

CITY OF ALBUQUERQUE

Planning Department
David Campbell, Director



Mayor Timothy M. Keller

March 14, 2018

David Soule, P.E.
Rio Grande Engineering
PO Box 93924
Albuquerque, New Mexico 87199

RE: **Lot 17 Block 11 Unit 5 S.A.D. 227**
8016 Emerald Dr. NW
Grading and Drainage Plan
Engineers Stamp Date 3/9/18 (E10D043)

Dear Mr. Soule,

Based upon the information provided in your submittal received 3/12/18, this plan is approved for Grading Permit.

Please inform the builder/owner to attach a copy of this approved plan and letter to the construction sets in the permitting process prior to sign-off by Hydrology.

Reiterate to the Owner/Contractor that a separate permit for a garden/retaining wall must be obtained, with the approved G&D plan.

Prior to Building Permit approval, a **Pad Certification** will be required.

Prior to **Certificate of Occupancy release**, Engineer Certification per the DPM checklist of this plan will be required.

If you have any questions, please contact me at 924-3986 or Rudy Rael at 924-3977.

Sincerely,

James D. Hughes, P.E.
Principal Engineer, Hydrology
Planning Department

RR/JDH
C: Data Base E10D043



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: _____ **Building Permit #:** _____ **City Drainage #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: _____

City Address: _____

Engineering Firm: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Owner: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Architect: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Check all that Apply:

DEPARTMENT:

- ☐ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ ARCHITECT CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
- ☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☐ Yes ☐ No

DATE SUBMITTED: _____ **By:** _____

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____

Weighted E Method													
Basin	Area (sf)	Area (acres)	Treatment A		Treatment B		Treatment C		Treatment D		100-Year, 6-hr.		24-hour
			%	(acres)	%	(acres)	%	(acres)	%	(acres)	(ac-ft)	(ac-ft)	Volume (ac-ft)
ALLOWED	15223.00	0.349	0%	0	20%	0.070	46%	0.1608	34%	0.119	1.259	0.037	1.12
PROPOSED	15223.00	0.349	0%	0	26%	0.091	30%	0.1048	44%	0.154	1.338	0.039	1.16
													0.049

Equations:

Weighted E = Ea*Aa + Eb*Ab + Ec*Ac + Ed*Ad / (Total Area)

