CITY OF ALBUQUERQUE

Planning Department
David Campbell, Director

Mayor Timothy M. Keller

September 10, 2018

David Soule, P.E.
Rio Grande Engineering
PO Box 93924
Albuquerque, NM 87199

RE: **6212 Tesuque Dr NW**
Grading and Drainage Plan
Engineer's Stamp Date: 9/5/18
Drainage File: E10D049

Dear Mr. Soule:

Based on the submittal received on 9/6/18, the grading and drainage plan is approved for Grading Permit.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

Prior to Building Permit (For Information):

1. Engineer's Certification of the compacted pad and grading, per the DPM Chapter 22.7: *Engineer's Certification Checklist For Non-Subdivision* is required.

Prior to Certificate of Occupancy (For Information):

2. Engineer's Certification, per the DPM Chapter 22.7: *Engineer's Certification Checklist For Non-Subdivision* is required to ensure the site and the grades against the neighboring walls were not disturbed during home construction.

If you have any questions, please contact me at 924-3695 or dpeterson@cabq.gov.

Sincerely,

Dana Peterson, P.E.
Senior Engineer, Planning Dept.
Development Review Services

City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: 6210 TESUQUE DR Building Permit #:_____ Hydrology File #: E10D049

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: lot 4 block 8A volcano clifs unit 3

City Address: 6210 TESUQUE

Applicant: CHRIS AND NICOLE ROMERO Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Other Contact: RIO GRANDE ENGINEERING Contact: DAVID SOULE

Address: PO BOX 93924 ALB NM 87199

Phone#: 505.321.9099 Fax#: 505.872.0999 E-mail: david@riograndeengineering.com

TYPE OF DEVELOPMENT: ___ PLAT ___ RESIDENCE ___ DRB SITE ___ ADMIN SITE

Check all that Apply:

DEPARTMENT:

X HYDROLOGY/ DRAINAGE

___ TRAFFIC/ TRANSPORTATION

TYPE OF SUBMITTAL:

___ ENGINEER/ARCHITECT CERTIFICATION

X PAD CERTIFICATION

___ CONCEPTUAL G & D PLAN

X GRADING PLAN

___ DRAINAGE REPORT

___ DRAINAGE MASTER PLAN

___ FLOODPLAIN DEVELOPMENT PERMIT APPLIC

___ ELEVATION CERTIFICATE

___ CLOMR/LOMR

___ TRAFFIC CIRCULATION LAYOUT (TCL)

___ TRAFFIC IMPACT STUDY (TIS)

___ STREET LIGHT LAYOUT

___ OTHER (SPECIFY) _____

___ PRE-DESIGN MEETING?

IS THIS A RESUBMITTAL?: X Yes ___ No

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

X BUILDING PERMIT APPROVAL

___ CERTIFICATE OF OCCUPANCY

___ PRELIMINARY PLAT APPROVAL

___ SITE PLAN FOR SUB'D APPROVAL

___ SITE PLAN FOR BLDG. PERMIT APPROVAL

___ FINAL PLAT APPROVAL

___ SIA/ RELEASE OF FINANCIAL GUARANTEE

___ FOUNDATION PERMIT APPROVAL

___ GRADING PERMIT APPROVAL

___ SO-19 APPROVAL

___ PAVING PERMIT APPROVAL

X GRADING/ PAD CERTIFICATION

___ WORK ORDER APPROVAL

___ CLOMR/LOMR

___ FLOODPLAIN DEVELOPMENT PERMIT

___ OTHER (SPECIFY) _____

DATE SUBMITTED: _____ By: _____

COA STAFF: ELECTRONIC SUBMITTAL RECEIVED:_____

FEE PAID:_____

CITY OF ALBUQUERQUE

Planning Department
David Campbell, Director

Mayor Timothy M. Keller

August 31, 2018

David Soule, P.E.
Rio Grande Engineering
PO Box 93924
Albuquerque, NM 87199

RE: **6212 Tesuque Dr NW**
Grading and Dranage Plan
Engineer's Stamp Date: 8/24/18
Drainage File: E10D049

Dear Mr. Soule:

Based on the submittal received on 8/24/18, the grading and drainage plan cannot be approved until the following are corrected:

