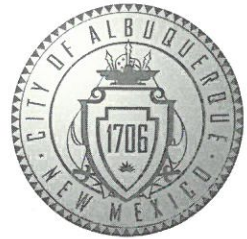


# CITY OF ALBUQUERQUE

Planning Department  
David Campbell, Director



Mayor Timothy M Keller

October 24, 2018

David Soule, PE  
Rio Grande Engineering  
1606 Central SE Suite 201  
Albuquerque, NM 87106

**Re: Lot 18 Block 8 Unser Cliffs Unit 2 SAD 227  
6208 Casa Blanca NW  
Request Permanent C.O. - Accepted  
Engineer's Stamp dated: 4-13-18 (E10D045)  
Certification dated: 10-15-18**

PO Box 1293

Dear Mr. Soule,

Albuquerque

Based on the Certification received 10/22/2018, the site is acceptable for release of Certificate of Occupancy by Hydrology.

If you have any questions, you can contact me at 924-3986 or Rudy Rael at 924-3977.

NM 87103

Sincerely,

www.cabq.gov

James D. Hughes, P.E.  
Principal Engineer, Hydrology  
Planning Department

RR/JDH  
C: File E10D045



# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

**Project Title:** 6208 CASA BLANCA **Building Permit #:** \_\_\_\_\_ **Hydrology File #:** \_\_\_\_\_

**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_

**Legal Description:** lot 18 BLOCK 8 VOLCANO CLIFFS UNIT 5

**City Address:** 6208 CASA BLANCA

**Applicant:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Other Contact:** RIO GRANDE ENGINEERING **Contact:** DAVID SOULE

**Address:** PO BOX 93924 ALB NM 87199

**Phone#:** 505.321.9099 **Fax#:** 505.872.0999 **E-mail:** david@riograndeengineering.com

**TYPE OF DEVELOPMENT:** ☐ PLAT ☒ RESIDENCE ☐ DRB SITE ☐ ADMIN SITE

Check all that Apply:

### DEPARTMENT:

☒ HYDROLOGY/ DRAINAGE  
☐ TRAFFIC/ TRANSPORTATION

### TYPE OF SUBMITTAL:

☒ ENGINEER/ARCHITECT CERTIFICATION  
☐ PAD CERTIFICATION  
☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ DRAINAGE REPORT  
☐ DRAINAGE MASTER PLAN  
☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC  
☐ ELEVATION CERTIFICATE  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ TRAFFIC IMPACT STUDY (TIS)  
☐ STREET LIGHT LAYOUT  
☐ OTHER (SPECIFY) \_\_\_\_\_  
☐ PRE-DESIGN MEETING?

IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☐ BUILDING PERMIT APPROVAL  
☒ CERTIFICATE OF OCCUPANCY  
☐ PRELIMINARY PLAT APPROVAL  
☐ SITE PLAN FOR SUB'D APPROVAL  
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE  
☐ FOUNDATION PERMIT APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ SO-19 APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ GRADING/ PAD CERTIFICATION  
☐ WORK ORDER APPROVAL  
☐ CLOMR/LOMR  
☐ FLOODPLAIN DEVELOPMENT PERMIT  
☐ OTHER (SPECIFY) \_\_\_\_\_

**DATE SUBMITTED:** \_\_\_\_\_ **By:** \_\_\_\_\_

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_



# Weighted E Method

Basin	Area (sf)	Area (acres)	Treatment A %	Treatment B %	Treatment C %	Treatment D %	Weighted Volume (ac-ft)	100-Year, 6-hr.		24-hour	
								Volume (ac-ft)	Flow (cfs)	Volume (ac-ft)	Flow (cfs)
ALLOWED	12104.00	0.278	0%	0%	20%	0.056	46%	0.1278	34%	0.094	1.259
PROPOSED	12104.00	0.278	0%	0%	24%	0.067	30%	0.0834	46%	0.128	1.364
								1.364	0.032		0.89
											0.035
											0.040

## Equations:

Weighted E =  $E_a \cdot A_a + E_b \cdot A_b + E_c \cdot A_c + E_d \cdot A_d$  / (Total Area)