Volume = Weighted D * Total Area

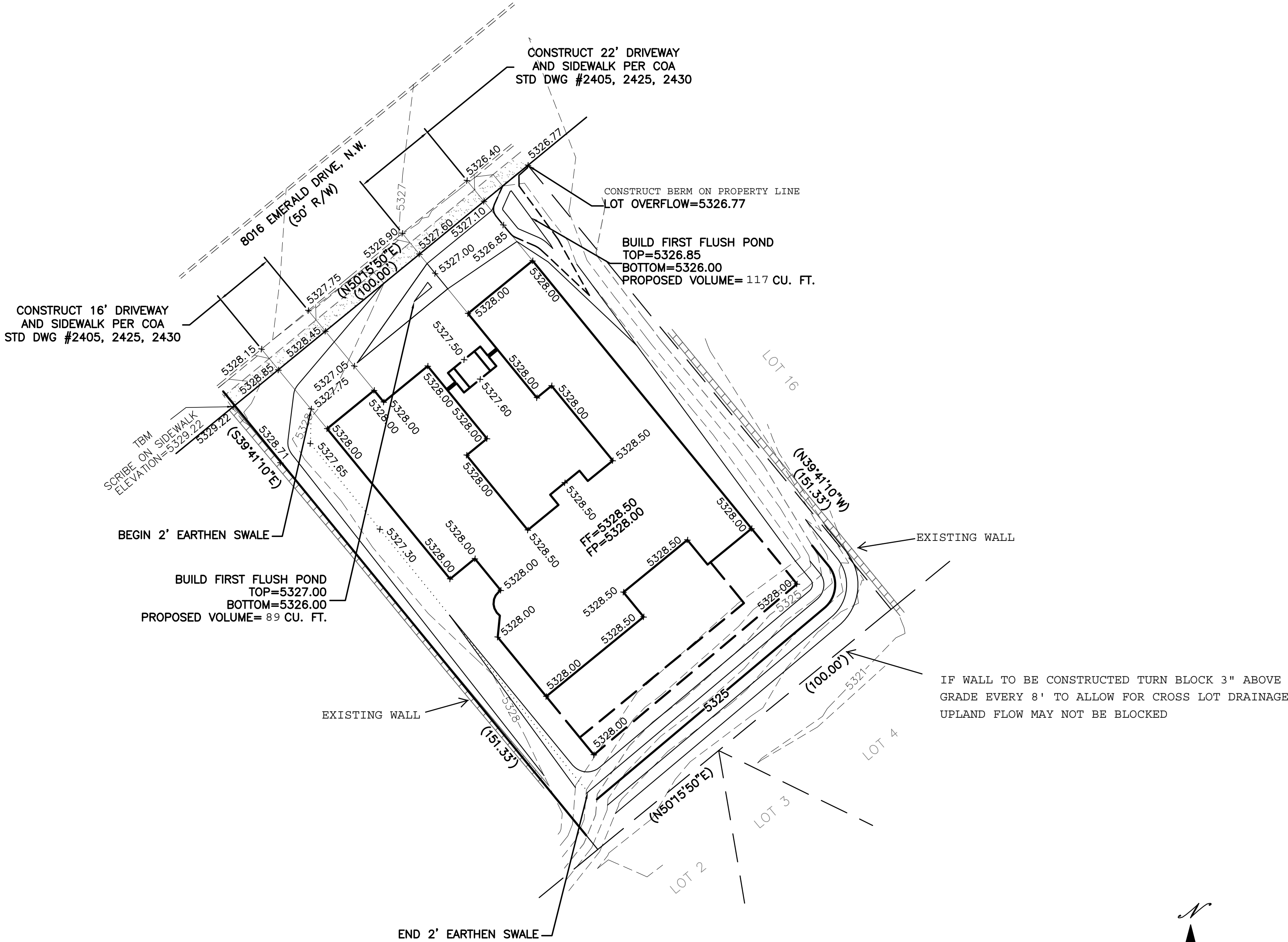
Flow = Qa * Aa + Qb * Ab + Qc * Ac + Qd * Ad

Where for 100-year, 6-hour storm- zone 1
Ea= 0.44 Qa= 1.29
Eb= 0.67 Qb= 2.03
Ec= 0.99 Qc= 2.87
Ed= 1.97 Qd= 4.37

ONSITE Conditions		
FIRST FLUSH WATER QUALITY VOLUME		
	REQUIRED	PROVIDED
	(CF)	(CF)
WATER QUALITY	190	206
Flood control	200	206

