

# CITY OF ALBUQUERQUE

Planning Department  
David Campbell, Director



Mayor Timothy M. Keller

March 8, 2019

Don Briggs, P.E.  
Don Briggs Engineering, LLC  
5324 Oakledge Ct. NW  
Albuquerque, NM, 87120

**RE: Mia Huynh  
6206 Tesuque Dr. NW  
Grading and Drainage Plan  
Engineer's Stamp Date: 02/19/19  
Hydrology File: E10D057**

Dear Mr. Briggs:

PO Box 1293

Based upon the information provided in your submittal received 02/22/2019, the Grading and Drainage Plan is approved for Building Permit and Grading Permit.

Albuquerque

Please note that prior to Building Permit, an Engineer's Certification of the compacted pad and grading, per the DPM Chapter 22.7: Engineer's Certification Checklist For Non-Subdivision is required.

NM 87103

Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter. Prior to approval in support of Permanent Release of Occupancy by Hydrology, Engineer Certification per the DPM checklist will be required.

[www.cabq.gov](http://www.cabq.gov)

If you have any questions, please contact me at 924-3995 or [rbrissette@cabq.gov](mailto:rbrissette@cabq.gov).

Sincerely,

Renée C. Brissette, P.E. CFM  
Senior Engineer, Hydrology  
Planning Department



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

**Project Title:** Mia Huynh **Building Permit #:** \_\_\_\_\_ **Hydrology File #:** \_\_\_\_\_

**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_

**Legal Description:** LT 3 BLK 8A A PLAT OF BLOCKS 7-A, 8-A, 8-B, 8-C, 9-A, 9-BAND 10-A VOLCANO CLIFFS

**City Address:** 6206 TESUQUE DR NW ALBUQUERQUE NM 87120

**Applicant:** Don Briggs **Contact:** Engineer

**Address:** 5324 Oakledge Ct. NW, Albuquerque, NM 87120

**Phone#:** 505-249-4843 **Fax#:** \_\_\_\_\_ **E-mail:** donbriggseengineering@gmail.com

**Owner:** Mia Huynh **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** 505-440-4632 **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**TYPE OF SUBMITTAL:** \_\_\_\_\_ PLAT ( \_\_\_\_\_ # OF LOTS) ☒ RESIDENCE \_\_\_\_\_ DRB SITE \_\_\_\_\_ ADMIN SITE

IS THIS A RESUBMITTAL?: \_\_\_\_\_ Yes ☒ No

**DEPARTMENT:** \_\_\_\_\_ TRAFFIC/ TRANSPORTATION ☒ HYDROLOGY/ DRAINAGE

Check all that Apply:

### TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☒ GRADING PLAN
- ☐ DRAINAGE MASTER PLAN
- ☒ DRAINAGE REPORT
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ OTHER (SPECIFY) \_\_\_\_\_
- ☐ PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) \_\_\_\_\_