PO Box 1293

Albuquerque

NM 87103

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Prior to Grading Permit:

1. The narrative refers to SAD 221, but the site is not located in this SAD. The narrative and drainage assumptions need to be updated accordingly. The backyard ponding needs to be sized for the 100-yr volume for the area draining to it, but subbasins are not provided. Is it feasible to drain the entire roof area to the street? It seems as though some of it will need to be ponded in the backyard. We have sized pond and shown basin that will drain to street, this site was in SAD 224
2. Provide wall sections through all perimeter walls showing footers, property lines, existing and proposed grades, horizontal and vertical dimensions. Demonstrate that grading and wall construction near the property line will not endanger adjacent property or constrain its use (DPM Ch.22, section 5 part B). Any private encroachment into neighboring private property will require written and signed permission from both property owners. Added detail and note

Prior to Building Permit (For Information):

3. Engineer's Certification of the compacted pad and grading, per the DPM Chapter 22.7: *Engineer's Certification Checklist For Non-Subdivision* is required.

Prior to Certificate of Occupancy (For Information):

4. Engineer's Certification, per the DPM Chapter 22.7: *Engineer's Certification Checklist For Non-Subdivision* is required to ensure the site and the grades against the neighboring walls were not disturbed during home construction.

If you have any questions, please contact me at 924-3695 or dpeterson@cabq.gov.

Sincerely,

Dana Peterson, P.E.
Senior Engineer, Planning Dept.
Development Review Services

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Weighted E Method

Basin	Area	Area	Treatment A		Treatment B		Treatment C		Treatment D		Weighted	100-Year, 6-hr. Volume	Flow
	(sf)	(acres)	%	(acres)	%	(acres)	%	(acres)	%	(acres)	(ac-ft)	(ac-ft)	cfs
UPLAND	8886.00	0.204	0%	0	10%	0.020	40%	0.0816	50%	0.102	1.448	0.025	0.72
ALLOWED	7725.00	0.177	0%	0	10%	0.018	40%	0.0709	50%	0.089	1.448	0.021	0.63
PROPOSED	7725.00	0.177	0%	0	10%	0.018	27%	0.0479	63%	0.112	1.575	0.023	0.66
FRONT BASIN	5944.00	0.136	0%	0	10%	0.014	14%	0.0191	74%	0.101	1.663	0.019	0.52
REAR BASIN	1781.00	0.041	0%	0	36%	0.015	46%	0.0188	24%	0.010	1.169	0.004	0.13
total													

Equations:

Weighted E = Ea*Aa + Eb*Ab + Ec*Ac + Ed*Ad / (Total Area)

Volume = Weighted D * Total Area

Flow = Qa * Aa + Qb * Ab + Qc * Ac + Qd * Ad

Where for 100-year, 6-hour storm- zone 1

Ea= 0.44 Qa= 1.29
Eb= 0.67 Qb= 2.03
Ec= 0.99 Qc= 2.87
Ed= 1.97 Qd= 4.37

ONSITE Conditons
FIRST FLUSH WATER QUALITY VOLUME

	REQUIRED (CF)	PROVIDED (CF)
WATER QUALITY	138	210
FLOOD CONTROL(total)	82	210
REAR BASIN	174	198
FRONT BASIN	82	95

Narrative

This site is within the SAD 224 Master Drainage plan boundaries. The site is to maintain existing patterns and drain to the the adjacent roadway per the master drainage plan. We are ponding the water harvest volume generated by the site we are allowing the potential. upland flow to pass thru the site. This plan has a shallow water harvest pond in excess of the drainage regulations. Due to existing walls, the rear yard can't drain, therefore the roof will have gutter system to drain to front and the rear yard will retain 100-year volume