Narrative

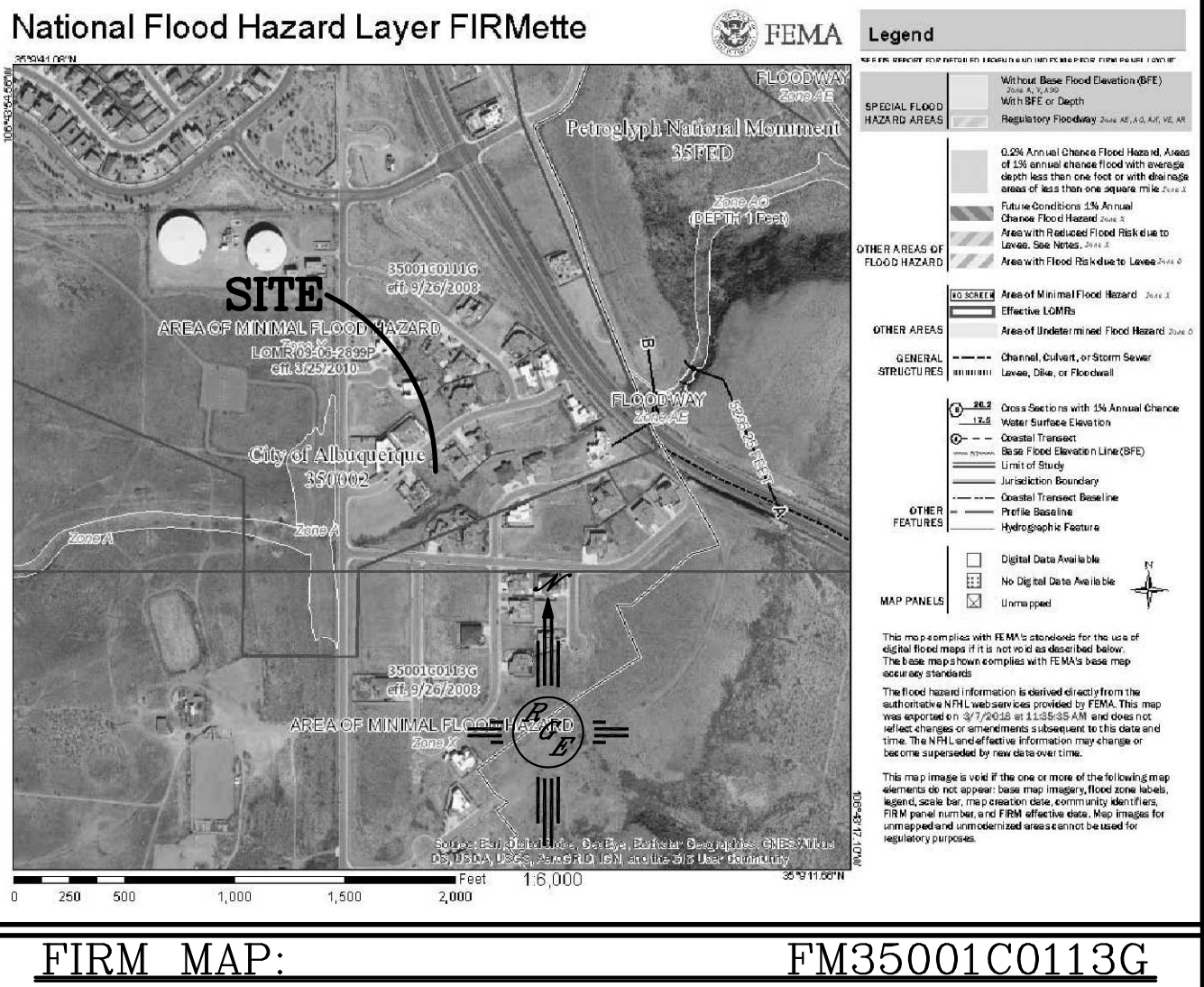
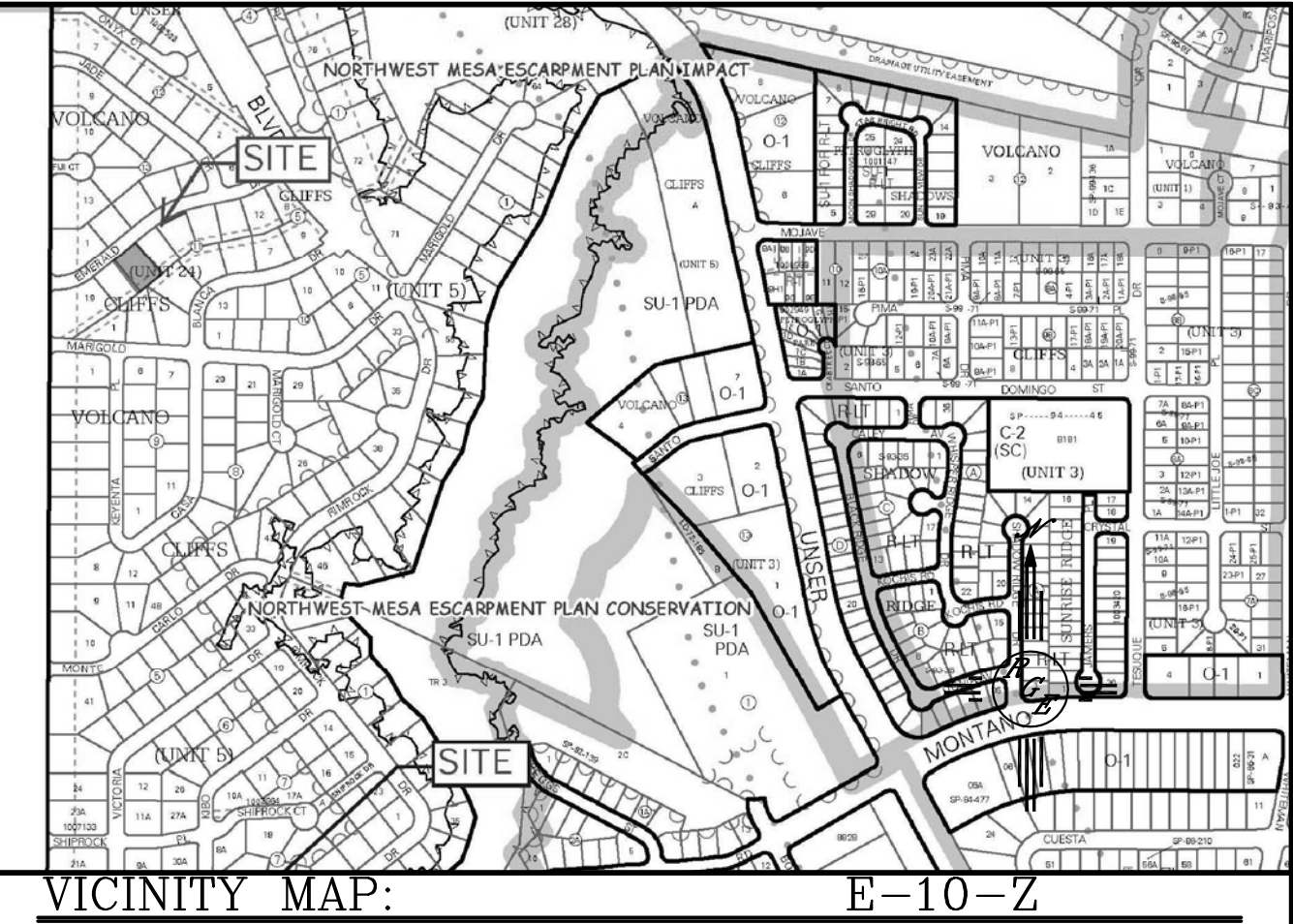
This site is within the SAD 228 Master Drainage plan boundaries. The site is designed to drain the front portion to the streat and there rear portion to the historical outfall. The drainage divide is in accordance to the master drainage plan basin lines. The site is not impacted by the upland flows. The site will pond in excess of the first flush volume required. This plan is in conformance to the master drainage plan.