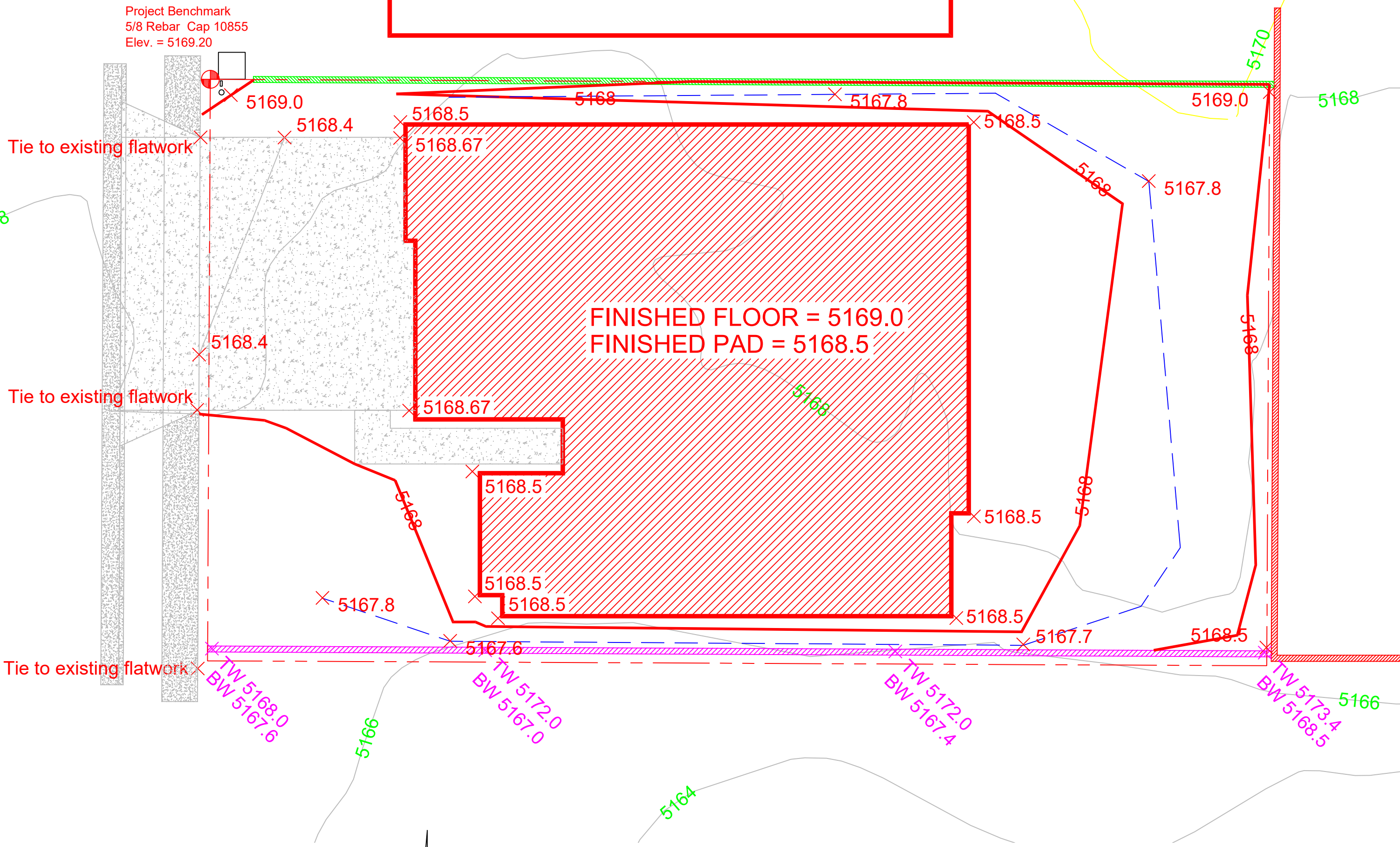
**DATE SUBMITTED:** 2/19/2019 **By:** Don Briggs

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_

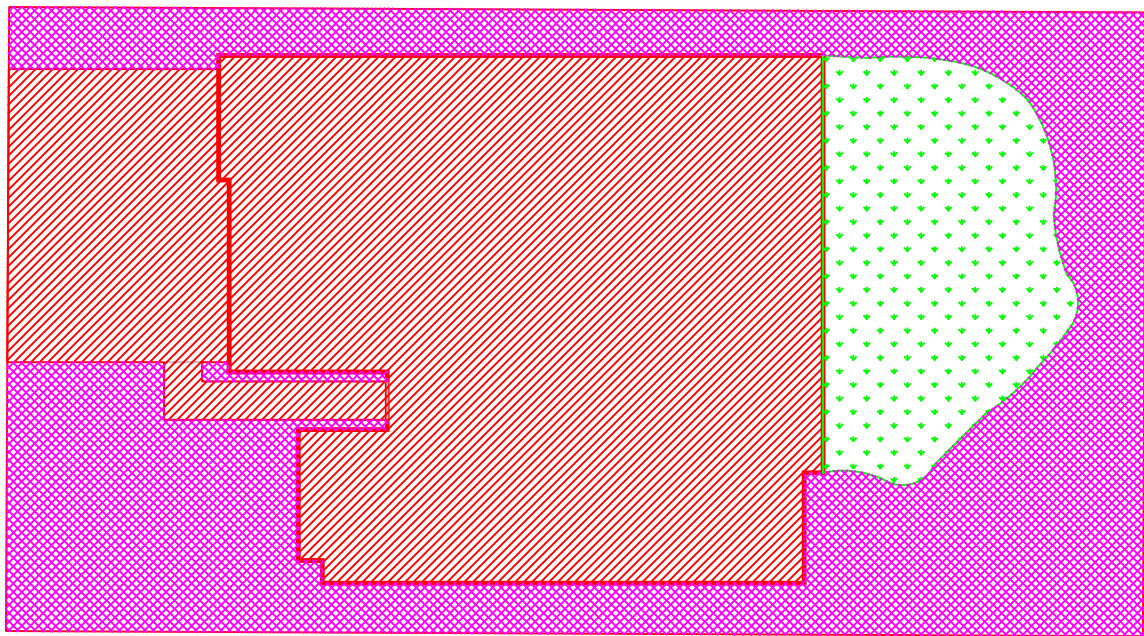




- LEGEND**
- Existing Contour
  - Design Contour
  - New 5' CMU Wall
  - Drainage Swale
  - G=5168.35 X Existing Spot Elevation
  - X 5169.0 Proposed Spot Elevation
  - Existing CMU Wall
  - Neighbor's Proposed CMU Wall