TURNED BLOCKS

Weir Equation:

$$Q = CLH^{3/2}$$

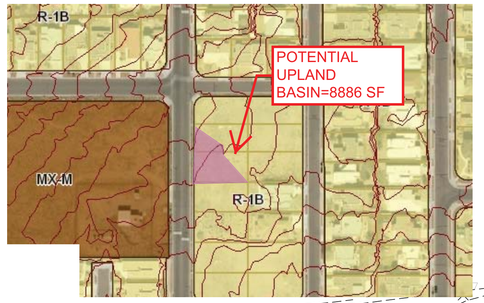
Q= 2.92 cfs

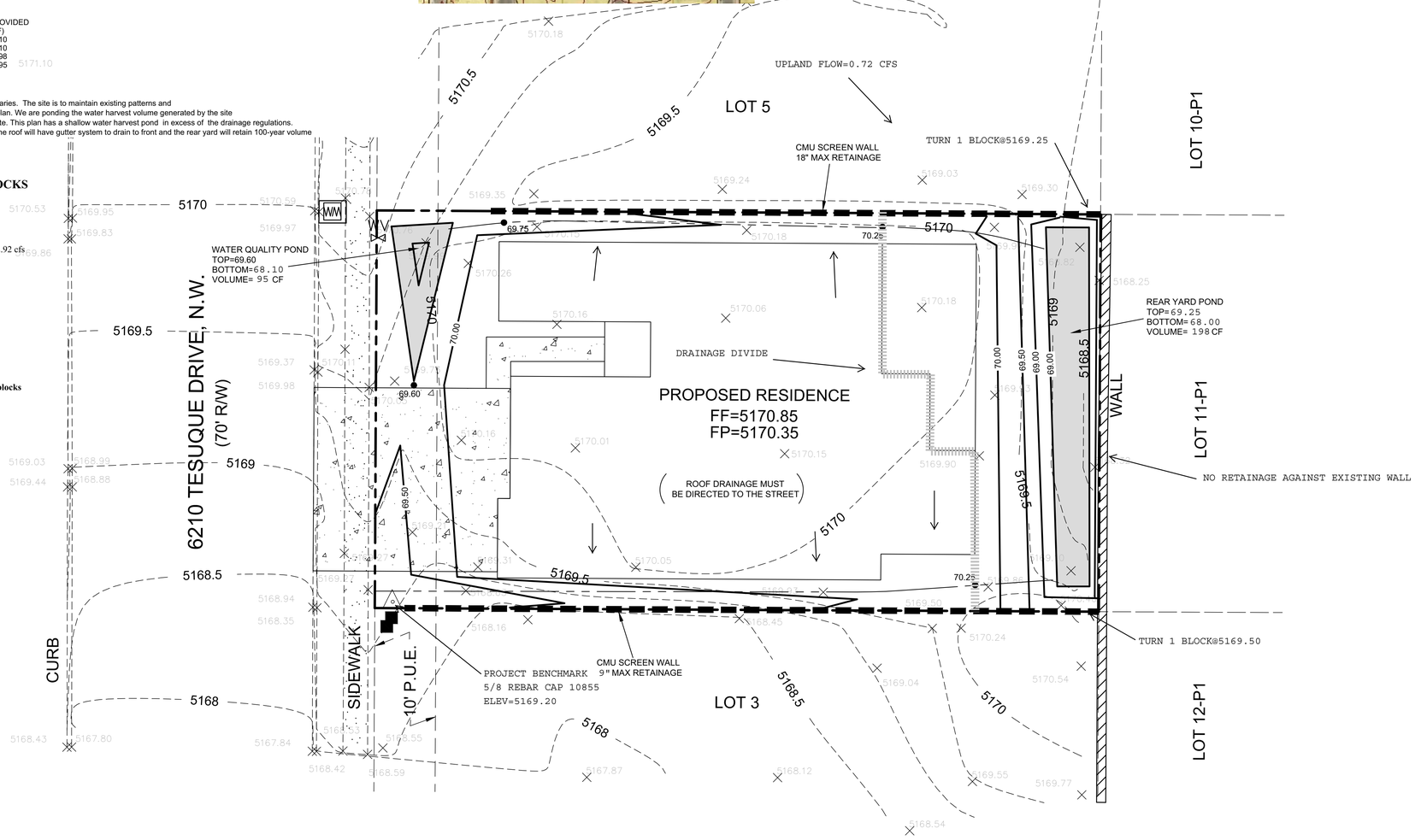
C = 2.95
H = 0.5 ft
L = Length of weir

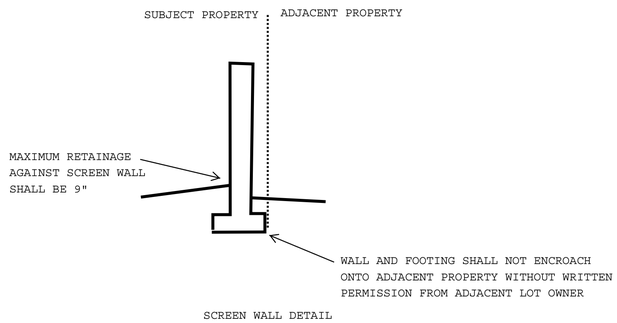
$$Q = 2.95 * .5 * ((0.5)^{(3/2)})$$

Each opening is 6"x6"
Each block has two openings
Each opening has .52 cfs capacity

Therefore .72 cfs requires 2 openings and 1 turned blocks







SCREEN WALL DETAIL

CAUTION:

EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

EROSION CONTROL NOTES:

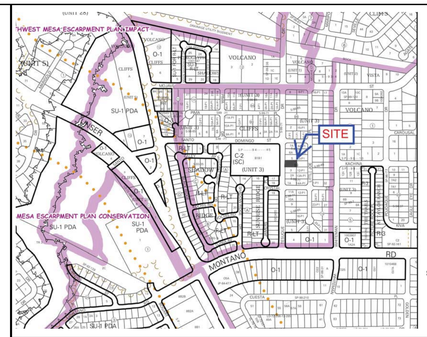
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.

2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.

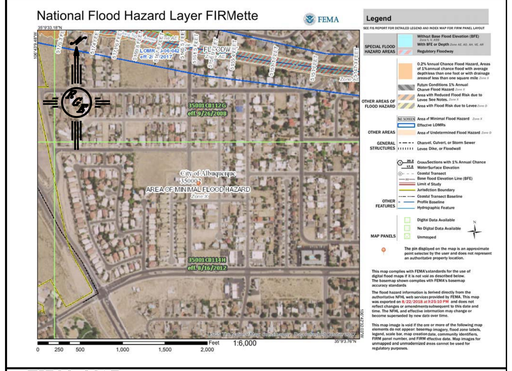
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.

4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.

5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



VICINITY MAP: E-10-Z



FIRM MAP:

LEGAL DESCRIPTION:

LOT 4, BLOCK 8-A UNIT 3 VOLCANO CLIFFS

NOTES:

