLICATION

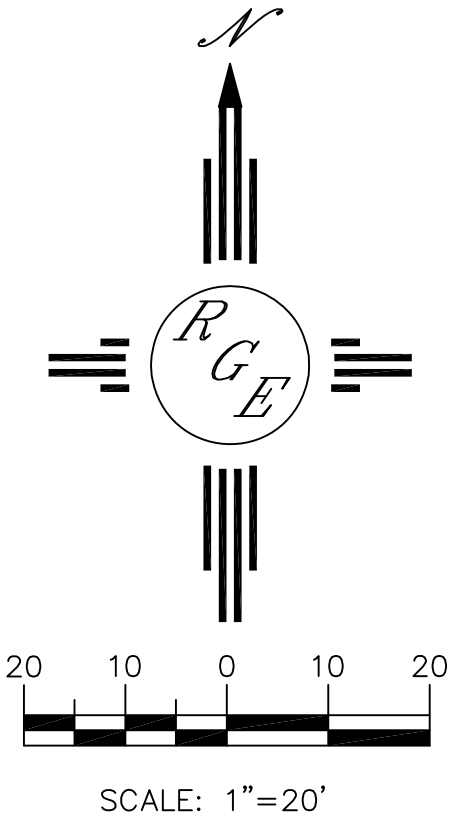
LEGEND

-----XXXX-----	EXISTING CONTOUR
- - - - -XXXX- - - - -	EXISTING INDEX CONTOUR
-----XXXX-----	PROPOSED CONTOUR
-----XXXX-----	PROPOSED INDEX CONTOUR
-----XXXX-----	SLOPE TIE
+ XXXX	EXISTING SPOT ELEVATION
+ XXXX	PROPOSED SPOT ELEVATION
-----	BOUNDARY
-----	CENTERLINE
-----	RIGHT-OF-WAY
=====	EXISTING CURB AND GUTTER
=====	PROPOSED CMU SCREEN WALL



CAUTION:

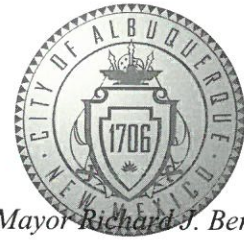
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.



<div>ENGINEER'S SEAL</div> <div></div> <div>10/18/17</div> <div>10/16/17</div> <div>DAVID SOULE P.E. #14522</div>	8023 VICTORIA DRIVE, N.W.	DRAWN BY WCWJ
		DATE 10-15-17
		21810-LAYOUT-10-16-17
<div>GRADING AND DRAINAGE PLAN</div> <div></div> <div>1606 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0898</div>	SHEET #	---
		JOB # 21810

CITY OF ALBUQUERQUE

Planning Department
Suzanne Lubar, Director



Mayor Richard J. Berry

October 18, 2017

David Soule, P.E.
Rio Grande Engineering
PO Box 93924
Albuquerque, New Mexico 87199

RE: **Lot 15 Block 6 SAD 227**
Unser Cliffs
8023 Victoria NW
Grading and Drainage Plan
Engineers Stamp Date 10/16/17 (D10D040)

Dear Mr. Soule,

Based upon the information provided in your submittal received 10/17/17, this plan cannot be approved for Grading Permit until the following comments are addressed.

- Provide a statement on the plan stating that this grading plan must be submitted for the application of any garden/retaining walls.

ADDED

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist of this plan will be required.

If you have any questions, please contact me at 924-3695 or Rudy Rael at 924-3977.

Sincerely,

Dana Peterson, P.E.
Senior Engineer, Hydrology
Planning Department

RR/DP
C: File