SCALE 1" = 10'

LT 3 BLK 8A A PLAT OF BLOCKS 7-A, 8-A, 8-B, 8-C, 9-A, 9-B AND 10-A VOLCANO CLIFFS



- LTA
- LT B
- LT C
- LT D

Hydrology Calculations  
6206 Tesuque Dr. NW

Precipitation Zone 1  
100 yr 6 hr Storm  
Basin Area = 0.18 ac. 7700 sq ft Determined by DB  
Allowable - SAD 224 Master Drainage Plan

| Land Treatment | Percent | Area (ac.) | Excess Precipitation (in.) | Unit Peak Discharge (cfs/ac.) | Runoff Volume (ac. Ft.) | Peak Discharge (cfs) | Comments         |
|----------------|---------|------------|----------------------------|-------------------------------|-------------------------|----------------------|------------------|
| A              | 0.00%   | 0.00       | 0.44                       | 1.29                          | 0.00                    | 0.00                 | Natural Ground   |
| B              | 10.00%  | 0.02       | 0.67                       | 2.03                          | 0.00                    | 0.04                 | Landscaped Areas |
| C              | 40.00%  | 0.07       | 0.99                       | 2.87                          | 0.01                    | 0.20                 | Compacted earth  |
| D              | 50.00%  | 0.09       | 1.97                       | 4.37                          | 0.01                    | 0.39                 | Impervious Areas |
| TOTAL          | 100.00% | 0.18       | 1.45                       |                               | 0.02                    | 0.63                 |                  |

929.13 cu ft

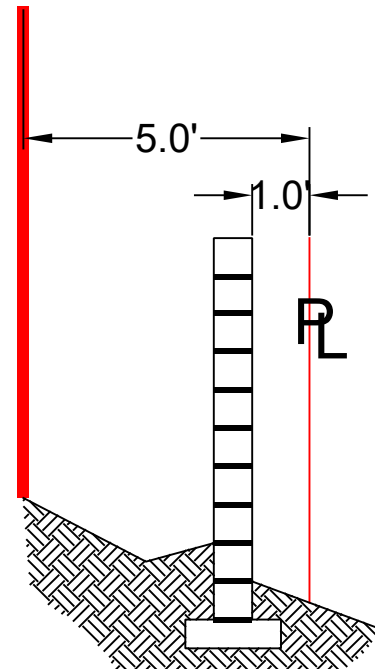
Proposed 0.18 ac. 7700 sq ft Determined by DB

| Land Treatment | Percent | Area (ac.) | Excess Precipitation (in.) | Unit Peak Discharge (cfs/ac.) | Runoff Volume (ac. Ft.) | Peak Discharge (cfs) | Comments            |
|----------------|---------|------------|----------------------------|-------------------------------|-------------------------|----------------------|---------------------|
| A              | 0.00%   | 0.00       | 0.44                       | 1.29                          | 0.00                    | 0.00                 | Natural Ground/Pond |
| B              | 15.58%  | 0.03       | 0.67                       | 2.03                          | 0.00                    | 0.06                 | Landscaped Areas    |
| C              | 32.93%  | 0.06       | 0.99                       | 2.87                          | 0.00                    | 0.17                 | Compacted earth     |
| D              | 51.48%  | 0.09       | 1.97                       | 4.37                          | 0.01                    | 0.40                 | Impervious Areas    |
| TOTAL          | 100.00% | 0.18       | 1.44                       |                               | 0.02                    | 0.62                 |                     |