1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.

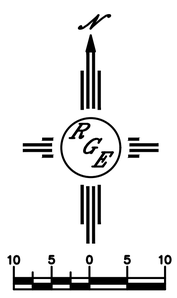
2. ALL SLOPES SHALL BE 3:1 MAX. AND GRAVEL OR NATIVE SEEDING PRIOR TO CO.

3. ANY PERIMETER WALLS MUST BE PERMITED SEPARATELY. ALL RETAINING WALL DESIGN SHALL BE BY OTHERS.

4. SURVEY INFORMATION PROVIDED BY COMMUNITY SCIENCES CORPORATION USING NAVD DATUM 1988.

LEGEND

- EXISTING CONTOUR
- EXISTING INDEX CONTOUR
- PROPOSED CONTOUR
- PROPOSED INDEX CONTOUR
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- BOUNDARY
- PROPOSED EARTHEN SWALE
- ADJACENT BOUNDARY
- EXISTING CURB AND GUTTER
- PROPOSED SCREEN WALL 18" MAX RETAINAGE
- PROPOSED CONCRETE DRIVEWAY



SCALE: 1"=10'

ENGINEER'S SEAL
DAVID SOULE NEW MEXICO 14522 REGISTERED PROFESSIONAL ENGINEER
9/5/18
DAVID SOULE P.E. #14522

LOT 4, BLK 8-A U 3 VOLCANO CLIFFS
6210 TESUQUE DRIVE

GRADING AND DRAINAGE PLAN

DRAWN BY DEM
DATE 8-7-18
LOT 4 BLOCK 8A (RM).DWG
SHEET # C1
JOB #

Rio Grande Engineering
1606 CENTRAL AVENUE SE
SUITE 201
ALBUQUERQUE, NM 87106
(505) 872-0999