Volume = Weighted D \* Total Area

Flow =  $Q_a \cdot A_a + Q_b \cdot A_b + Q_c \cdot A_c + Q_d \cdot A_d$

Where for 100-year, 6-hour storm- zone 1

$E_a = 0.44$	$Q_a = 1.29$
$E_b = 0.67$	$Q_b = 2.03$
$E_c = 0.99$	$Q_c = 2.87$
$E_d = 1.97$	$Q_d = 4.37$

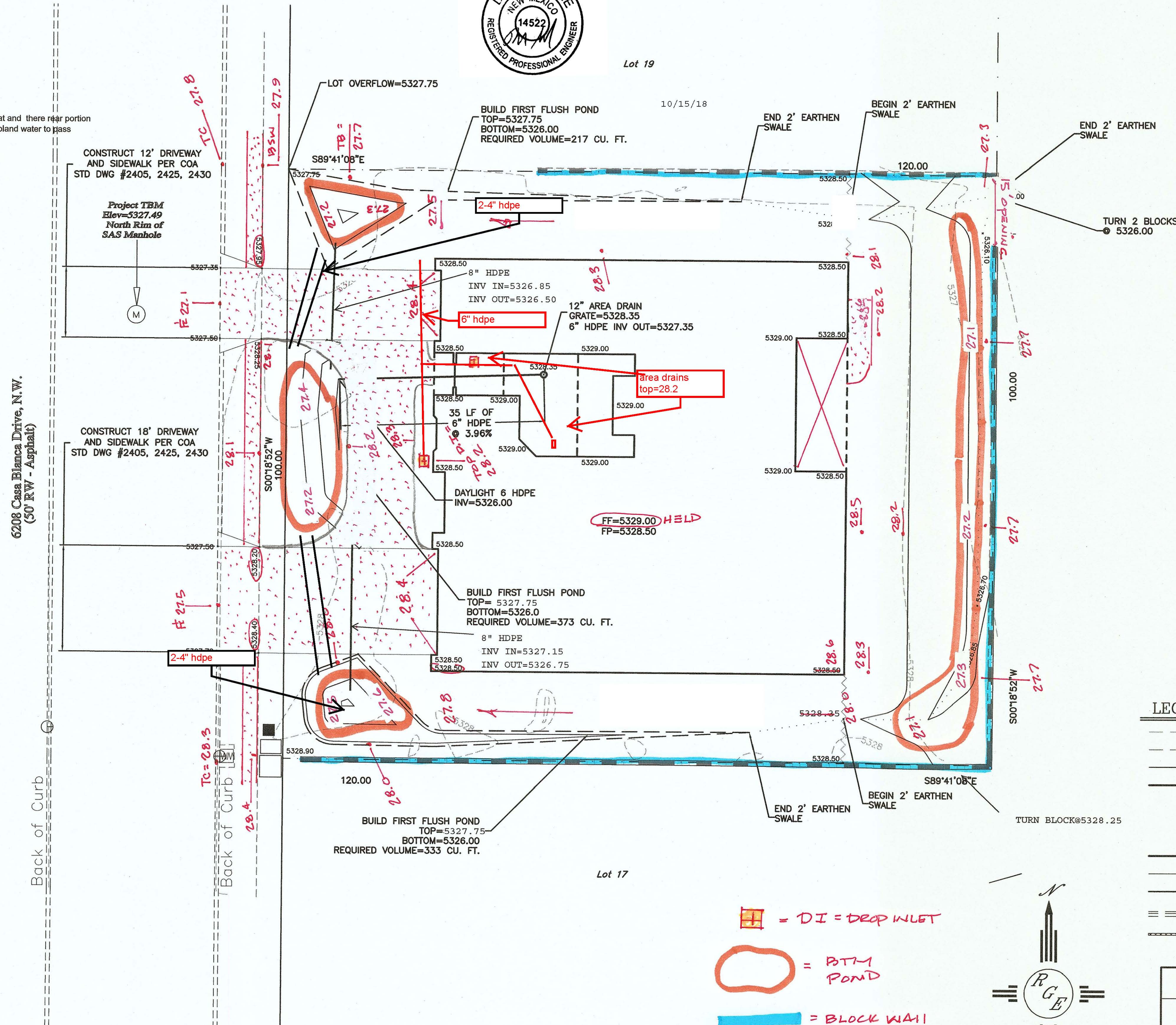
## ONSITE Conditions

FIRST FLUSH WATER QUALITY VOLUME	REQUIRED (CF)	PROVIDED (CF)
WATER QUALITY	158	923
Flood control	201	923

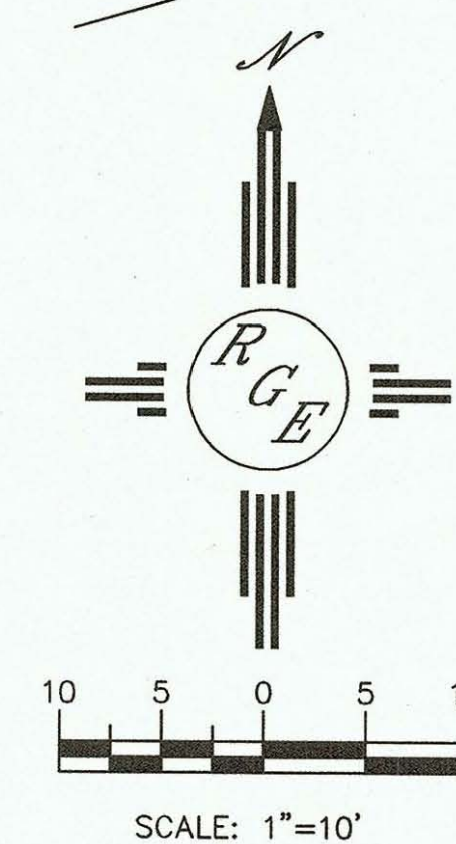
## Narrative

This site is within the SAD 228 Master Drainage plan boundaries. The site is designed to drain the front portion to the street and there rear portion to the historical outfall. The site is not impacted by the any significant upland flows. A turned block is provided to allow upland water to pass. The site will pond in excess of the first flush volume required. This plan is in conformance to the master drainage plan

I David Soule, NMPE 14522, of the firm Rio Grande Engineering, hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intend of the approved plan dated 4/13/18. The record information edited on the original design document has performed by me or under my direct supervision and is true and correct to the best of my knowledge and belief. The as-built survey was provided by THOMAS PATRICK NMPS 12651. The certification is submitted in support of a request for PERMANENT CERTIFICATE OF OCCUPANCY. The record information presented heron is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose

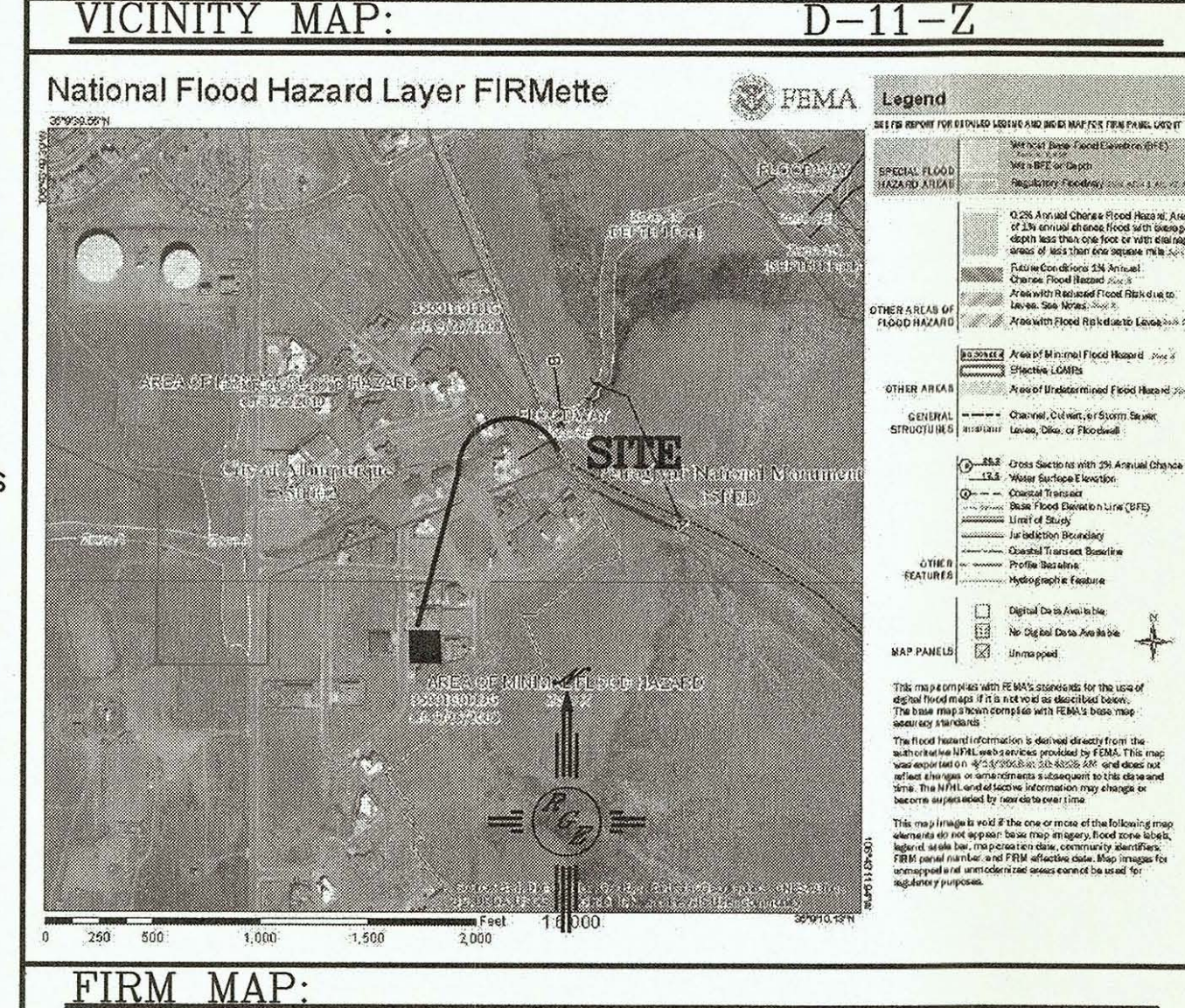