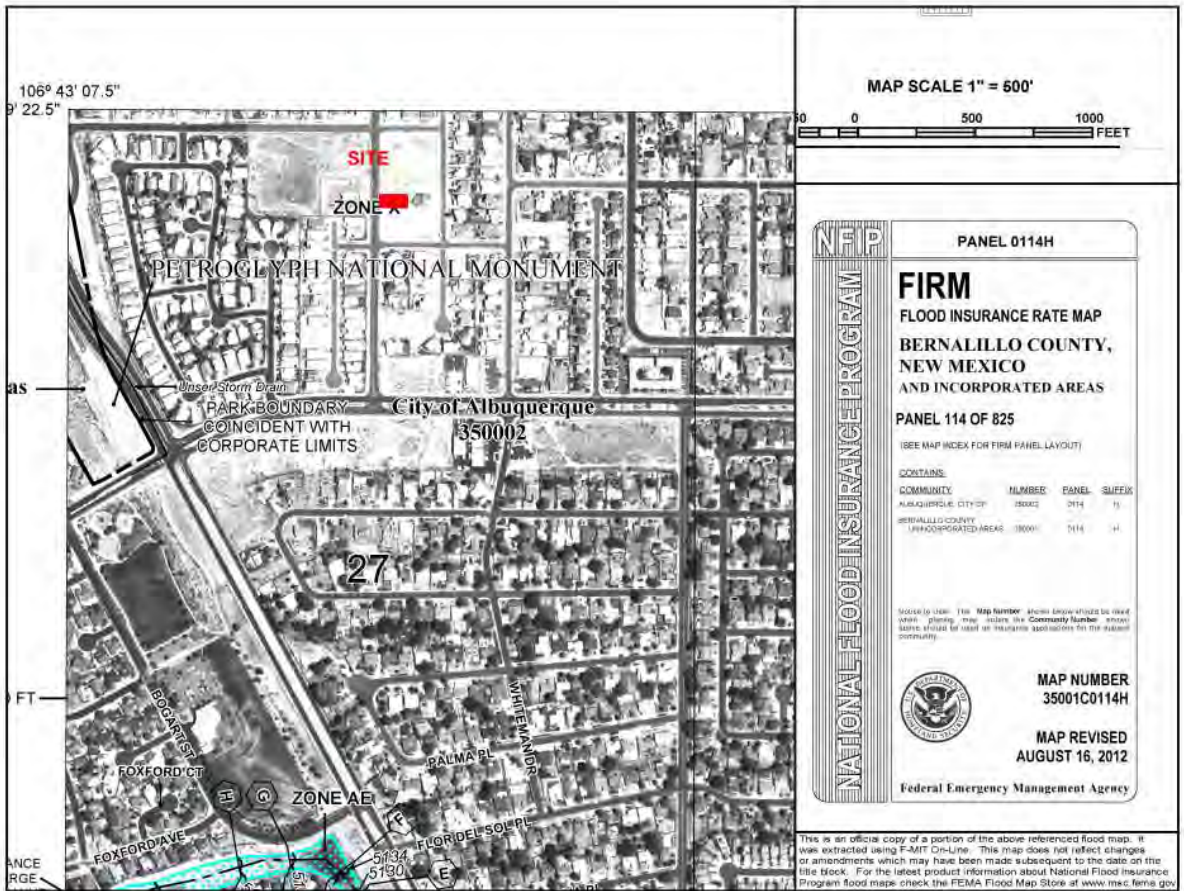
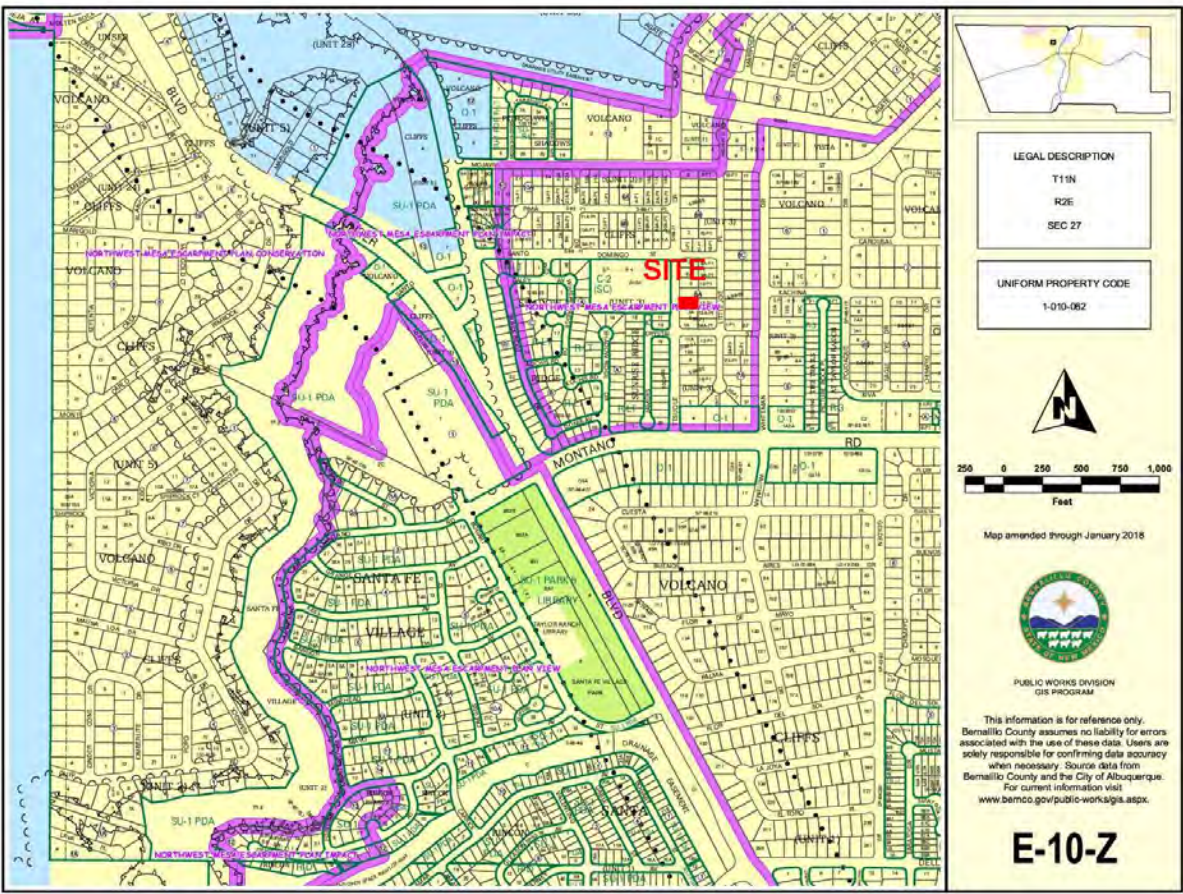
926.99 cu ft