CAUTION:
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



LEGAL DESCRIPTION:

LOT 17 BLOCK 11, VOLCANO CLIFFS UNIT 5

NOTES:

1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
2. ALL SLOPES SHALL BE 3:1 MAX. AND GRAVEL OR NATIVE SEEDING PRIOR TO CO.
3. ANY PERIMETER WALLS MUST BE PERMITTED SEPARATELY. ALL RETAINING WALL DESIGN SHALL BE BY OTHERS.
4. PAD ELEVATION CERTIFICATION IS REQUIRED PRIOR TO ISSUANCE OF BUILDING PERMIT

LEGEND

---	XXXX	---	EXISTING CONTOUR
---	XXXX	---	EXISTING INDEX CONTOUR
---	XXXX	---	PROPOSED CONTOUR
---	XXXX	---	PROPOSED INDEX CONTOUR
---	XXXX	---	SLOPE TIE
---	XXXX	---	EXISTING SPOT ELEVATION
---	XXXX	---	PROPOSED SPOT ELEVATION
---	XXXX	---	BOUNDARY
---	XXXX	---	CENTERLINE
---	XXXX	---	RIGHT-OF-WAY
---	XXXX	---	EXISTING CURB AND GUTTER
---	XXXX	---	PROPOSED CMU SCREEN WALL 18" MAX RETAINAGE (DESIGN BY OTHERS)

<div>ENGINEER'S SEAL</div> <div></div> <div>3/9/18</div> <div>DAVID SOULE P.E. #14522</div>	8016 EMERALD DRIVE, N.W.	DRAWN BY: WCMJ
	GRADING AND DRAINAGE PLAN	DATE: 3-09-18
	<div>Rio Grande Engineering 1606 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0998</div>	21867-LAYOUT-3-09-18
		SHEET #
		JOB # 21867