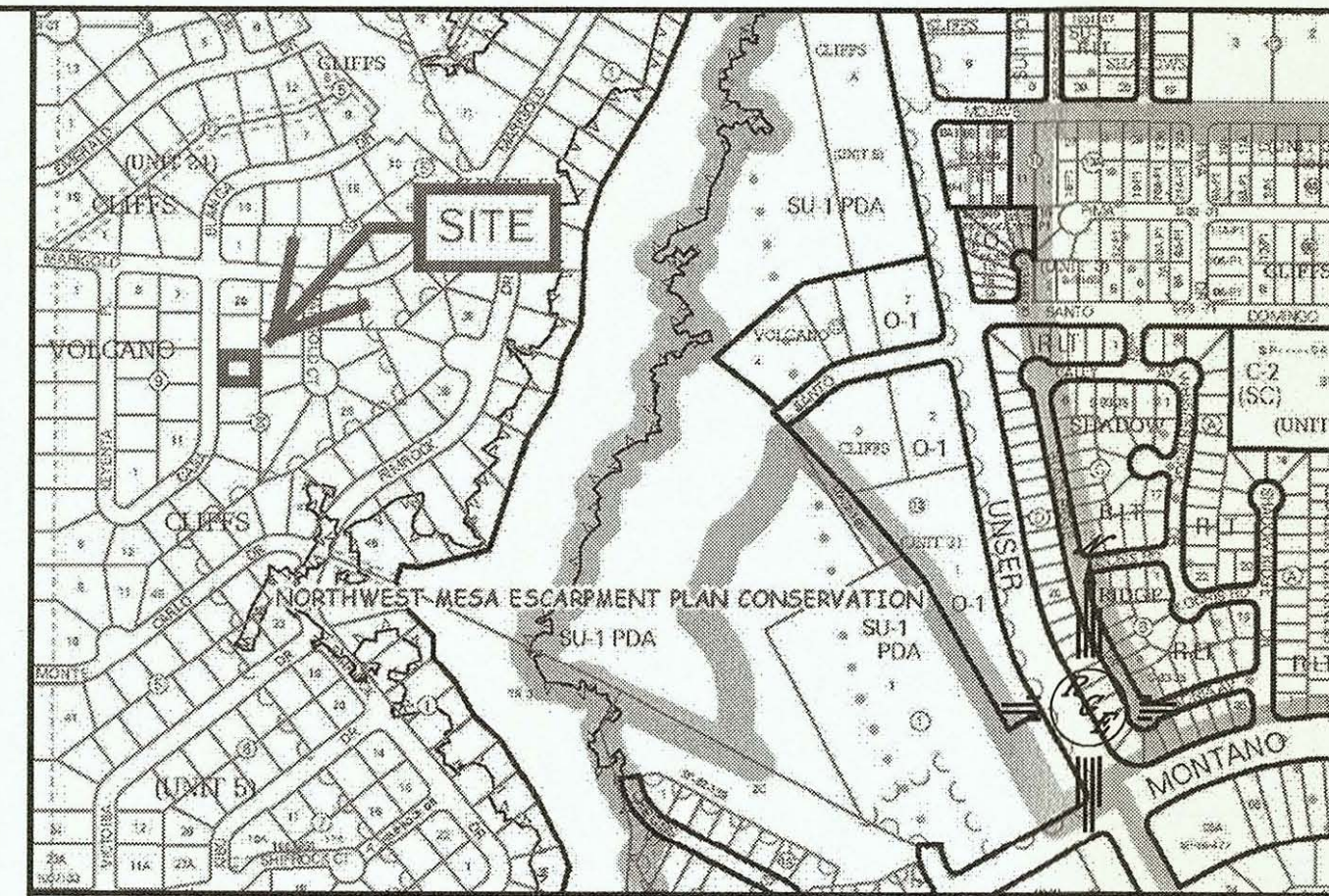