PONDING REQUIREMENT = 926.99 - 929.13 = -2.14 cu ft.

HOME



GARDEN WALL DETAIL  
NO MORE THAN 24" RETENTION  
AT ANY LOCATION



#### DRAINAGE NARRATIVE

This grading & drainage plan was prepared to support a building permit application for a new residence located at 6306 Tesuque Rd. NW. A review of the City Hydrology records indicate development of this property is governed by the Drainage Report for SAD 224. This report indicates allowable land treatment values of 0% A, 10% B, 40% C, and 50% D. If developed discharge rates exceed what is allowable using these land treatment values, mitigation measures will be required. This plan was prepared using the hydrology methodology presented in Chapter 22.2 of the City of Albuquerque's Development Process Manual (abbreviated method).

The site is a 0.18 acre parcel located in Precipitation Zone 1 and Floodzone X (Unshaded). It slopes from the north east to the south west at about 2%. The site is not impacted by cross lot runoff from adjacent properties.

The hydrology analysis indicates the developed conditions will not increase discharge rates over what is allowed so mitigation measures are not required. All onsite flows are directed to the front yard landscaping then to the street.

#### GENERAL NOTES

Contractor is responsible for utility spots and controlling sediment deposition and erosion during construction.

A concrete washout bin must be provided as per City of Albuquerque MS4 Permit requirements.

All disturbed area due to construction must be reseeded or landscaped following construction.

|  |                        |  |                 |
|--|------------------------|--|-----------------|
|  |                        | 505-249-4843<br>donbriggsgengineering@gmail.com<br>5324 Oakledge Ct. NW, Albuquerque, NM 87120 |                 |
| TITLE: 6206 Tesuque Dr. NW Grading & Drainage Plan |                        |  |                 |
| Design Review Committee                            | City Engineer Approval | Last Design Update   | Mo. / Day / Yr. |
|  |                        |  |                 |
|  |                        |  |                 |
|  |                        |  |                 |
| City Project No.                                   | Zone Map No.           | Sheet  | Of              |

|                       |      |               |      |                    |    |                 |     |           |             |
|-----------------------|------|---------------|------|--------------------|----|-----------------|-----|-----------|-------------|
| AS BUILT INFORMATION  |      | BENCHMARKS    |      | SURVEY INFORMATION |    | ENGINEER'S SEAL |     | REVISIONS |             |
| CONTRACTOR            | DATE | INSPECTOR'S   | DATE | FIELD NOTES        | BY | DATE            | NO. | DATE      | DESIGNED BY |
| STAMPED BY            | DATE | ACCEPTANCE BY | DATE |                    |    |                 |     |           | DB          |
| VERIFICATION BY       | DATE |               |      |                    |    |                 |     |           | DB          |
| DRAWINGS              | DATE |               |      |                    |    |                 |     |           | CHECKED BY  |
| CORRECTED BY          | DATE |               |      |                    |    |                 |     |           |             |
| RECORDING INFORMATION | DATE |               |      |                    |    |                 |     |           |             |
|                       | NO.  |               |      |                    |    |                 |     |           |             |