DI = DROP INLET  
 BTM POND  
 BLOCK WALL



## EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



## LEGAL DESCRIPTION:

Lot 18, Block 8, Volcano Cliffs Unit 5

## NOTES:

1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
2. ALL SLOPES SHALL BE 3:1 MAX. AND GRAVEL OR NATIVE SEEDING PRIOR TO CO.
3. A PAD CERTIFICATION IS REQUIRED PRIOR TO RELEASE OF BUILDING PERMIT
4. ANY PERIMETER WALLS SHALL BE CONSTRUCTED UNDER A SEPARATE BUILDING PERMIT AND MUST CONFORM TO THE APPROVED GRADING PLAN ALLOWING CROSS LOT DRAINAGE

## LEGEND

---	EXISTING CONTOUR
---	EXISTING INDEX CONTOUR
---	PROPOSED CONTOUR
---	PROPOSED INDEX CONTOUR
---	SLOPE TIE
•	EXISTING SPOT ELEVATION
•	PROPOSED SPOT ELEVATION
---	BOUNDARY
---	CENTERLINE
---	RIGHT-OF-WAY
---	EXISTING CURB AND GUTTER
---	PROPOSED CMU SCREEN WALL

## CAUTION:

EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

<p>ENGINEER'S SEAL</p> <p>DAVID SOULE NEW MEXICO 14522 REGISTERED PROFESSIONAL ENGINEER</p> <p>4/13/18</p> <p>DAVID SOULE P.E. #14522</p>	6208 CASA BLANCA DRIVE	DRAWN BY WCUJ
	GRADING AND DRAINAGE PLAN	DATE 4-12-18
		21888-LAYOUT-4-12-18
		SHEET #
		JOB # 21888

